

Coronado Residence and ADU

130 Coronado Ave, Half Moon Bay, CA 94019

APN: 048-013-890



Wilkins Studio
Architects
San Francisco CA
(415)273-9054



Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
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Owner
Paul McGregor
130 Coronado Ave, Half
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Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
APN: 048-013-890

No.	Description	Date
1	Submittal	05/10/2022
2	Plan Check	05/24/2022

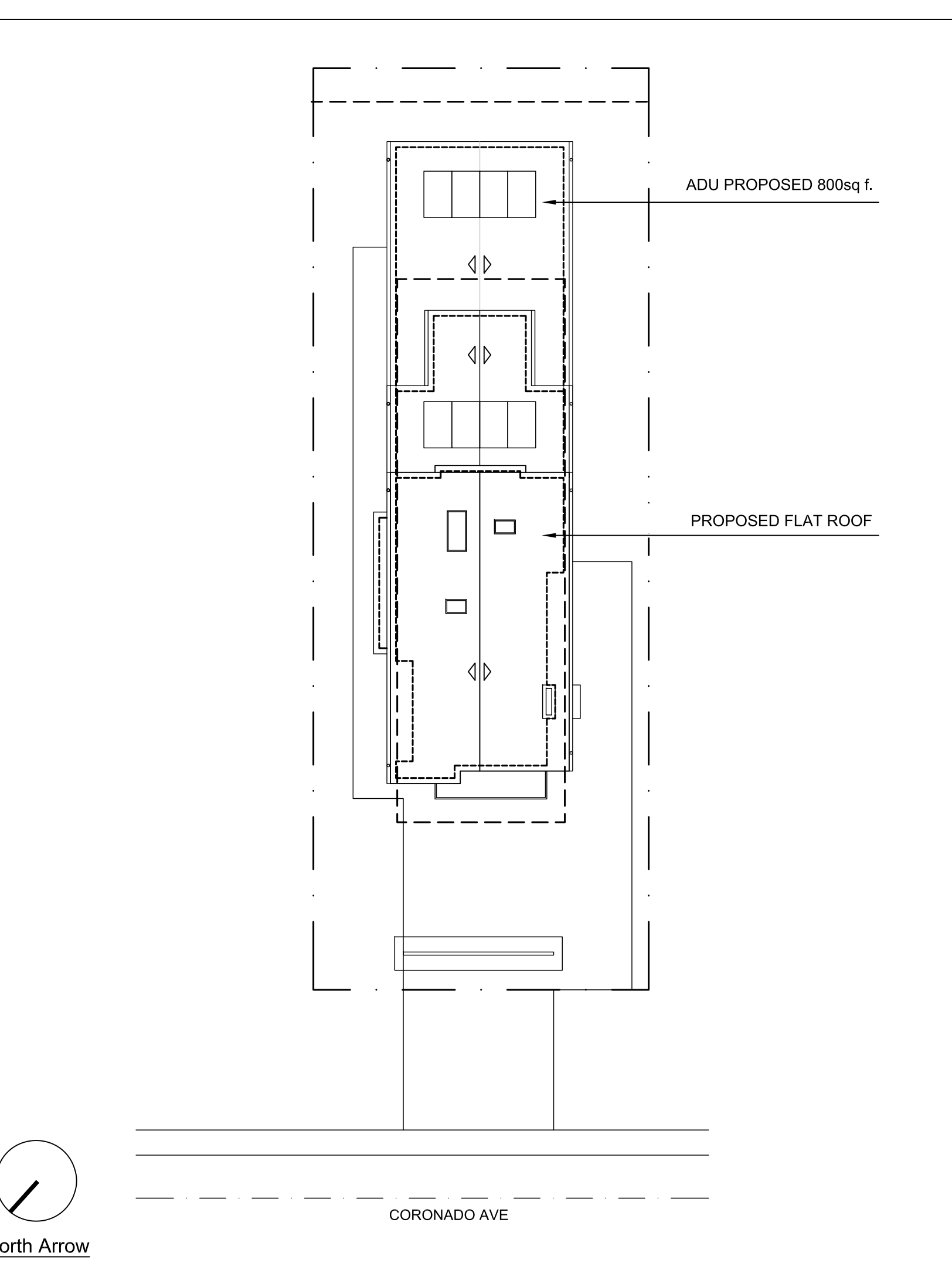
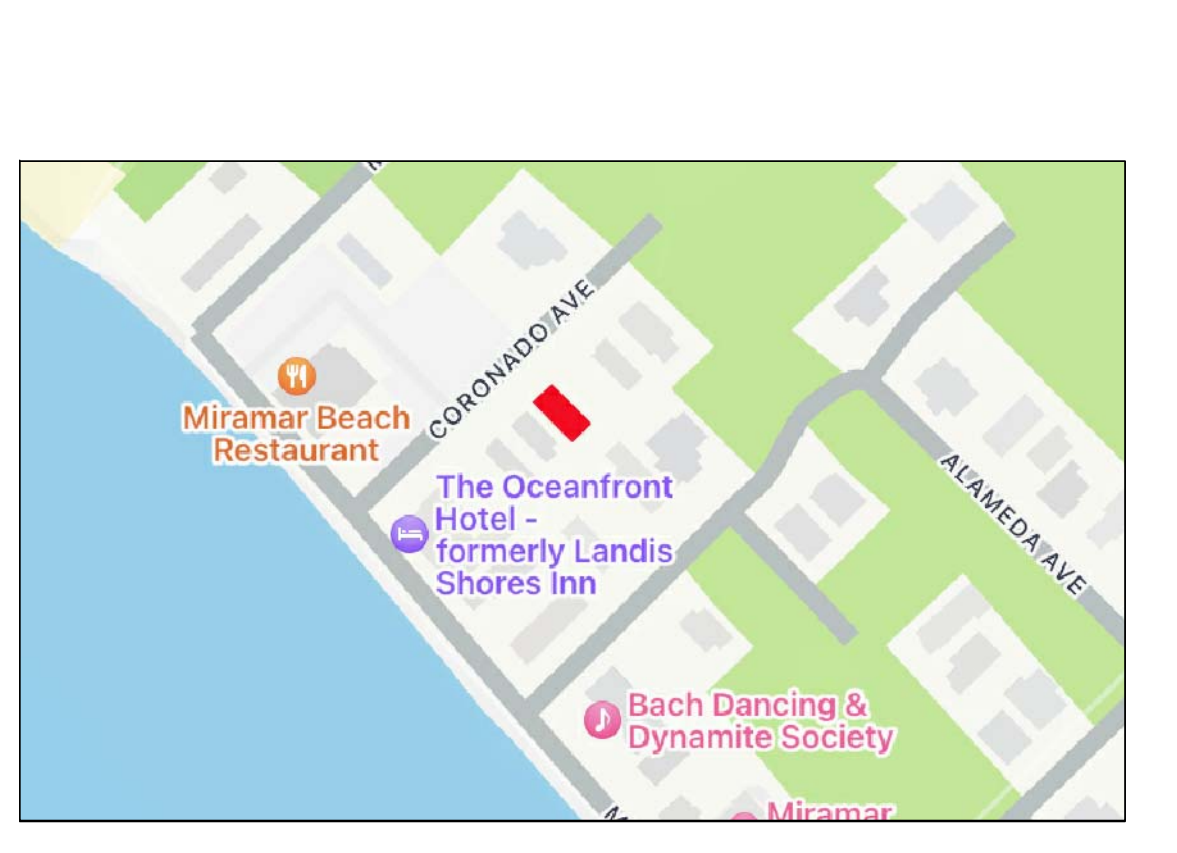
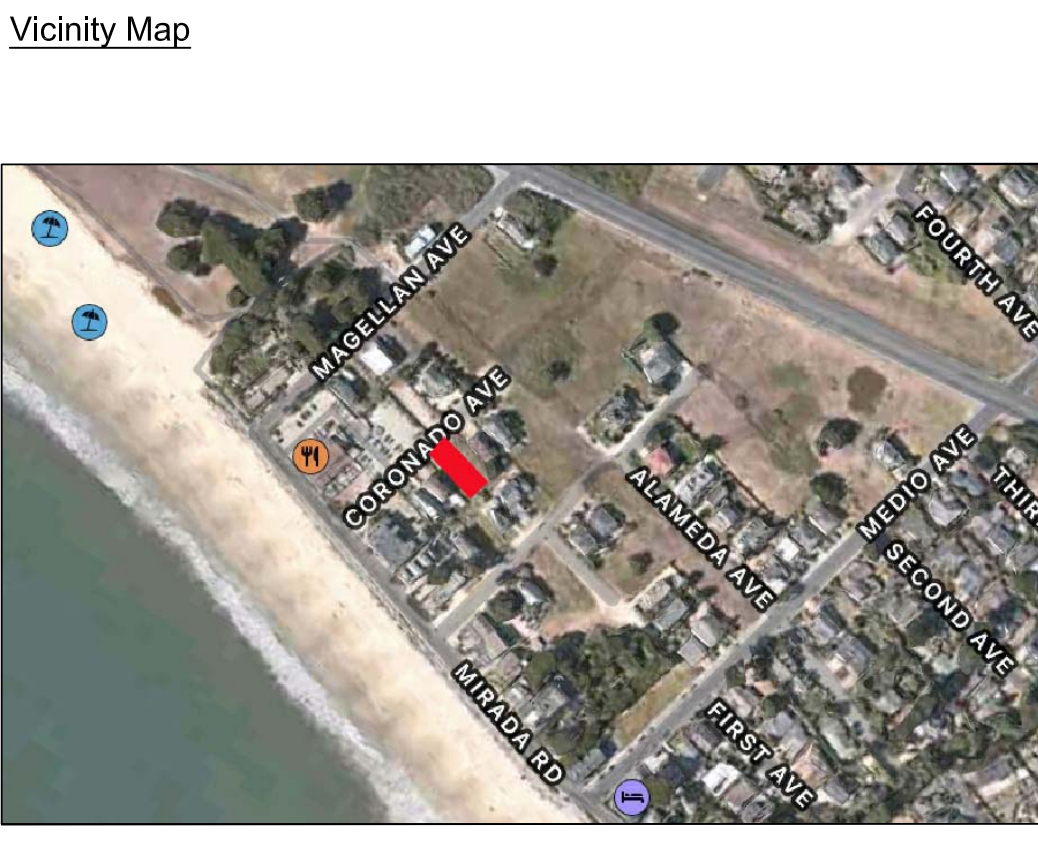
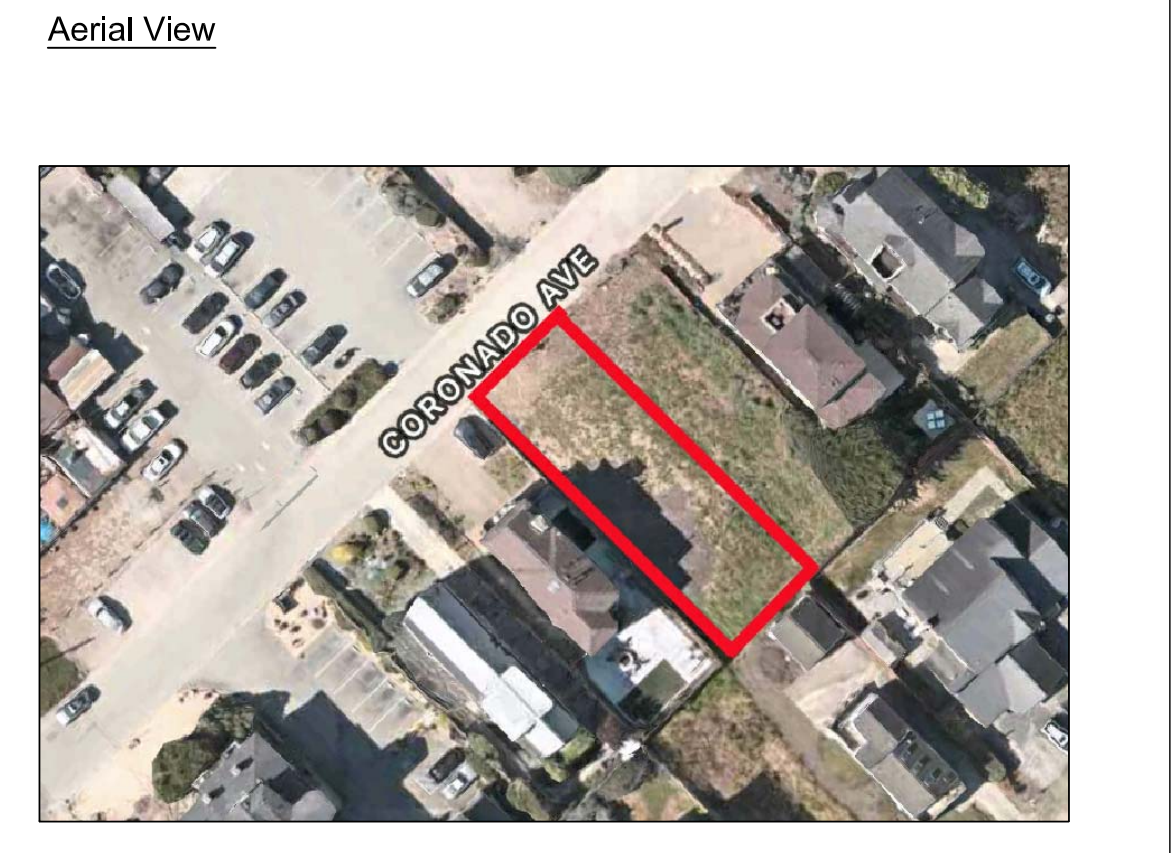
Cover
G1-0
Scale: As Noted
Sheet size: Arch D

ABBREVIATIONS	
A	Air Conditioning
ADU	Accessory Dwelling Unit
A.F.F.	Above Floor Finish
ALT.	Alternate
AMT.	Amount
APPROX.	Approximate
AVG.	Average
B	Board
BD.	Between
BLDG.	Building
BLWBK	Block/Blocking
C	Cubic Feet Per Minute
C.F.M.	Change
CHG.	Cast Iron
C.I.	Clear/ Clearance
CLR.	Ceiling
CLG.	Centerline
C.M.U.	Concrete Masonry Unit
COL.	Column
CONC.	Concrete
CONSTR	Construction
C.O.T.G.	Clean Out to Grade
CTR.	Center
CU, FT.	Cubic Foot
CU, IN.	Cubic Inch
CU, YD.	Cubic Yard
D	Double
DEG.	Degree
DEPT.	Department
DIAG.	Diagonal
DIA.	Diameter
DIM.	Dimension
DIV.	Division
D.S.	Downspout
D.W.	Dumbwaiter/Downspout
E	Existing
EA.	Each
ELEC.	Electric
ELEV.	Elevator/Elevator
ENCL.	Enclosure
EQ.	Equal
EQUIP.	Equipment
EXIST.	Existing
EXT.	Exterior
F	Floor Drain
F.D.	Finish Grade
F.G.	Fire Hydrant
F.H.	Finish
FLR.	Floor
FLUOR.	Fluorescence
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.M.	Face of Masonry
F.O.S.	Face of Stud
F.O.S.	Finish Surface
FS	Finish Surface
FT.	Foot
FTG.	Footing
G	Galvanize
GALL.	Galvanized
GALV.	Galvanized
GYP.	Gypsum
H	Hose Bibb
HDR.	Header
HDRW.	Hardware
HORIZ.	Horizontal
HP.	Horsepower
HT.	Height
I.D.	Inside Diameter
IN.	Inch
INFO.	Information
INSUL.	Insulation
INT.	Interior
J	Janitor Junction Joint
K	Kitchen
L	Lavatory
LAV.	Pound
LB.	Linear Foot
LF.	Linear
LIN.	Light
LT.	Light Weight
LT.WT.	Maximum
M	Machine Bolt
MAX.	Medicine Cabinet
M.B.	Mechanical
M.C.	Medium
MECH.	Mechanism
MED.	Manufacturer
MEZZ.	Minimum
MFR./MFR.	Miscellaneous
MIN.	Metal
MISC.	Metal
MTL.	New
N	Natural Grade
(N)	Not In Contact
N.G.	Not to Scale
N.I.C.	
NTS	
O	

GENERAL NOTES

1. EXAMINATION OF SITE: The contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The contractor shall verify at the site all the measurements affecting the work and shall be responsible for the correctness of the same. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work.
2. GENERAL OPERATION: The Contractor shall, after consulting with the Owner, Schedule the work so as not to interfere unduly with the neighbors, etc. Contractor shall allow dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walks, passageways, neighbors' property, improvements and the like. Protect all in-place construction in connection with the work. Particular attention is directed to but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.
3. CONTRACTOR USE OF THE PREMISES:
 - Confine operations at the site to areas permitted by law, ordinances, permits, and these Contract Documents. Do not unreasonably encumber premises with materials or equipment.
 - Assume all responsibility for protection and safekeeping of all products stored on the premises. Move any stored products which interfere with the operations of the City or other contractor. Obtain and pay for use of additional storage or work area required for operations.
4. LIMITS OF WORK: Work zone limits are established on the drawings. All Contractors, Subcontractors, and Tradesman shall coordinate their work with one another within the established limits.
5. SEQUENCE OF WORK: in the event any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to abide by the Contractor by acts of nature or God.
6. ORDERS: Place orders for material and equipment immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workers and subcontractors on job at proper time and avoid delays.
7. MEASUREMENTS: Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor should be fully and solely responsible for the correction or adjustment of any such related work or errors. All dimensions take precedence over scale. All dimensions are to face of step, unless otherwise noted, THE CONTRACTOR SHALL NOT SCALE DRAWINGS.
8. RULES AND REGULATIONS: All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the California Building Code, all State Title 24 AB, 163 energy Regulations, and all applicable Local and State Laws and Ordinances. Nothing on the drawings shall be construed to permit work not conforming to these codes.
9. The Contractor shall coordinate with the Building Department for all Building department required inspections.
10. The Contractor shall give all notices and/or comply with all codes, laws, ordinances, rules regulations, and orders of any pertinent public authority bearing on the performance of work and shall notify the Architect if the drawings and specifications are at variance therewith.
11. Solely as a convenience to the Owner and Contractor, the Architect may include documents prepared by certain consultants and/or vendors (or incorporate the recommendations of said consultants and/or vendors into documents prepared by the Architect) within the set documents issued by the architect. It is expressly understood that by such inclusion, the Architect assumes no liability for the services of said consultants and/or vendors.
12. CONSTRUCTION QUALITY: The Contractor shall complete all work to a degree of skill, efficiency and knowledge which is possessed by those of ordinary skill, competency and standing in the particular trade or business for which the Contractor employed in the community. The Construction documents are provided to illustrate the design and general type of construction, material and work commensurate with this type of project throughout.
13. COMPLETE PROJECT: The Contract Documents, including working drawings, specifications and schedules, represent the finished structure. Unless otherwise noted, they do not indicate method of construction. Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures. Observation visits by the Architect shall not include inspections of protective measure or the construction procedures required for same, which are not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as they occur. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR AT NO EXTRA CHARGE.
14. COORDINATION: The General Contractor and each Subcontractor shall be responsible for verification of all field conditions and dimensions PRIOR to commencement of any work. Contractor shall bring any discrepancies to the Architect's and Owner's attention PRIOR to commencing any work. In the event that work commenced with a failure to notify both the Architect and Owner, the Subcontractor is solely responsible for any and all corrective measures or errors.
15. NOTES: All plans imply the words "The Contractor shall" or "the Contractor shall install".
16. COOPERATION:
 - Contractor and Subcontractors shall coordinate their work with adjacent work and cooperate with other trades so as to facilitate general progress of the work. Each trade shall afford the other trades every reasonable opportunity for installation of their work and storage of their materials.
 - In as much as building completion within the time limit is dependent upon cooperation of those engaged there in. It is required that each contractor lay out / install his work in a time and manner not to delay or interfere with carrying forward other contractor's work.
17. CHANGES: Any proposed changes in the construction shall be made to the Architect IN WRITING OR IN DRAWINGS. All changes should be reviewed by the Architect, approved by the Owner, Contractor, Architect and by the Building Official as required.
18. Any revision or additional work required by field conditions or local governing authorities shall be brought to the attention of the Architect before proceeding.
19. This set of Plans is to be on the Job Site at all times during construction. All work shall be in accordance with the approved plans. NO changes or revisions to the approved plans or specifications shall be permitted unless submitted to and approved by the Building Department. The issuance of a permit shall not prevent the Building Department from requiring the correction of Errors or Omissions from the approved plans and specifications.
20. The issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for or an approval of, any violations of any of the codes or of any other ordinance of this jurisdiction. Permits presuming to give permission to violate or cancel the provisions of this code, or other ordinances of the jurisdiction, shall not be valid.
21. These notes apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections or other adjacent areas or work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or notes shall be brought to the attention of the Architect prior to proceeding with the work involved.
22. OWNERSHIP AND USE OF DOCUMENTS: All drawings, specifications, and their content, and copies, thereof furnished by Karen Wilkins and shall remain the property of Karen Wilkins.
23. Anyone supplying labor and/or materials to the project shall carefully examine all sub-surfaces to receive work. Any conditions detrimental to the work shall be reported in writing

Project Data		House Footprint		Regulating Codes	
Project Description:	New 3 story 2,111.56 Sq Ft single family Residence with an 800 Sq ft ADU	House Footprint:	1,507.57 Sq Ft	D1-0	Details
Project Address:	130 Coronado Ave, Half Moon Bay, CA 94019	Area ADU:	800 Sq Ft	D2-0	Details
Assessor's Parcel Number:	048-013-890	Area First Floor:	310.51 Sq Ft	S1-1	Title & Abbreviation Sheet
Occupancy Group:	R-3	Area Garage:	410 Sq Ft	S1-2	Notes Sheets
Construction Type:	VB	Area 2nd Floor:	910.59 Sq Ft	S1-3	Typical Details
Stories:	3	Area Deck 2nd Floor:	71.40 Sq Ft	S2-1	Foundation Plan & 2nd. Floor Framing Plan
Zoning:	R-1	Area 3rd Floor:	478.26 Sq Ft	S2-2	3rd. Floor & Roof Framing Plan
Lot size:	4,401.31 Sq Ft	Area Deck 3rd Floor:	49.82 Sq Ft	S2-4	Roof Framing Plan
		Total Area (1st, 2nd, 3rd floors):	1,699.36 Sq Ft	S3-1	Details
		FAR calculation:	2,109.36 / 4,401.31	S3-2	Details
		FAR:	47.92%	M1-0	Mechanical Plan
				E1-0	Ground Floor Lighting & Outlet Plan
				E2-0	Main Floor Lighting & Outlet Plan
				E3-0	Upper Floor Lighting & Outlet Plan
				E4-0	Proposed Load-Demand Calc, One-line Diagram & Grounding Detail
				P1-0	Water Supply Plan
				P2-0	Drainage Floor Plan



Site Drainage Notes

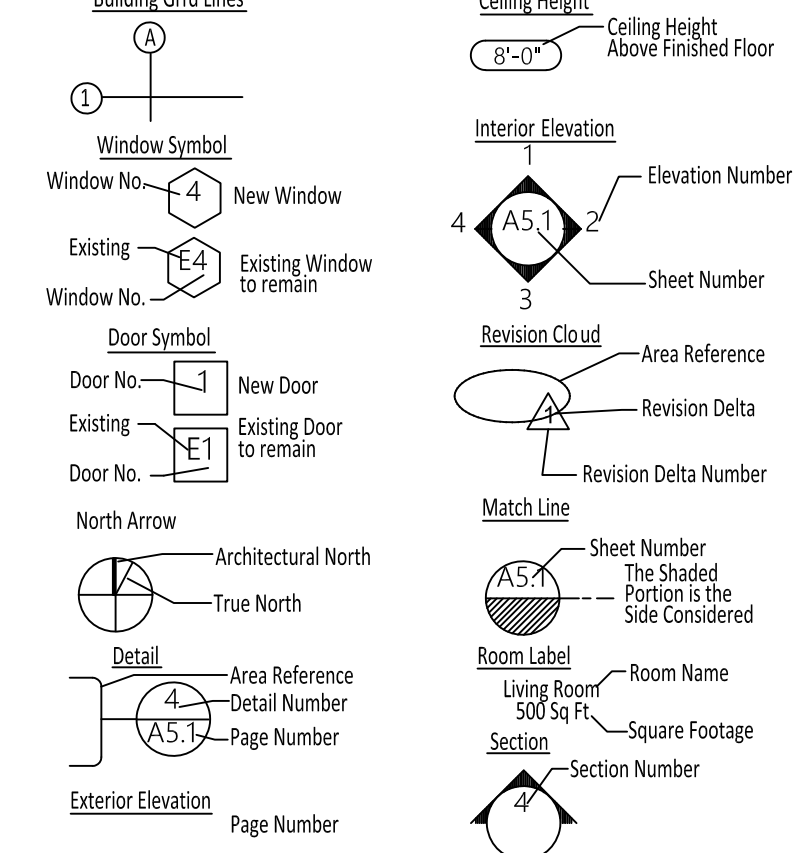
The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than one unit vertical in 20 units horizontal for a minimum distance of 10 feet measured perpendicular to the face of the wall if physical obstructions or lot lines prohibit 10 feet of horizontal distance, a 5 percent slope shall be provided to an approved alternative method of diverting water away from the foundation. Swales used for this purpose shall be sloped a minimum of 2 percent located within 10 feet of the building foundation, impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

Operation and Maintenance Manual

Operation and Maintenance Manual Shall be provided to the owners in accordance to residential mandatory measures 4.410.1

Deferred Submittal

1. Deferred submittal for fire Alarm, sprinkler & Fire Suppression System Plan is required and submit to Building and Safety for review and approval prior to installation City of Manteca
2. Deferred submittal for Solar Panels, assembly to be submitted to the Building Department for review and approval prior to installation.



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Table with 4 columns: Y, N/A, RESPON. PARTY, and text content. Contains sections for Chapter 3 (Green Building Section 301 General, Section 302 Mixed Occupancy Buildings, Section 302.1 Mixed Occupancy Buildings, Section 302.1.1 Mixed Occupancy Buildings, Abbreviation Definitions, Chapter 4 Residential Mandatory Measures, Division 4.1 Planning and Design, Section 4.102 Definitions, 4.102.1 Definitions, French Drain, Wattles, 4.106 Site Development, 4.106.1 General, 4.106.2 Storm Water Drainage and Retention During Construction, 4.106.3 Grading and Paving, 4.106.4 Electric vehicle (EV) charging for new construction, 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages, and 4.106.4.2 New multifamily dwellings.

Table with 4 columns: Y, N/A, RESPON. PARTY, and text content. Contains sections for 4.106.4.2.1 Electric Vehicle Charging Stations (EVCS), 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions, 4.106.4.2.3 Single EV space required, 4.106.4.2.4 Multiple EV spaces required, 4.106.4.3 New hotels and motels, 4.106.4.3.1 Number of required EV spaces, Table 4.106.4.3.1, 4.106.4.3.2 Electric vehicle charging space (EV space) dimensions, 4.106.4.3.3 Single EV space required, 4.106.4.3.4 Multiple EV spaces required, 4.106.4.3.5 Identification, 4.106.4.3.6 Accessible EV spaces, and Division 4.2 Energy Efficiency, 4.201 General, 4.201 SCOPE.

Table with 4 columns: Y, N/A, RESPON. PARTY, and text content. Contains sections for Division 4.3 Water Efficiency and Conservation, 4.303 Indoor Water Use, 4.303.1 Water Conserving Plumbing Fixtures and Fittings, 4.303.1.1 Water Closets, 4.303.1.2 Urinals, 4.303.1.3 Showerheads, 4.303.1.3.1 Single Showerhead, 4.303.1.3.2 Multiple showerheads serving one shower, 4.303.1.4 Faucets, 4.303.1.4.1 Residential Lavatory Faucets, 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas, 4.303.1.4.3 Metering Faucets, 4.303.1.4.4 Kitchen Faucets, 4.303.2 Standards for Plumbing Fixtures and Fittings, Table - Maximum Fixture Water Use, 4.304 Outdoor Water Use, 4.304.1 Outdoor Potable Water Use in Landscape Areas, and Division 4.5 Environmental Quality, Section 4.501 General, 4.501.1 Scope, Section 4.502 Definitions, 4.502.1 Definitions, Agrifiber Products, Composite Wood Products, and Direct-Vent Appliance.

Table with 4 columns: Y, N/A, RESPON. PARTY, and text content. Contains sections for Division 4.4 Material Conservation and Resource Efficiency, 4.406 Enhanced Durability and Reduced Maintenance, 4.406.1 Rodent Proofing, 4.408 Construction Waste Reduction, Disposal and Recycling, 4.408.1 Construction Waste Management, 4.408.2 Construction Waste Management Plan, 4.408.3 Waste Management Company, 4.408.4 Waste Stream Reduction Alternative (LR), 4.408.4.1 Waste Stream Reduction Alternative, 4.408.5 Documentation, 4.410 Building Maintenance and Operation, 4.410.1 Operation and Maintenance Manual, and 4.410.2 Recycling by Occupants.

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y NA RESPON PARTY YES NOT APPLICABLE RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

Table with columns Y, NA, RESPON PARTY and rows for Maximum Incremental Reactivity (MIR), Moisture Content, Product-Weighted MIR (PWWIR), and Reactive Organic Compound (ROC).

Table 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter). Table 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS. Table 4.504.4 - ADHESIVE VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter).

Table 4.504.5 - FORMALDEHYDE LIMITS. Table 4.504.6 - CARPET SYSTEMS. Table 4.504.7 - RESILIENT FLOORING SYSTEMS. Table 4.504.8 - COMPOSITE WOOD PRODUCTS. Table 4.504.9 - INTERIOR MOISTURE CONTROL.

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS. 702 QUALIFICATIONS. 702.1 INSTALLER TRAINING. 702.2 SPECIAL INSPECTION [HCD]. 703 VERIFICATIONS. 703.1 DOCUMENTATION.

Table 4.504.1 - ADHESIVE VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter). Table with columns ARCHITECTURAL APPLICATIONS and VOC LIMIT.

Table 4.504.2 - SEALANT VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter). Table with columns SEALANTS and VOC LIMIT.

Table 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS. Table with columns COATING CATEGORY and VOC LIMIT.

Table 4.504.4 - ADHESIVE VOC LIMIT (Less Water and Less Exempt Compounds in Grams per Liter). Table with columns ARCHITECTURAL APPLICATIONS and VOC LIMIT.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS.



Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Coronado Residence and ADU 130 Coronado Ave, Half Moon Bay, CA 94019 APN: 048-013-890

Table with columns No., Description, Date. Includes entries for Submittal (05/10/2022) and Plan Check (05/24/2022).

Green Sheet part 2 G4-0 Scale: As Noted Sheet size: Arch D

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No.	Description	Date
	Submital	05/10/2022
	Plan Check	05/24/2022

Title 24 Sheet
Part 2
T24-2
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CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
(Page 12 of 13)
Project Name: 130 Coronado Ave Residence and ADU. Calculation Date/Time: 2022-03-01T10:45:57+05:30
Calculation Description: Title 24 Analysis Input File Name: 2648_130 Coronado Ave, Half Moon Bay, CA 94019_Energy Analysis_V8.rbd19x

HVAC HEAT PUMPS - HERS VERIFICATION									
01	02	03	04	05	06	07	08	09	10
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap #7	Verified Heating Cap #7	Verified Heating Cap #7
Heat Pump System 1-hens-htpump	Not Required	0	Required	Required	Yes	Yes	Yes	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION									
01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCHP System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing (Energy Pressure Drop Rating)	Low Leakage Ducts in Conditioned Space	Minimum Airflow per IAC3 and IAC3.4.1	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

IAQ (INDOOR AIR QUALITY) FANS					
01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness (%)	IAQ Recovery Effectiveness - SREIAQ
Sfam IAQVentRpt	72	0.25	Default	0	n/a
Sfam ADU IAQVentRpt	45	0.25	Default	0	n/a

Registration Number: 422-PO1002496A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
NOTICE: This document has been generated by Certified Home Energy Efficiency Rating System Services, Inc. (CHERS) using information provided by third parties not affiliated with or related to CHERS. Therefore, CHERS is not responsible for, and cannot guarantee, the accuracy or completeness of the information contained in this document. Report Version: 2019.1.300 Report Generated: 2022-02-28 21:17:48
CA Building Energy Efficiency Standards - 2019 Residential Compliance Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
(Page 11 of 13)
Project Name: 130 Coronado Ave Residence and ADU. Calculation Date/Time: 2022-03-01T10:45:57+05:30
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WATER HEATERS											
01	02	03	04	05	06	07	08	09	10	11	12
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (in2/ft2)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition
DHW Heater 1	Gas	Consumer Instantaneous	1	0	0.81-UEF	<= 200 Btu/hr	0	n/a	n/a	n/a	n/a

WATER HEATING - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery	Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heat pump heating cooling	Heat Pump System 1	Heat Pump System 1	n/a	n/a	Setback	New	NA	1	1

HVAC - HEAT PUMPS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Number of Units	Heating		Cooling		Zonally Controlled	Compressor Type	HERS Verification	
			HSPF/COP	Cap #7	Cap #7	SEER	EER/CEER			
Heat Pump System 1	VCHP-ductless	1	11	62600	50090	22.5	12.5	Not Zonal	Single Speed	Heat Pump System 1-hens-htpump

Registration Number: 422-PO1002496A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
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CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
(Page 10 of 13)
Project Name: 130 Coronado Ave Residence and ADU. Calculation Date/Time: 2022-03-01T10:45:57+05:30
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OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-19 Floor No Crawlspace_1	Exterior Floors	Wood Framed Floor	2x10 @ 16 in. O.C.	R-19	None / None	0.047	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-19 / 2x10
R-0 Floor No Crawlspace_	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O.C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no ins. / 2x12 Ceiling Below Finish: Gypsum Board
R-19 Floor No Crawlspace_	Interior Floors	Wood Framed Floor	2x10 @ 16 in. O.C.	R-19	None / None	0.045	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-19 / 2x10 Ceiling Below Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Required	Not Required	Not Required	n/a

WATER HEATING SYSTEMS						
01	02	03	04	05	06	07
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a

Registration Number: 422-PO1002496A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2019 Residential Compliance Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
(Page 13 of 13)
Project Name: 130 Coronado Ave Residence and ADU. Calculation Date/Time: 2022-03-01T10:45:57+05:30
Calculation Description: Title 24 Analysis Input File Name: 2648_130 Coronado Ave, Half Moon Bay, CA 94019_Energy Analysis_V8.rbd19x

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I, certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Viranchi Shah	Documentation Author Signature: <i>Viranchi Shah</i>
Company: www.gettitle24.com	Signature Date: 03/08/2022
Address: 14730 Beach Blvd., #133	CEA/HERS Certification identification (if applicable):
City/State/Zip: La Mirada, CA 90638	Phone: 714-888-4736

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with the building permit application.

Responsible Designer Name: Karen Wilkins	Responsible Designer Signature: <i>Karen Wilkins</i>
Company: Wilkins Studio Architects	Date Signed: 03/08/2022
Address: 785 Quintana Rd #180	License: Architect
City/State/Zip: Morro Bay, CA 93422	Phone: (415) 273-9054

Digitally signed by Viranchi Shah using a digital signature certificate issued by VeriSign, Inc. This digital signature is provided in order to ensure the content of this registered document, and to no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 422-PO1002496A-000-000-0000000-0000 Registration Date/Time: 03/08/2022 13:14 HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2019 Residential Compliance Schema Version: rev 20200901

RESIDENTIAL MEASURES SUMMARY

Table with project details: Project Name (130 Coronado Ave Residence and ADU), Building Type (Single Family), Date (3/8/2022), and other administrative information.

Table with columns: Construction Type, Area (sq ft), Cavity, Special Features, and Status. Lists various construction elements like walls, roofs, and doors.

Table with columns: Orientation, Area (sq ft), U-Factor, SHGC, Overhang, Sidelights, Exterior Shades, and Status. Details fenestration characteristics for different orientations.

Table with columns: HVAC SYSTEMS, Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, and Status. Lists HVAC equipment like heat pumps.

Table with columns: HVAC DISTRIBUTION, Location, Heating, Cooling, Duct Location, R-Value, and Status. Details ductwork and distribution systems.

Table with columns: WATER HEATING, Qty, Type, Gallons, Min. Eff, Distribution, and Status. Lists water heating equipment and specifications.

2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

Table of building envelope measures (110.0(a)1 through 110.0(h)) and fireplaces/decorative gas appliances (110.0(i)).

2019 Low-Rise Residential Mandatory Measures Summary

Table of mechanical and plumbing system measures (150.0(a)1 through 150.0(m)).

2019 Low-Rise Residential Mandatory Measures Summary

Table of lighting and energy efficiency measures (150.0(n)1 through 150.0(x)).

2019 Low-Rise Residential Mandatory Measures Summary

Table of interior lighting and controls measures (150.0(y)1 through 150.0(y)10).

Table of solar ready buildings and solar zone area requirements (110.10(a)1 through 110.10(a)10).

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Complex block containing HVAC system details, engineering checks, system load tables, and psychrometric diagrams for heating and cooling systems.

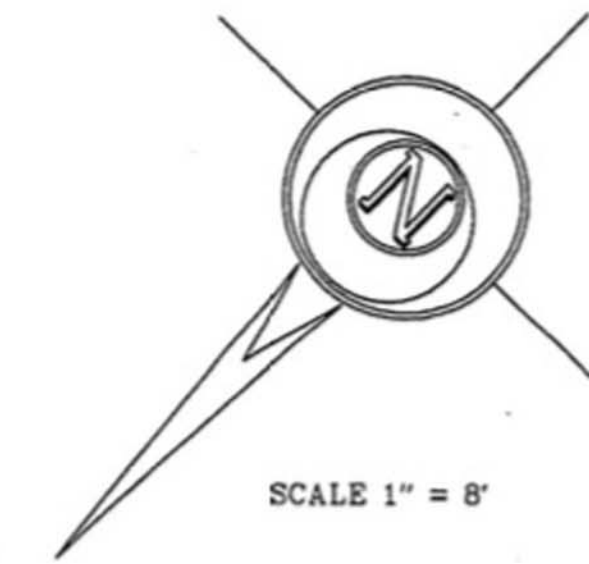


Architect Wilkins Studio Architects and Karen Wilkins, Architect. Contact: Karen Wilkins, 130 Coronado Ave, Half Moon Bay, CA 94019.

Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
APN: 048-013-890

Table with columns: No., Description, Date. Includes entries for Submittal (05/10/2022) and Plan Check (05/24/2022).

Title 24 Sheet Part 3
T24-3
Scale: As Noted
Sheet size: Arch D



SCALE 1" = 8'

LEGEND

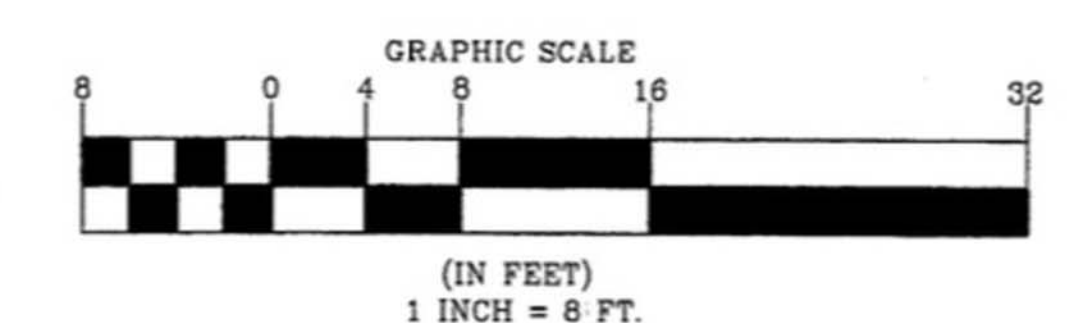
- x---x---x---x--- Fence
- Property Line
- SS-SS-SS-SS-SS-SS- Sanitary Sewer Line
- Water Line
- Edge of Pavement

SURVEY FOR:
Paul McGregor

SURVEY OF:
Lot 19 Block 7 of R.S.M. Book 3 of Maps pg. 95
SITE ADDRESS: Vacant Lot Coronado Avenue,
Unincorporated San Mateo County
A.P.N. 048-013-220
Area = 4,400 sq. ft. +/-

NOTES:

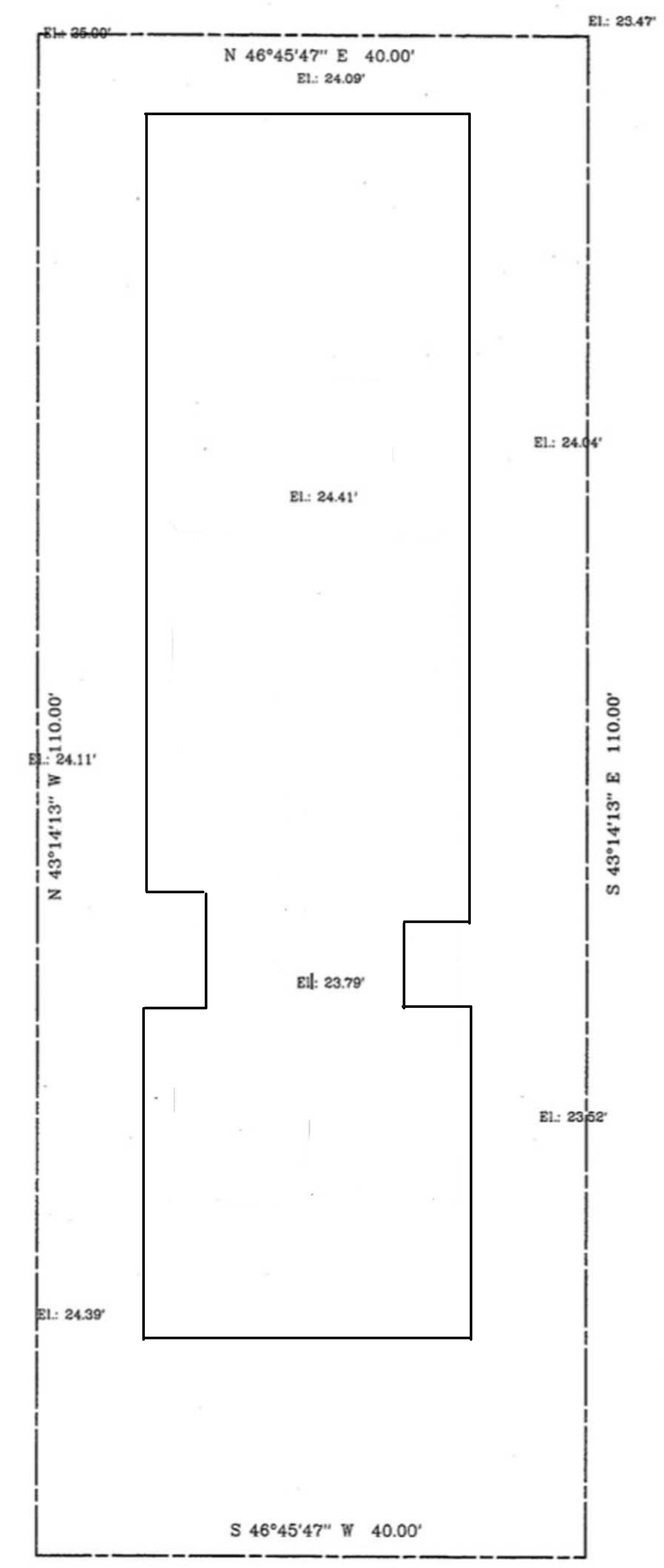
- 1) Survey shows existing site conditions at the time of the survey. Any Site Plan or Grading Plan has been done by others.
- 2) The Elevations shown are based upon the NAVD 88 Datum.
- 3) The nearest fire hydrant and utility pole is located at the corner of Coronado Avenue and Mirada Rd.



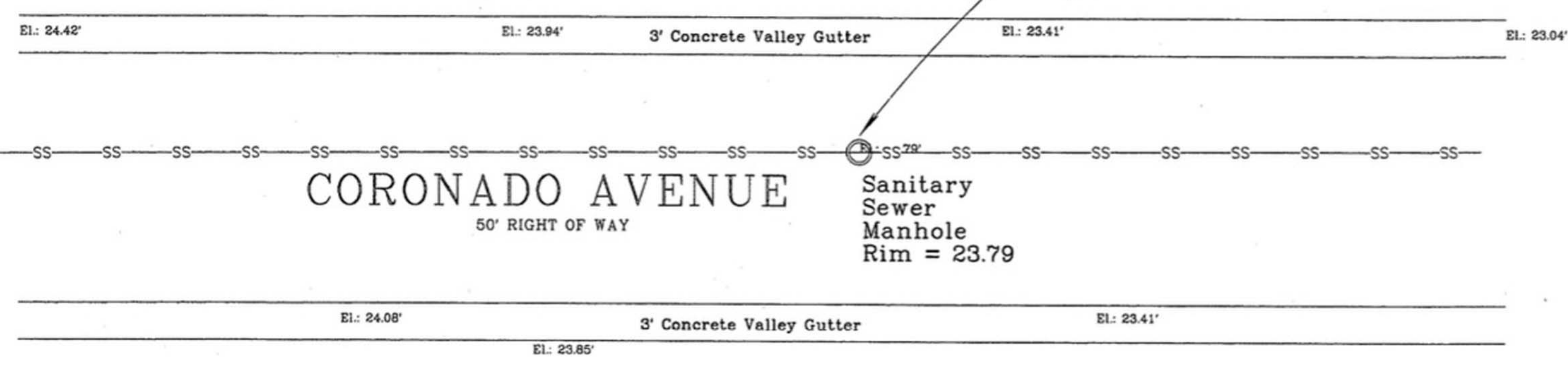
Joseph P. McNulty 2/1/17

A0-1

BOUNDARY & TOPOGRAPHY MAP
Prepared By:
Pat McNulty
Professional Land Surveyor
1604 Francis Avenue
Belmont, California 94002
650-654-6460
DATE: July 2016 JOB NO.: 13-16



BENCH MARK:
The Rim of the Sanitary Sewer Manhole was used as the Datum Point for this Survey.
Elevation = 23.79 (NAVD 1988)



SITE PLAN NOTES & SYMBOL LEGEND

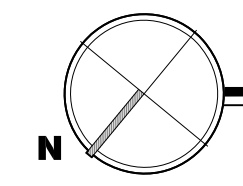
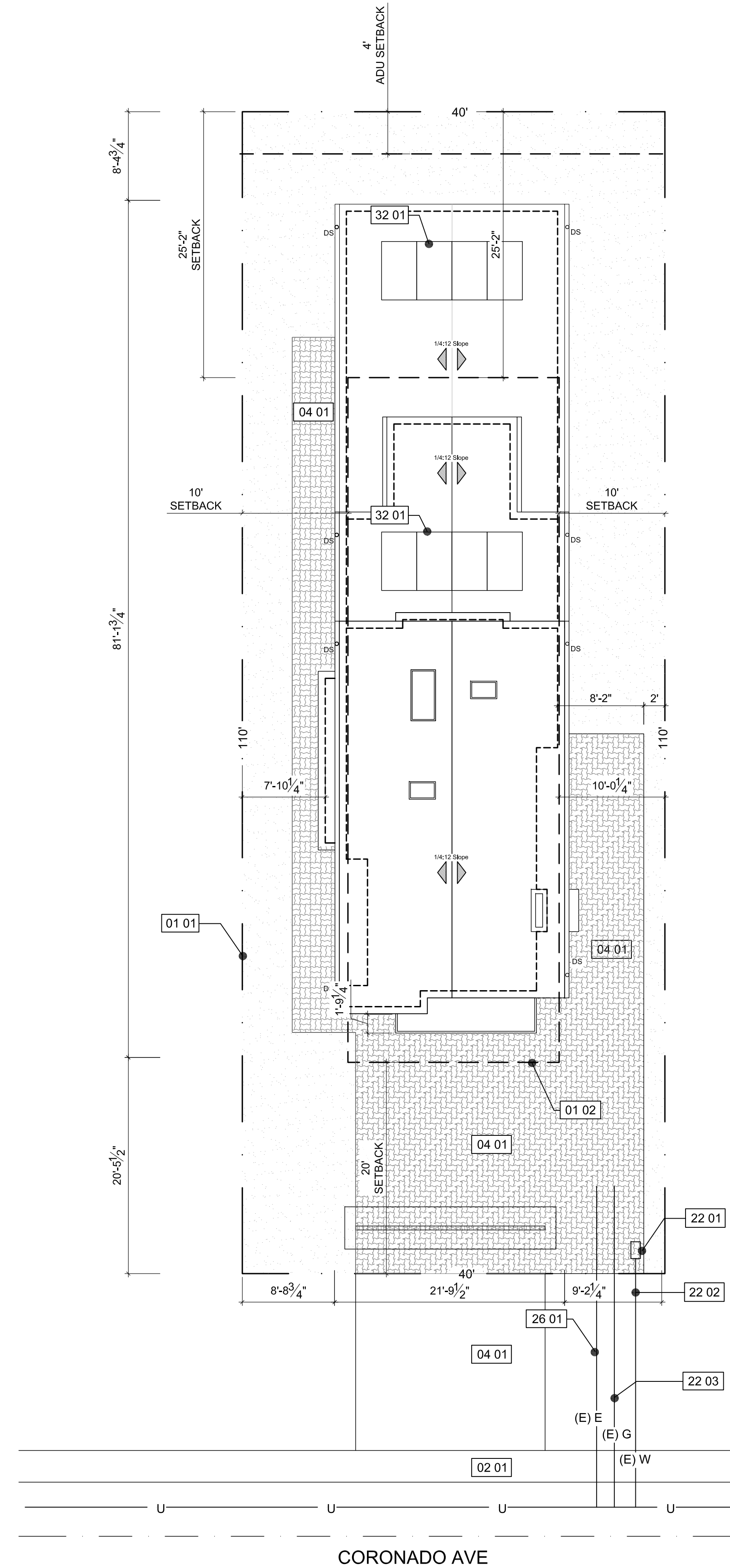
SYMBOL	DESCRIPCION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	PROPERTY LINE
01 02	SETBACKS
02 00	EXISTING CONDITIONS
02 01	3" CONCRETE VALLEY GUTTER
04 00	MASONRY
04 01	PAVERS
22 00	PLUMBING
22 01	22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES
22 02	WATER ENTRY POINT W/ PRIVATE METERS. (1.5 WATER SERVICE& BBOS VALVE) CONTRACTOR TO VERIFY
22 03	WATER LINE
22 03	GAS LINE
26 00	ELECTRICAL
26 01	26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES
26 01	MAIN ELECTRICAL SERVICE
32 00	SITE IMPROVEMENT
32 01	SOLAR POWER SYSTEM (PV)- STANDARD PV SIZE

GENERAL SITE NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE. AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE. CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

LINE LEGEND

—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) P—	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S—	NEW BUILDINGS SEWER
— U —	UTILITY LINES



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

Wilkins Studio
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Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
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Owner
Paul McGregor
130 Coronado Ave, Half
Moon Bay, CA 94019

Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
APN: 048-013-890

No.	Description	Date
1	Submittal	05/10/2022
2	Plan Check	05/24/2022

Proposed Site Plan
A0-2
Scale: As Noted
Sheet size: Arch D

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GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT JURISDICTION PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED. POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 3.2.3. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF 1-FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- CONTRACTOR SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE COUNTY.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- A JURISDICTION ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL CONSTRUCTION, UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- THE JURISDICTION INSPECTOR ACTING ON BEHALF OF THE JURISDICTION BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRAFFIC INDEX OF FOR (ROAD NAME). THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ROAD CONSTRUCTION.
- HYDRO-SEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION.
- FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE JURISDICTION, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL: A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY BUILDING DEPARTMENT OR, B. DOCUMENT THAT THE REGULATORY
- WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMIT/S OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.
- SITE GRADING AND SLOPE ARE BASED ON OWNERS DESCRIPTION. ARCHITECT WAS NOT PROVIDED WITH UPDATED PROPERTY SLOPE AND GRADING DOCUMENTS FOR THIS DESIGN. OWNER MUST PROVIDE LEGAL SURVEY TO VERIFY SLOPE AND TO SUBMIT TO ARCHITECT FOR ASSESSMENT AND PLAN ADJUSTMENTS PRIOR TO CONSTRUCTION

GRADING NOTES

- ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS REPORT.
- NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BID ACCORDINGLY.
- SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND JURISDICTION ORDINANCES.
- NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL.
- FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY.
- REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.

- ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE.
- MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING.
- MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND shall obtain an encroachment permit.
- ENGINEERING REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.

UNDERGROUND UTILITY NOTES

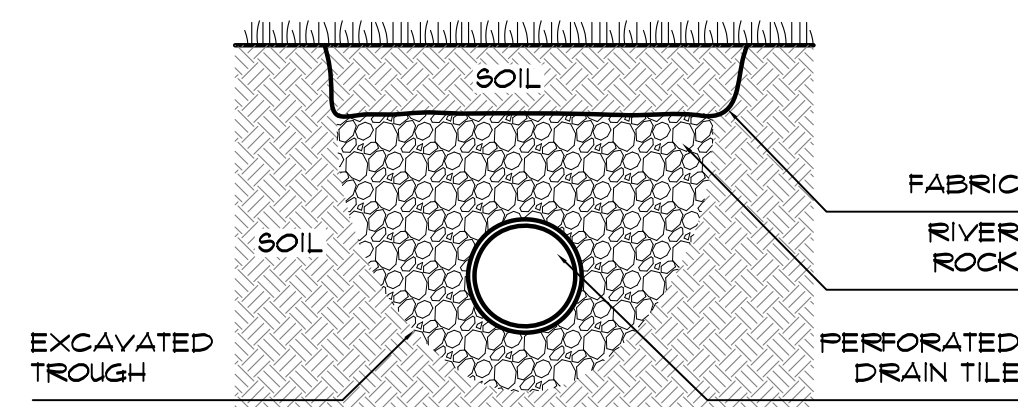
- AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.

APPLICABLE CODES

- 2019 BUILDING STANDARDS CODES
- CALIFORNIA BUILDING CODE - VOLS 1 & 2 (2019 IBC)
 - CALIFORNIA RESIDENTIAL CODE (NEW) (2019 IRC)
 - CALIFORNIA PLUMBING CODE (2019 UPC)
 - CALIFORNIA MECHANICAL CODE (2019 UMC)
 - CALIFORNIA ELECTRICAL CODE (2019 NEC)
 - CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2019)
 - CALIFORNIA GREEN BUILDING CODE
 - California Fire Code (2019 IFC)
 - CALIFORNIA REFERENCE STANDARDS CODE
 - COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 19
 - COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23
 - COUNTY FIRE CODE ORDINANCE - TITLE 16
 - COUNTY LAND USE ORDINANCE - TITLE 22

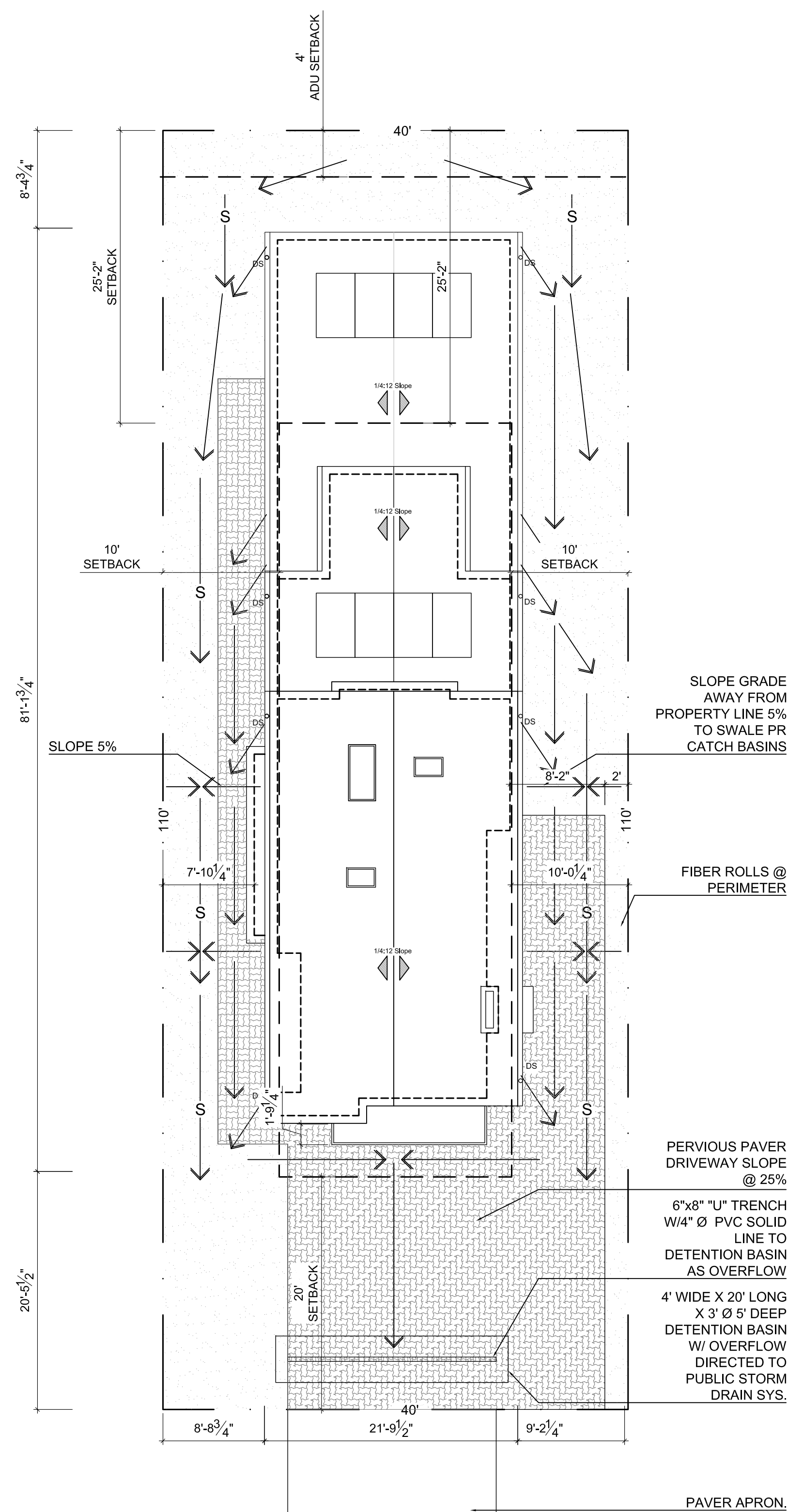
LEGEND

---	PROPERTY LINE
- - - -	SETBACK
~ ~ ~ ~	EXISTING GROUND CONTOUR
— — — —	FINISH GRADE CONTOUR
▨	CONCRETE
—	EDGE OF PAVEMENT
W	WATER LINE
WV	WATER VALVE
⊕	FIRE HYDRANT
S	SANITARY SEWER MAIN
E	ELECTRICAL LINE
OH	OVERHEAD LINE
⊕	UTILITY POLE
J	GUY ANCHOR
E	ELEC. VAULT / PEDESTAL / PULL BOX
T	TELEPHONE LINE
T	TELE. VAULT / PEDESTAL / PULL BOX
x	FENCE
G	GAS MAIN
→	FLOWLINE
2%	PROPOSED GRADE & DIRECTION
①	CONSTRUCTION NOTE REFERENCE
100.0	SPOT ELEVATION
ELEV	



FRENCH DRAIN DETAIL

SCALE: NTS



GRADING AND DRAINAGE SITE PLAN

SCALE: 1/8" = 1'-0"

Wilkins Studio
Architects
San Francisco CA
(415)273-9054

LICENSED ARCHITECT
KAREN WILKINS
No. 795
04-30-2023
RENEWAL DATE
STATE OF CALIFORNIA

Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
Morro Bay, CA 93442
(415) 273-9054

Owner
Paul McGregor
130 Coronado Ave, Half
Moon Bay, CA 94019

Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
APN: 048-013-890

No.	Description	Date
	Submittal	05/10/2022
	Plan Check	05/24/2022

Grading and
Drainage

A0-3
Scale: As Noted
Sheet size: Arch D

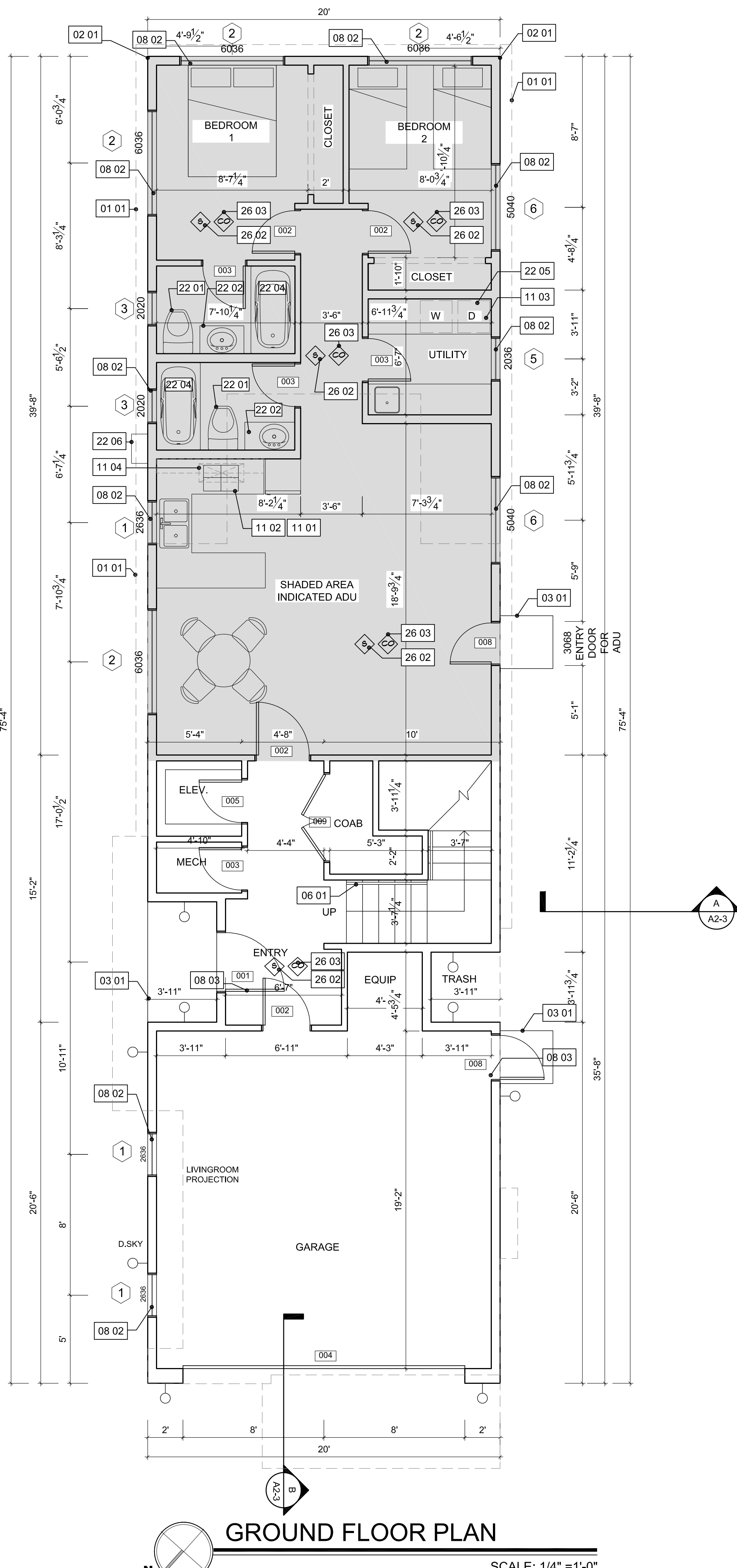
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FLOOR PLAN NOTES & SYMBOL LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Contains notes for various construction elements like fire blocking, insulation, plumbing, electrical, and finishes.

FLOOR PLAN NOTES

- 1. ALL NEW INTERIOR WALLS TO BE 2x4 UNO
2. ALL PLUMBING WALLS TO BE 2x6
3. ALL INTERIOR DOOR TO BE SET 4" FROM WALL UNO
4. PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS.



Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
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Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
APN: 048-013-890

Revision table with columns: No., Description, Date. Includes entries for Submittal (05/10/2022) and Plan Check (05/24/2022).

Ground Floor Plan
A1-1
Scale: As Noted
Sheet size: Arch D

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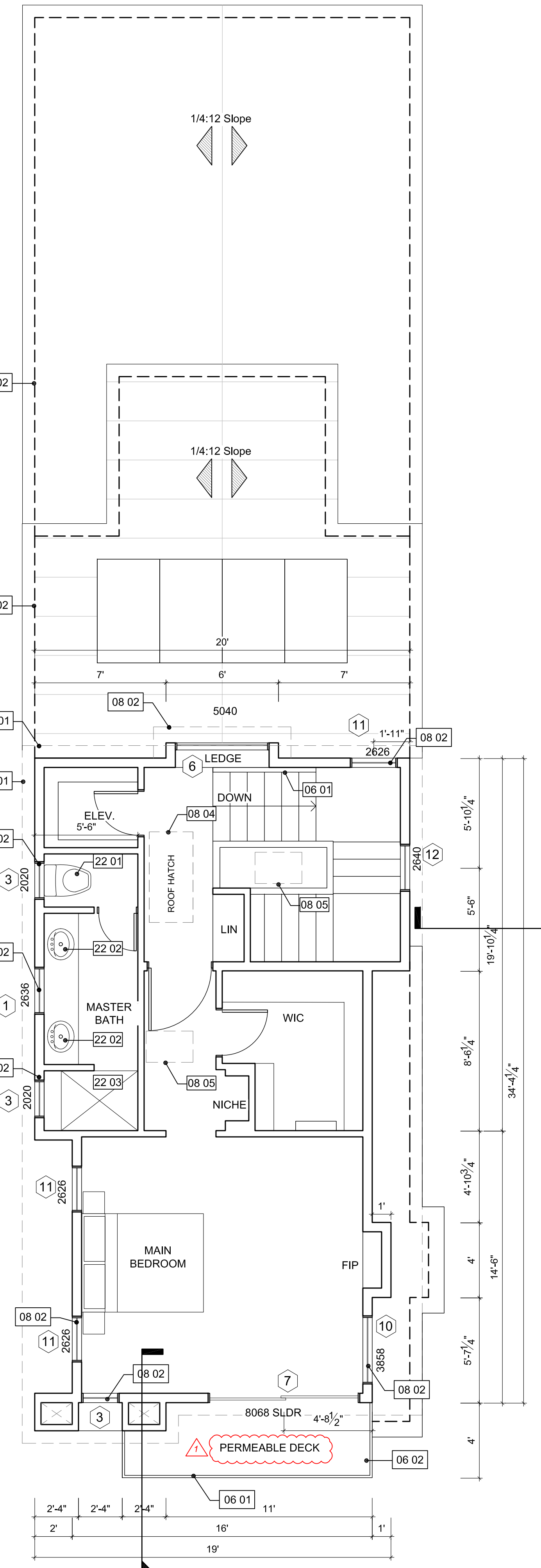
FLOOR PLAN NOTES & SYMBOL LEGEND

Table with 2 columns: SYMBOL and DESCRIPTION. Contains notes for various construction elements like GENERAL, SITE, WOOD, THERMAL & MOISTURE PROTECTION, FINISHES, EQUIPMENT, PLUMBING, SHOWER ENCLOSURE, BATH TUB, ELECTRICAL, and SOLAR POWER SYSTEM.

FLOOR PLAN NOTES

- 1. ALL NEW INTERIOR WALLS TO BE 2x4 UNO
2. ALL PLUMBING WALLS TO BE 2x6
3. ALL INTERIOR DOOR TO BE SET 4" FROM WALL UNO
4. PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS IN BATHROOMS.
5. CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION THE UNFINISHED AREAS
6. PROVIDE HANDRAILS MIN AND MAX HEIGHTS OF 34" AND 38" CONTINUOUS THE FULL LENGTH OF THE STAIRS AT LEAST ONE SIDE OF STAIR AND TERMINATE INTO THE WALL OR NEWEL POST.
7. PROVIDE GUARDRAILS WHERE FLOOR SURFACES ARE 30" OR MORE ABOVE THE GRADE BELOW.
8. PROVIDE PROTECTIVE COVERS FOR WOOD WELLS.
9. ENHANCED DURABILITY AND REDUCED MAINTENANCE.
10. PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT
11. ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR
12. ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL DISCONNECT SWITCH
13. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.
14. FOOTING DRAIN TILE SHALL BE PLACED ON A MINIMUM OF 2" OF GRAVEL AND BE COVERED WITH A MINIMUM OF 6" OF GRAVEL.
15. PROVIDE PROTECTIVE COVERS FOR WOOD WELLS.
16. ENHANCED DURABILITY AND REDUCED MAINTENANCE.
17. RODENT PROOFING
18. ANNUAL SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
19. 4.408.2 CONSTRUCTION WASTE MANAGEMENT, DISPOSAL AND RECYCLING
20. 4.408.1 CONSTRUCTION WASTE MANAGEMENT
21. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
22. EXCEPTIONS:
- EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
- ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERGION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOB SITE.
- THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERGION FACILITY.
23. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
24. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).
25. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS COLLECTED WILL BE TAKEN.
26. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
27. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
28. 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLEIES WITH SECTION 4.408.1.
29. THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.
30. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 3,418BS./SQ.FT. OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
31. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1
32. 4.408.5 DOCUMENTATION DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION 4.408.4.
33. NOTES:
1. SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW/HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION.
2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CAIRECYCLE).
3. 4.410.1 OPERATION AND MAINTENANCE MANUAL AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
a. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGER., WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
b. ROOF AND YARD DRAINAGE, INCLUDING GUTTER.; AND DOWNSPOUTS
c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
d. LANDSCAPE IRRIGATION SYSTEMS.
e. WATER REUSE SYSTEMS.
3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.

- 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
11. HVAC TYPE - NEW CENTRAL GAS FURNACE WITH COOLING (GIVEN) TO HAVE HEATING EFF. 0.96 AFUE AND COOLING EFF. 16 SEER, 12.5 EER FOR MAIN UNIT. (2 EACH FUTURE ADU UNIT WILL HAVE AN INDEPENDENT HVAC SYSTEM.) MINI-SPLIT HEAT PUMP HAVING 9.5 HSPF AND 15 SEER 12.5 EER.
12. R8 INSULATED DUCTS IN CONDITIONED SPACE.
13. NEW 2x4 STUD WALLS (GIVEN) WITH R15 INSULATION AND 6" CONCRETE WALL WITH R13 INTERIOR INSULATION WALL AT ROOM B5.
14. EXTERIOR WALL FINISH - STUCCO FOR GARAGE AND UPPER LEVEL WALLS AND WOOD SIDING FOR LOWER LEVEL WALLS.
15. WINDOWS & DOORS WITH NFRC VALUE OF 0.29 U-FACTOR AND 0.21 SHGC
16. SLAB ON GRADE, (GIVEN)
17. (4x) ENERGY RECOVERY VENTILATOR (40 CFM, 23 WATTS, 0.66 HEAT RECOVERY. PRODUCT: PANASONIC FV04VE1)
18. ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH CRC R311.7.9
19. PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2
20. GUARDS (SECTION R312)
21. A)SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDE WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
22. B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF STAIRS).
23. C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
24. D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFLLL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R301.5.
25. PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7.
26. A)MAXIMUM RISE IS 7.3/4" AND MINIMUM RUN IS 10". MEASURED FROM THE NOSING PROJECTION, WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11".
27. B)MINIMUM HEADROOM IS 6'-8".
28. C)MINIMUM WIDTH IS 36".
29. D)THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
30. OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1.
31. A NOSING (BETWEEN 1/4" AND 1-1/4") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES.
32. HANDRAILS (SECTION R311.7.8):
A)SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS.
B)HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
C)THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES.
D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1 INCHES BETWEEN THE WALL AND THE HANDRAIL.
E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS ORBENDS.
33. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.



UPPER FLOOR PLAN SCALE: 1/4" = 1'-0"



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Table with 3 columns: No., Description, Date. Contains entries for Submittal (05/10/2022) and Plan Check (05/24/2022).

Upper Floor Plan A1-3 Scale: As Noted Sheet size: Arch D

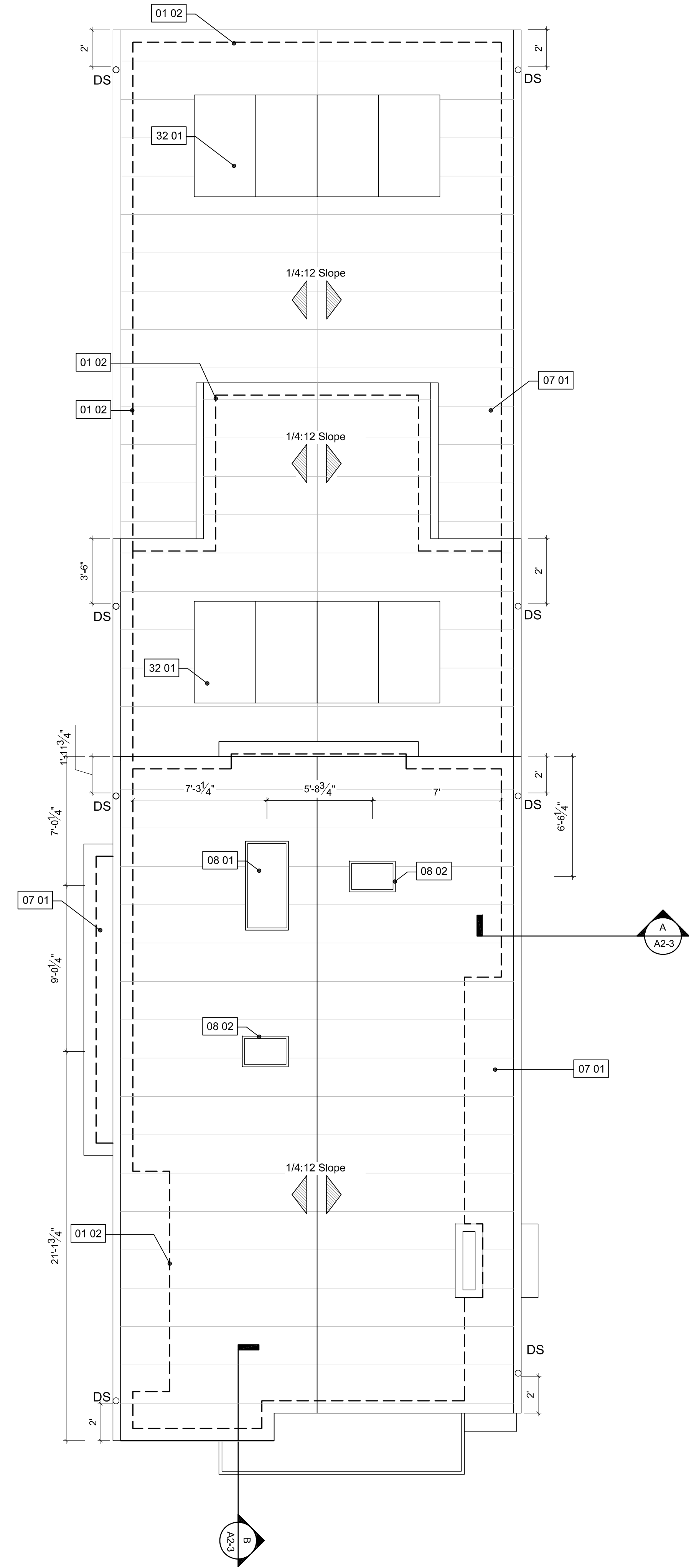
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ROOF PLAN NOTES & SYMBOL LEGEND

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	EAVE ABOVE
01 02	LINE OF FRAMING BELOW
07 00	THERMAL & MOISTURE PROTECTION
7.1	CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
7.2	CONTRACTOR SHALL INSTALL ALL G.L. FLASHING AS REQUIRED TO COMPLETE ASSEMBLY FOR WATER-TIGHT CONSTRUCTION. (26 GAUGE, TYPICAL) COLOR MATCH ROOF WHERE VISIBLE.
7.3	ALL PENETRATIONS AS MAY OCCUR SHALL BE FLASHED AND CAPPED AS REQUIRED.
7.4	PROVIDE ALL FLASHING AND CLOSURE STRIPS AND INSTALL PER MANUFACTURER'S REQUIREMENTS - SEE DETAILS.
7.5	MATCH ROOF SLOPE TO DRAIN @ CRICKETS WHEN POSSIBLE.
7.6	ROOF COVERING AND UNDERLAYMENT SHALL COMPLY W/ 2019 CRC CHAPTER 9.
7.7	ALL ROOF EAVES AND FASCIA CONDITIONS SHALL BE AS PER DETAILS. ADJUSTMENTS IN THE FIELD SHALL OCCUR ONLY AS NECESSITATED BY DIMENSIONAL DISCREPANCIES - COORDINATE WITH ARCHITECT.
7.8	NEW VENTILATED ATTIC ROOF (ROOF SLOPE 4:12) TO HAVE R30 CEILING INSULATION W/ RADIANT BARRIER.
7.9	ROOFING LIGHTWEIGHT ROOFING OR EQUIVALENT.
07 01	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
07 02	5" FASCIA GUTTER "DS" INDICATES 2" DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	WB SUPER SIMPLEX SERIES PULL-DOWN ROOF HATCH ACCESS LADDER, 2'-6"x4'-10"
08 02	SKYLIGHT 20x30
32 00	SITE IMPROVEMENTS
32 01	SOLAR POWER SYSTEM (PV)- STANDARD PV SIZE

GENERAL NOTES

- OVERLAP MEMBRANES Laterally 3" AND FRONTALLY 6". MEMBRANES SHOULD BE STAGGERED ABOUT 18" SO SEAMS DO NOT OVERLAP.
- FOR SLOPES LESS THAN 3" PER FOOT, INSTALL THE PROPYLENE MEMBRANE PERPENDICULAR TO THE SLOPE.



ROOF PLAN
SCALE: 1/4" = 1'-0"

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LICENSED ARCHITECT
KAREN WILKINS
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04-30-2023
RENEWAL DATE
STATE OF CALIFORNIA

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Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
APN: 048-013-890

No.	Description	Date
	Submittal	05/10/2022
	Plan Check	05/24/2022

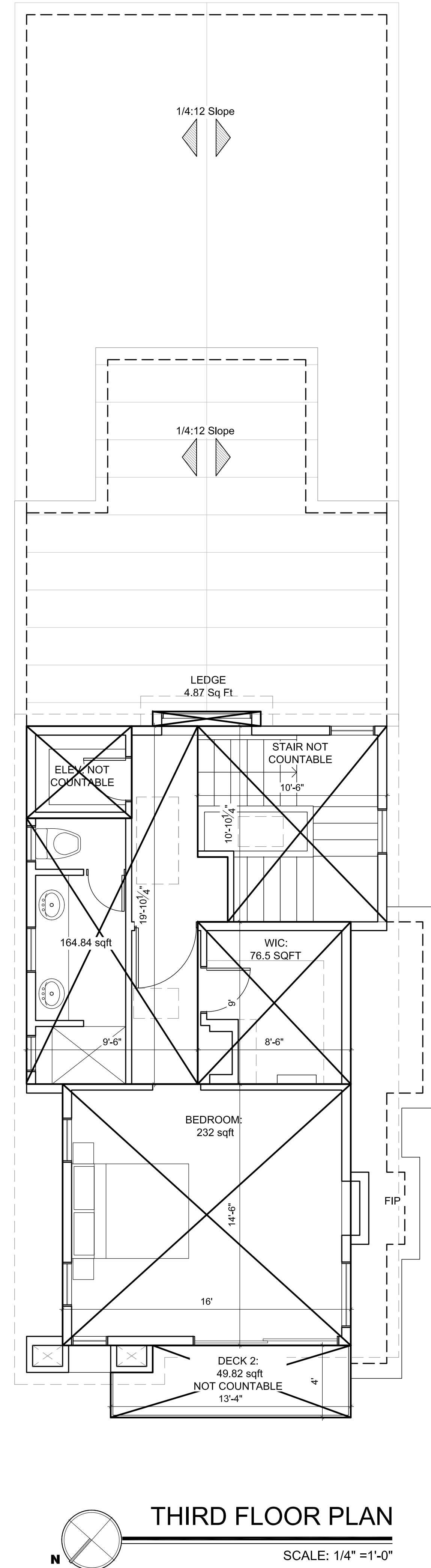
Roof Plan
A1-4
Scale: As Noted
Sheet size: Arch D

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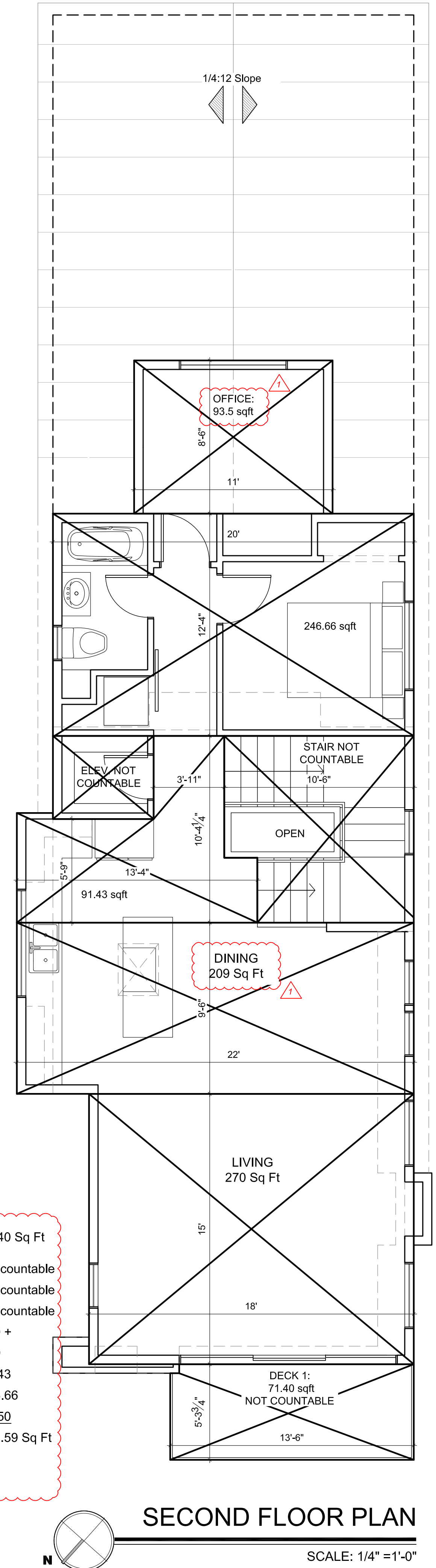
AREAS

Lot size:	4,401.31 Sq Ft
House Footprint:	1,507.57 Sq Ft
Area ADU:	800 Sq Ft
Area First Floor:	310.51 Sq Ft
Area Garage:	410 Sq Ft
Area 2nd Floor:	910.59 Sq Ft
Area Deck 2nd Floor:	71.40 Sq Ft
Area 3rd Floor:	478.26 Sq Ft
Area Deck 3rd Floor:	49.82 Sq Ft
Total Area (1st, 2nd, 3rd floors):	1,699.36 Sq Ft
FAR calculation:	2,109.36 / 4,401.31
FAR:	47.92%

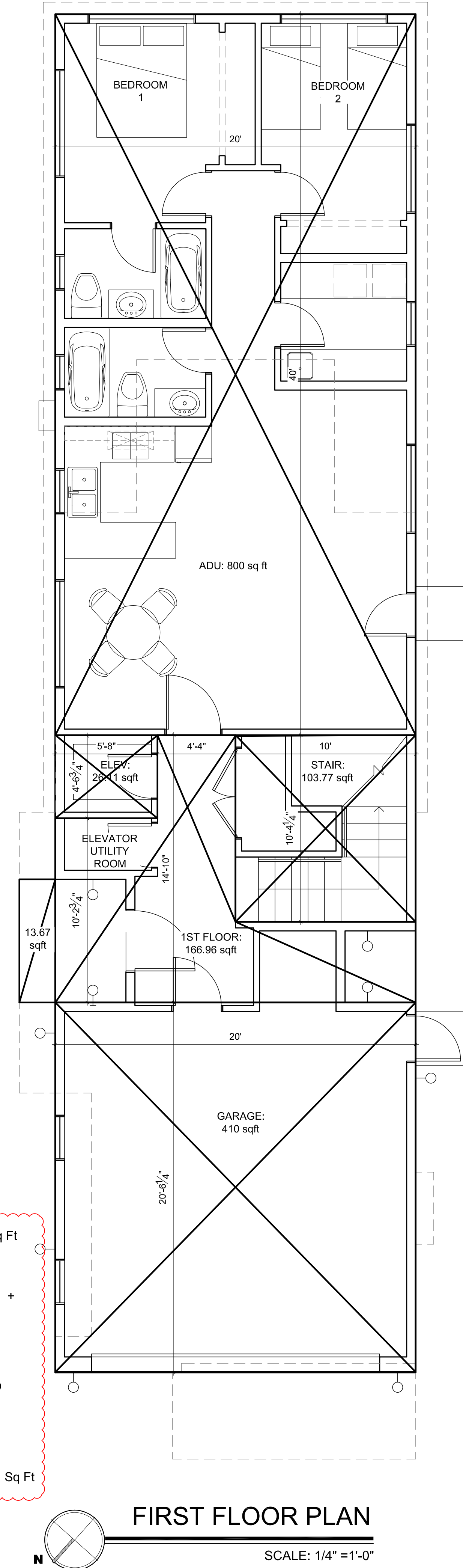
Area Deck 3rd Floor: (not countable)	49.82 Sq Ft
Elevator:	Not Countable
Stairs:	Not Countable
Fire place:	Not Countable
Bedroom:	232
WIC:	76.5
Bath & Hallway:	164.84
Ledge:	4.87
Total 3rd Floor Area:	478.26 Sq Ft



Area Deck 2nd Floor: (not countable)	71.40 Sq Ft
Elevator:	not countable
Stairs:	not countable
Fip:	not countable
Living:	270 +
Dining:	209
Kitchen:	91.43
Bedroom & bath:	246.66
Office:	93.50
Total 2nd Floor:	910.59 Sq Ft



Area ADU: (not Countable)	800 Sq Ft
Hall:	166.96 +
Stairs:	103.77
Elevator:	26.11
Area Garage:	410.00
Cantilevered 2nd. Floor:	13.67
Total 1st Floor:	720.51 Sq Ft



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Owner
Paul McGregor
130 Coronado Ave, Half
Moon Bay, CA 94019

Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
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No.	Description	Date
	Submittal	05/10/2022
	Plan Check	05/24/2022

Square Footage Calculation
A1-5
Scale: As Noted
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ELEVATION NOTES & KEYNOTES

See outline specifications on sheet A0.4 for additional information in each category.

SYMBOL	DESCRIPTION	(NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE	
02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE	
03 00	CONCRETE	
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS	
03 02	SLAB ON GRADE	
06 00	WOOD	
06 01	NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION.	
06 02	2X4 (@16" O.C. WOODEN STUD) WALLS WITH R15 INSULATION.	
07 00	THERMAL & MOISTURE PROTECTION	
07 01	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL	
07 02	5" FASCIA GUTTER "05" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW	
08 00	OPENINGS	
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS. 1 HOUR Fyre-TEC FIRE RATED WINDOWS, OPTIMUM FIRE RATED WINDOWS	
09 00	FINISHES	
09 01	HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE OC-17	
09 02	EXTERIOR WALL FINISH- WOOD SIDING	
09 03	FOAM TRIM - USE INVICTA OR EQUAL SILL/HORIZONTAL BAND: 55-105 WINDOW TRIM: ST1X4. BENJAMIN MOORE TULSA TWIGLIGHT, 2070-10	
26 00	ELECTRICAL	
26 01	KITCHLER LIGHTING 92348K OUTDOOR CYLINDER WALL MOUNT SCENCE DOWNLIGHT, BLACK	

DOOR SCHEDULE

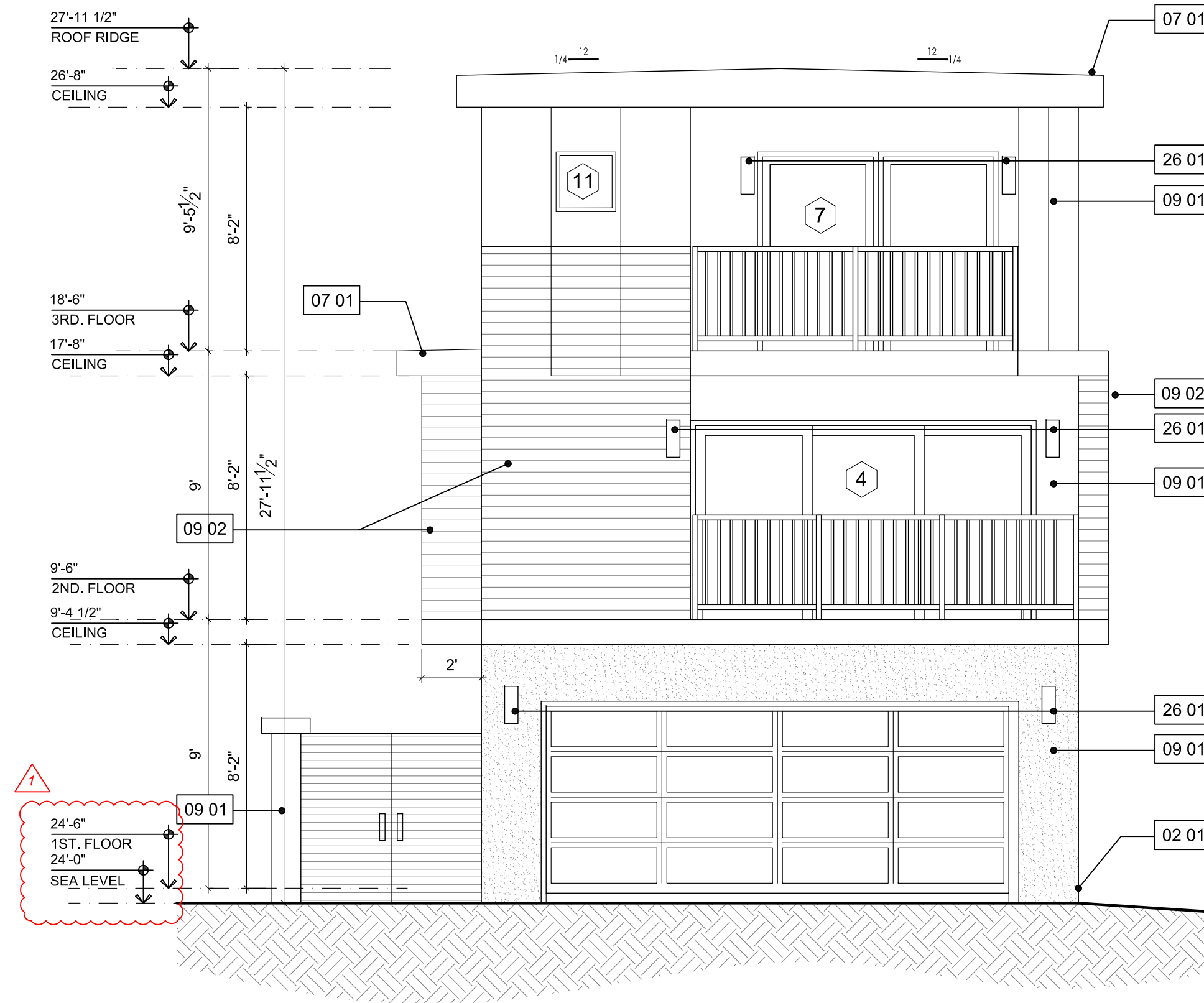
MARK	WIDTH	HEIGHT	FRAME MATERIAL	DOOR MATERIAL	DOOR FINISH	QTY	COMMENTS
001	3'-8"	6'-10"	ALUM	ALUM	PTD	1	EXTERIOR DOOR
002	2'-10"	6'-10"	WD	WD	PTD	7	
003	2'-7"	6'-10"	WD	WD	PTD	6	
004	16'-0"	6'-5"	WD	WD	PTD	1	
005	2'-7"	6'-10"	WD	WD	PTD	3	
006	3'-3"	6'-10"	WD	WD	PTD	1	POCKET DOOR
007	2'-2"	6'-10"	WD	WD	PTD	1	
008	2'-8"	6'-10"	ALUM	ALUM	PTD	2	EXTERIOR DOOR
009	4'-8"	6'-10"	WD	WD	PTD	1	DOUBLE DOOR

WINDOW SCHEDULE

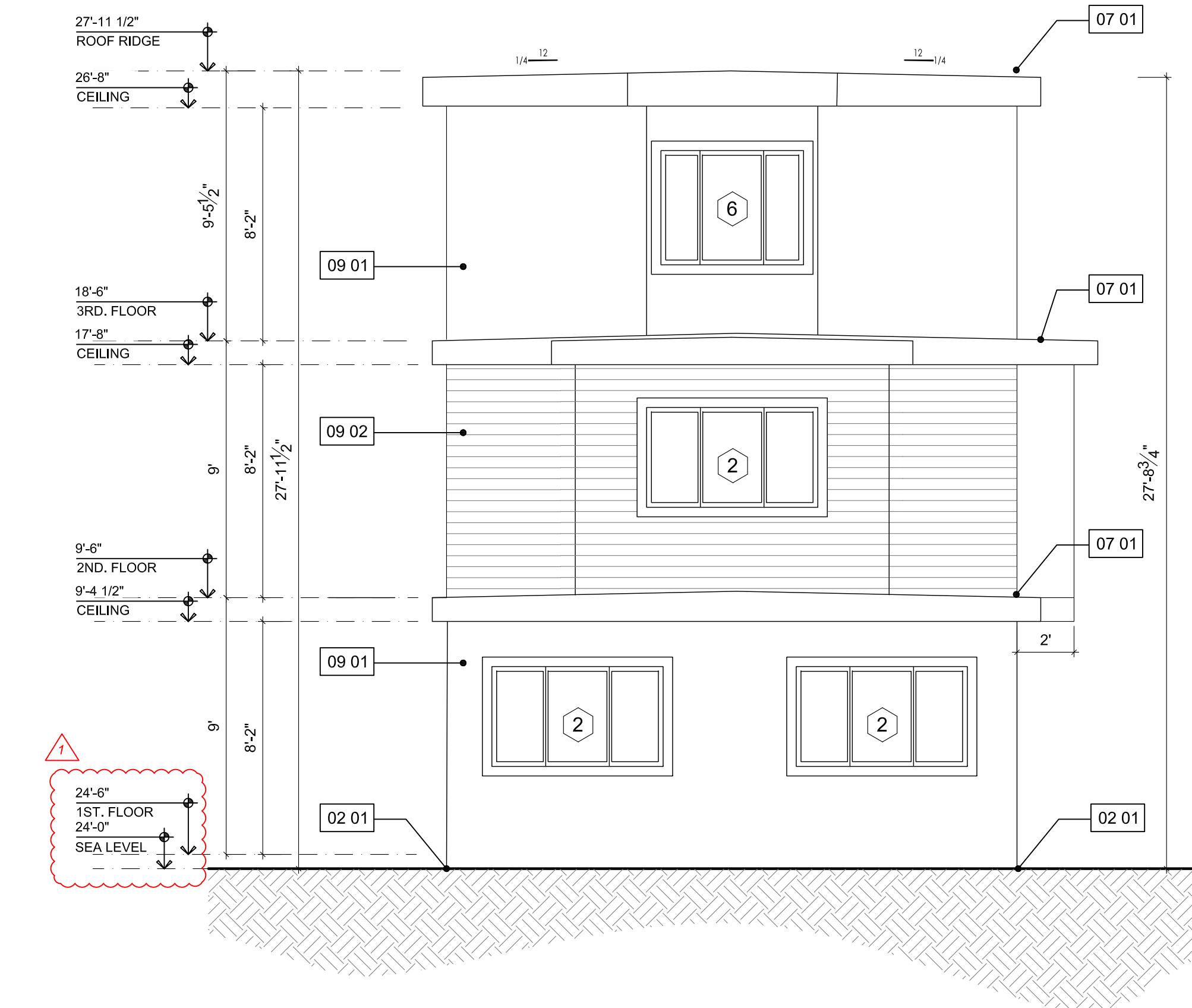
NO.	WIDTH	HEIGHT	QTY	COMMENTS
1	2'-6"	3'-6"	4	
2	6'-0"	3'-6"	7	
3	2'-0"	2'-0"	6	
4	12'-0"	6'-8"	1	SLIDING DOOR
5	2'-0"	3'-6"	1	
6	5'-0"	4'-0"	3	
7	8'-0"	6'-8"	1	SLIDING DOOR
8	2'-6"	6'-0"	1	
9	2'-0"	4'-0"	2	
10	3'-8"	6'-8"	3	
11	2'-6"	2'-6"	4	
12	2'-6"	4'-0"	1	

DOORS AND WINDOWS NOTES

- ALL EXTERIOR DOOR U - VALUE MAX. 0.32.
- 1 HOUR Fyre-TEC FIRE RATED WINDOWS.
- WINDOWS & DOORS WITH NFRC VALUE OF 0.3 U-FACTOR AND 0.35 SHGC.
- (2) SKYLIGHT WITH NFRC VALUE OF 0.49 U-FACTOR AND 0.27 SHGC.
- ALL SIZES TO BE VERIFIED w/ MANUFACTURE.
- ALL WINDOWS IN BATHROOMS, STAIRS AREA, AND WITH SILL LOCATION LOWER THAN 18" A.F.F. TO HAVE SAFETY GLASS.
- WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET, WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24".
- THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 44" ABOVE THE FLOOR.
- THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.
- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS, PER SECTION R003.1.
- NATURAL VENTILATION SHALL BE PROVIDED FOR ALL HABITABLE ROOMS, WITH THE MINIMUM OPENABLE AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED.
- SECTION R003.1.
- GLAZING ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE, AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
I) WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
II) WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
- POCKET DOOR TO THE MASTER CLOSET OPENS FROM THE LEFT SIDE.



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS
SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

- AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

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- 4.504.2.4 VERIFICATION.
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- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
TABLE 4.504.1 - ADHESIVE VOC LIMIT 1/2
(LESS WATER AND LESS EXEM PT COMPOUNDS IN GRAMS PER LITER)

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KAREN WILKINS
NO. 79573
04-30-2023
RENEWAL DATE
STATE OF CALIFORNIA

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APN: 048-013-890

No.	Description	Date
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	Plan Check	05/24/2022

No.	Description	Date

Front and Rear Elevations
A2-1
Scale: As Noted
Sheet size: Arch D

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ELEVATION NOTES & KEYNOTES

See outline specifications on sheet AD.4 for additional information in each category.

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
03 02	SLAB ON GRADE
06 00	WOOD
06 01	NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION.
06 02	2X4 (@16" O.C. WOODEN STUD) WALLS WITH R15 INSULATION.
07 00	THERMAL & MOISTURE PROTECTION
07 01	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
07 02	5" FASCIA GUTTER "05" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
07 01	7.1 2 LAYERS OF TYVEK AIR AND WATER BARRIER PROTECTION BUILDING PAPER
08 00	OPENINGS
08 01	8.1 USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS. 1 HOUR Fyre-TEC FIRE RATED WINDOWS, OPTIMUM FIRE RATED WINDOWS
09 00	FINISHES
09 01	HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE OC-17
09 02	EXTERIOR WALL FINISH- WOOD SIDING
09 01	9.1 FOAM TRIM - USE INVICTA OR EQUAL SILL/HORIZONTAL BAND: SS-105 WINDOW TRIM: ST1X4. BENJAMIN MOORE TULSA TWIGLIGHT, 2070-10
26 00	ELECTRICAL
26 01	KITCHLER LIGHTING 92348K OUTDOOR CYLINDER WALL MOUNT SCONCE DOWNLIGHT, BLACK



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS

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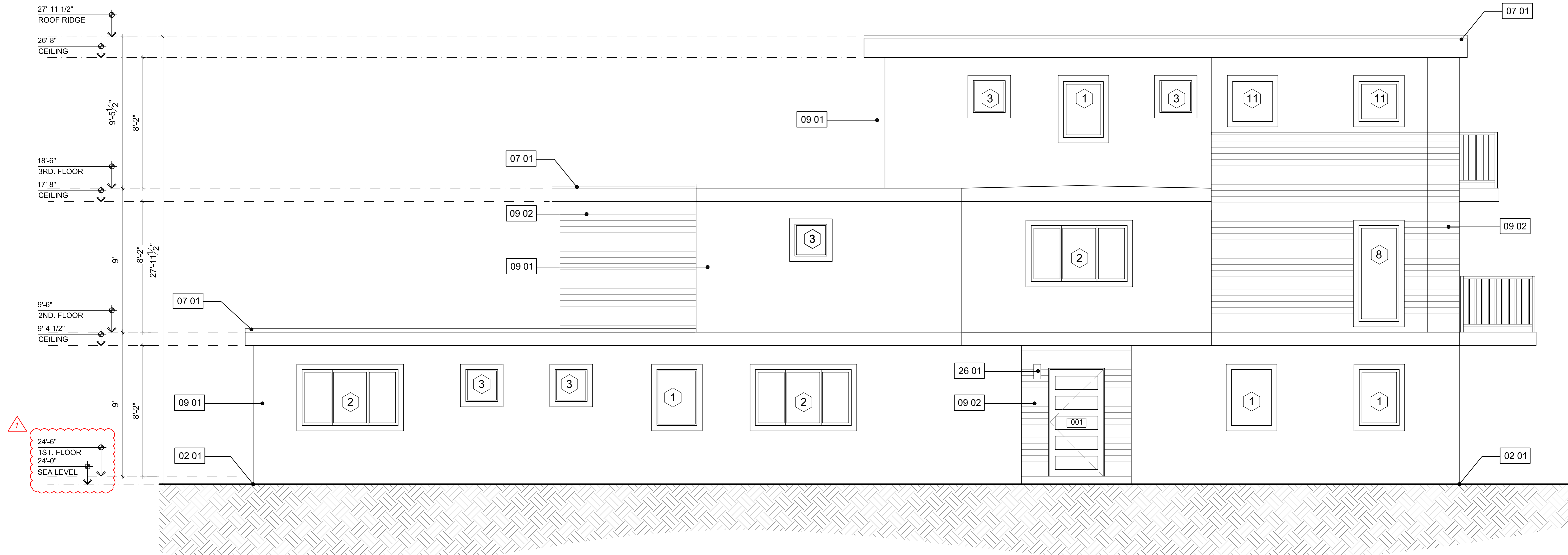
2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

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4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



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West and East Elevations

A2-2
Scale: As Noted
Sheet size: Arch D

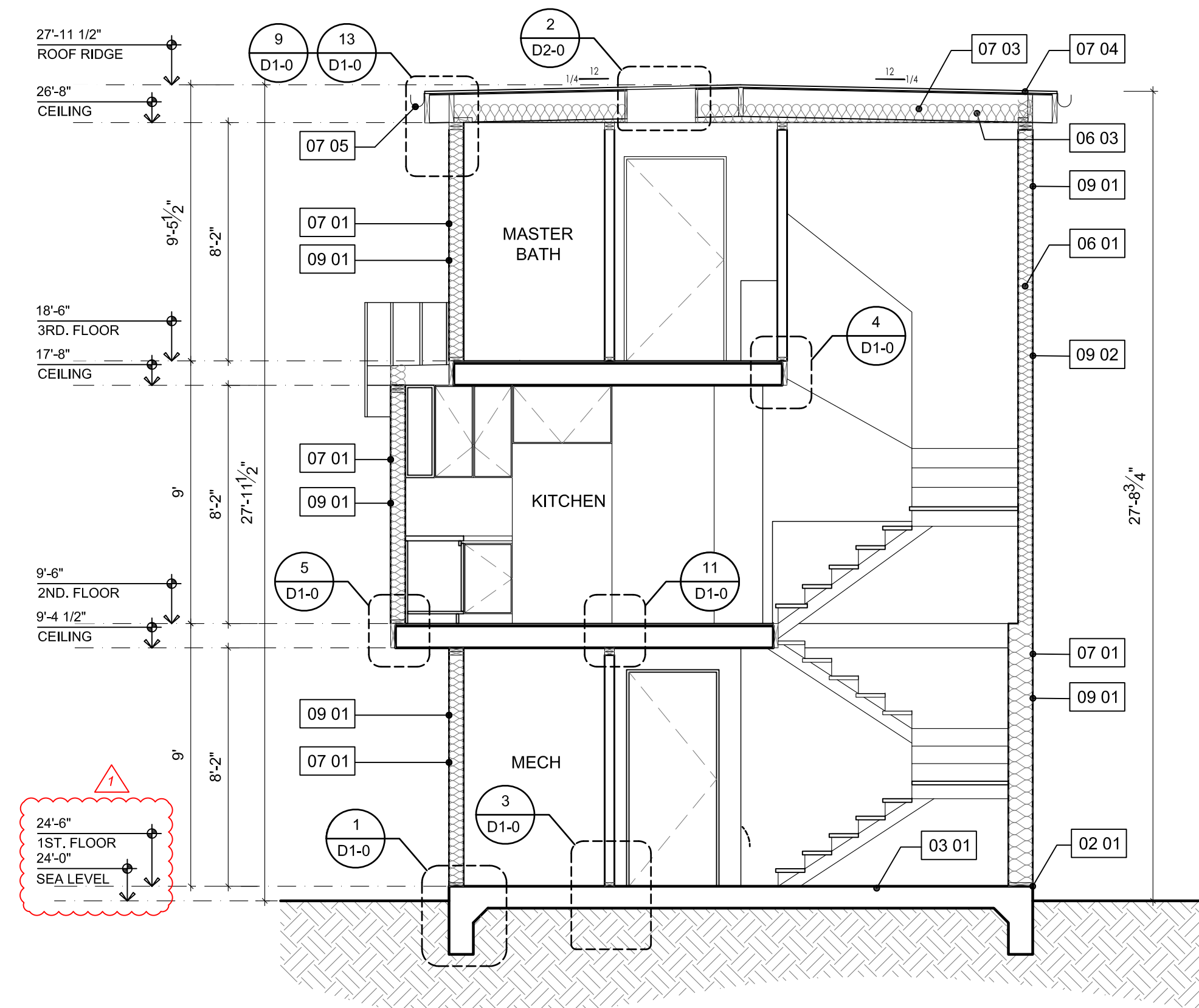
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SECTION NOTES & KEYNOTES

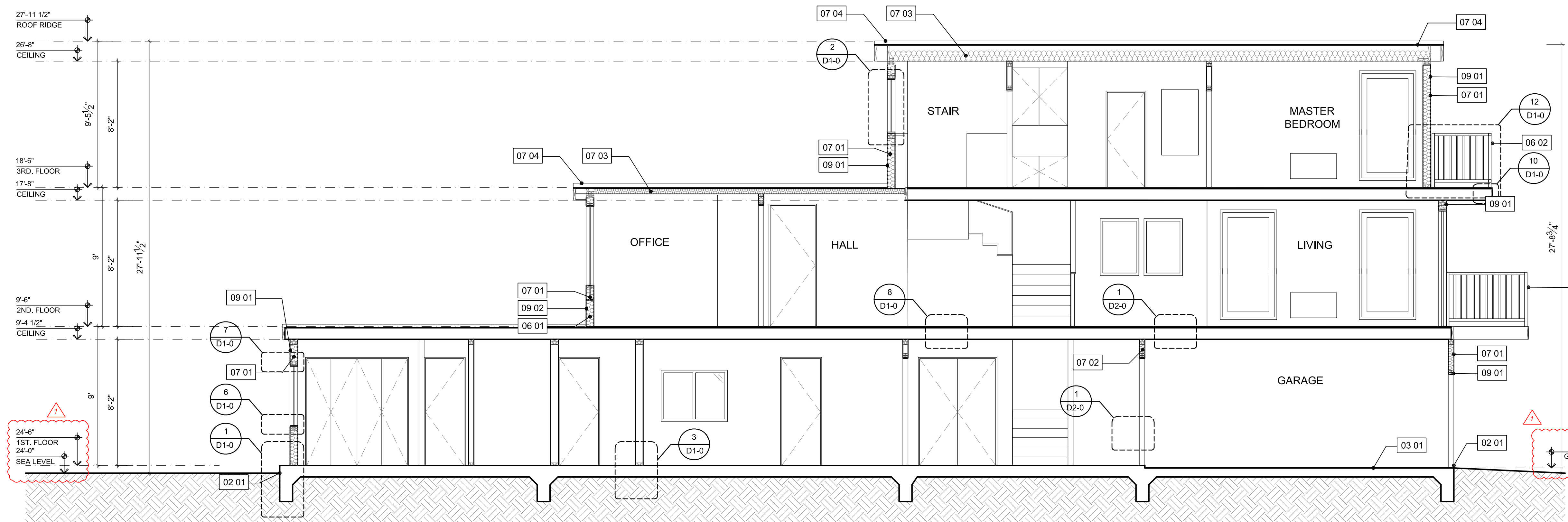
SYMBOL	DESCRIPTION	(NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
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03 00	CONCRETE	
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS	
03 02	SLAB ON GRADE	
06 00	WOOD	
06 01	2X4 (@ 16" O.C. WOODEN STUD) WALLS WITH R15 INSULATION.	
06 02	6.1 INSTALL FIRE (BLOCKING) STOPPING PER CBC CHAPTER 7 IN THE FOLLOWING LOCATIONS: a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES SUCH AS AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. c. IN CONCEALED SPACES BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS. 6.2 PROVIDE 2X BACKING FOR TOWEL BARS, TOILET PAPER HOLDERS, WINDOW COVERINGS ETC. COORDINATE FINAL LOCATIONS IN WITH OWNER. +42" HALF WALLS OR GUARDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE SHALL NOT PASS WITH METAL STRUCTURE AND WOOD HANDRAIL. 6.3 HANDRAILS SHALL MEET MINIMUM REQUIREMENTS OF THE 2019 CRC SECTION R311 MOUNTING HEIGHT OF HANDRAIL TO BE BETWEEN 34" AND 38" ABOVE STAIR NOSING.	
06 03	NEW 2X12 (@16" O.C. WOODEN RAFTERS) NON ATTIC ROOF (ROOF SLOPE 0.25:12) TO HAVE R30 RAFTER INSULATION.	
07 00	THERMAL & MOISTURE PROTECTION	
07 01	7.1 FOR INTERIOR WALLS R-0 INSULATION	
07 02	FOR EXTERIOR WALLS R-15 INSULATION	
07 03	FOR WALL BETWEEN GARAGE AND LOBBY R-13 INSULATION	
07 04	FOR ROOF CONSIDER R-30 INSULATION	
07 05	GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL	
08 00	OPENINGS	
08 01	8.1 USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS. 1 HOUR Fyre-TEC FIRE RATED WINDOWS	
08 02	WB SUPER SIMPLEX SERIES PULL-DOWN ROOF HATCH ACCESS LADDER. 2'-6"x4'-10" SKYLIGHT 30x20	
09 00	FINISHES	
09 01	HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE	
09 02	EXTERIOR WALL FINISH- WOOD SIDING	
09 03	FOAM TRIM - USE INVICTA OR EQUAL, SILL/HORIZONTAL BAND: 55-105, WINDOW TRIM: 571X4, BENJAMIN MOORE TULSA TWIGHLIGHT	

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1 SECTION A
SCALE: 1/4" = 1'-0"



2 SECTION B
SCALE: 1/4" = 1'-0"

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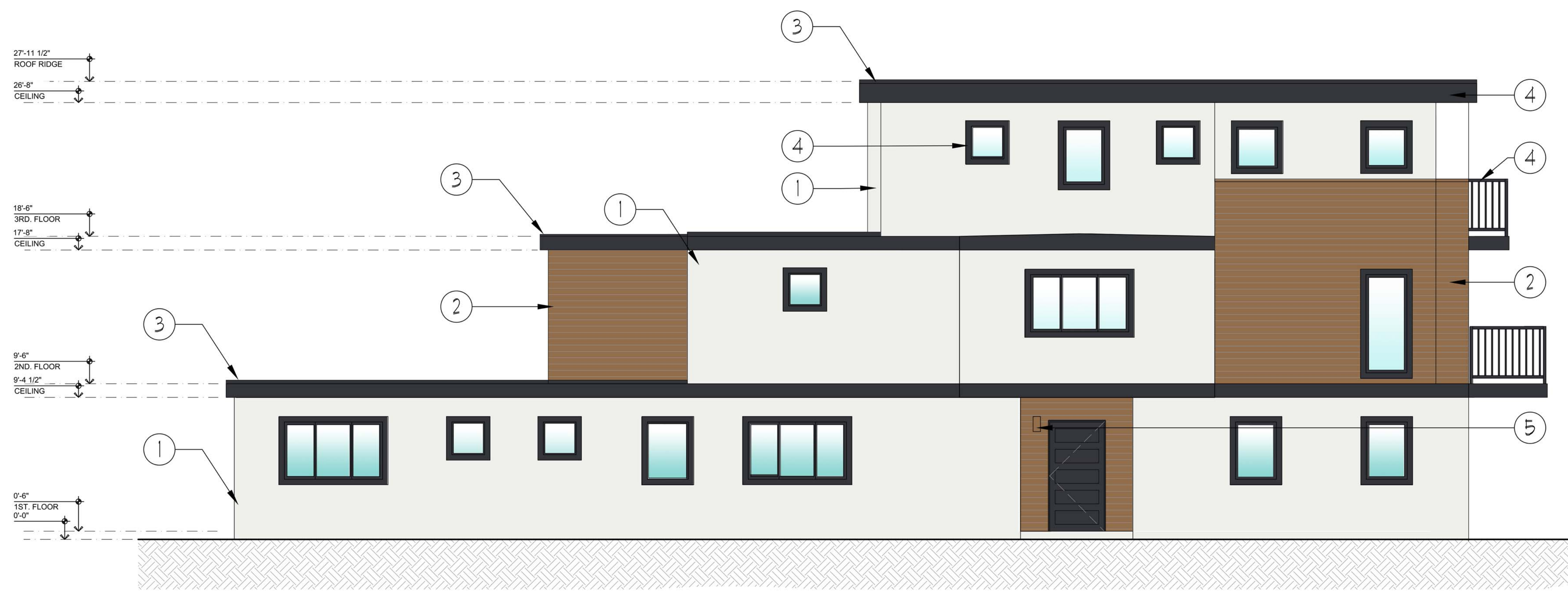
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- ①  HARDIE FIBER CEMENT 4X8 PANELS, BENJAMIN MOORE WHITE DOVE OC-17
- ②  JAMES HARDIE FIBER CEMENT HORIZONTAL PANELS, SIBERIAN WOOD TEXTURE
- ③  GAF WEATHER WATCH MINERAL SURFACE PEEL AND STICK LEAK BARRIER ROLL
- ④  BENJAMIN MOORE TULSA TWILIGHT 2070-10
- ⑤  KITCHLER LIGHTING 92348K OUTDOOR CYLINDER WALL MOUNT SCONCE DOWNLIGHT, BLACK



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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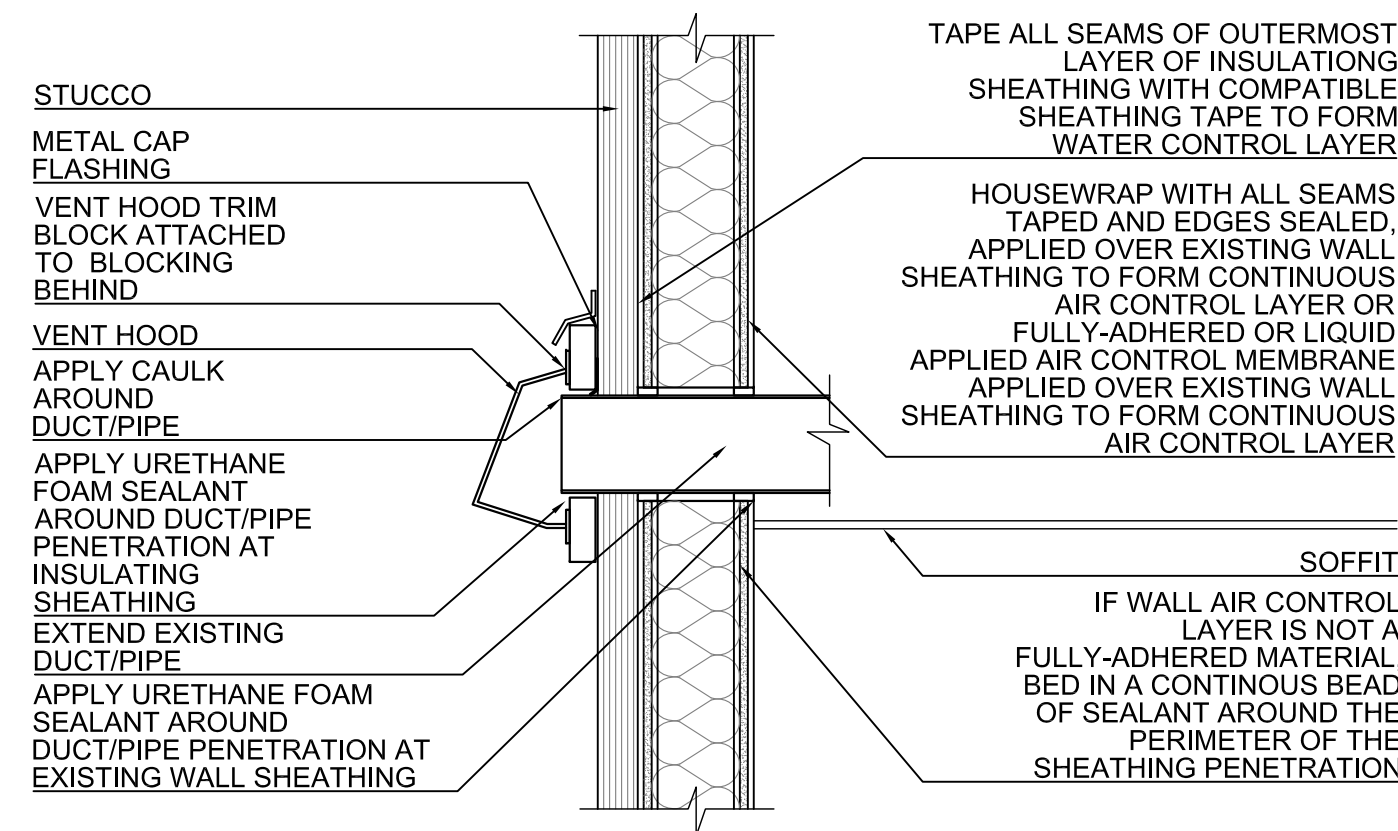
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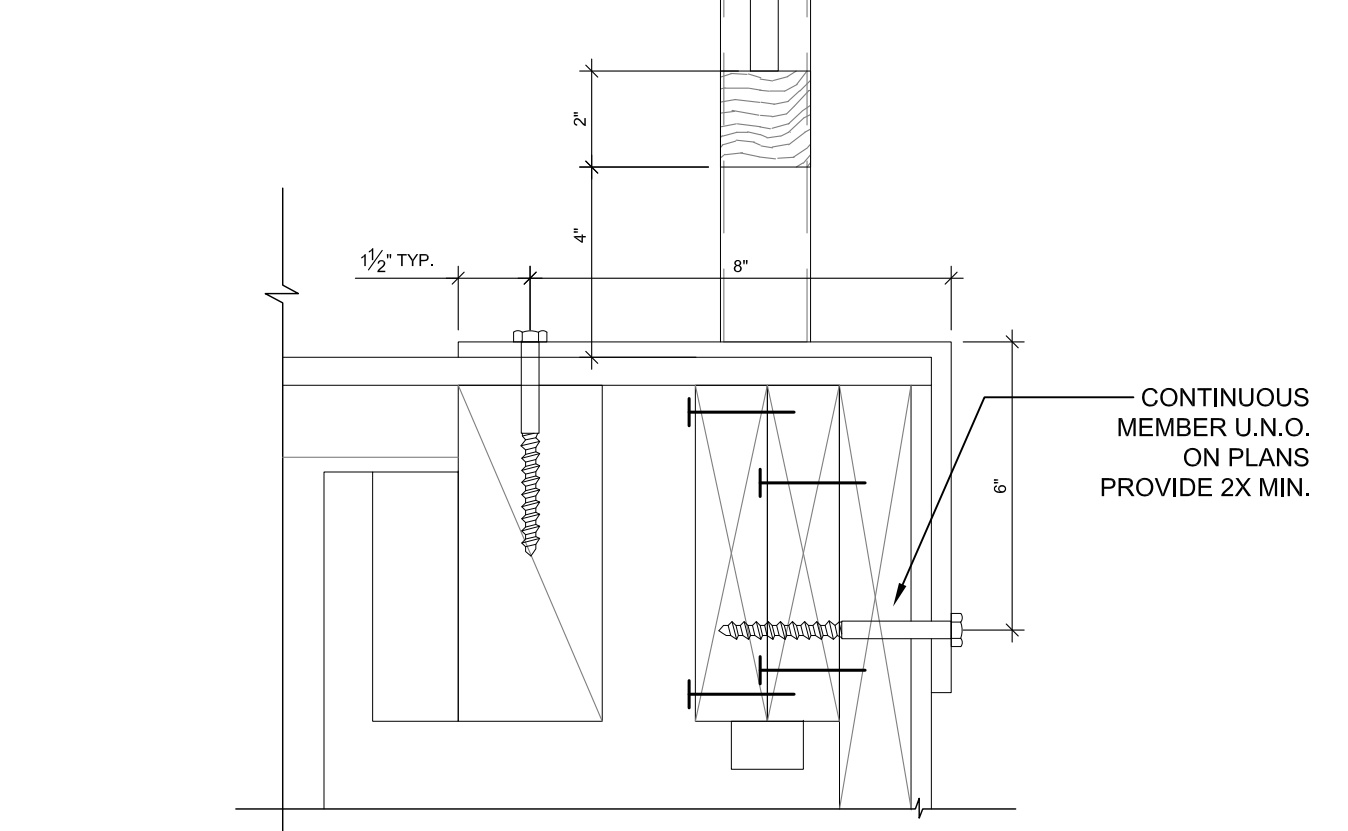
Material Board

A2-4
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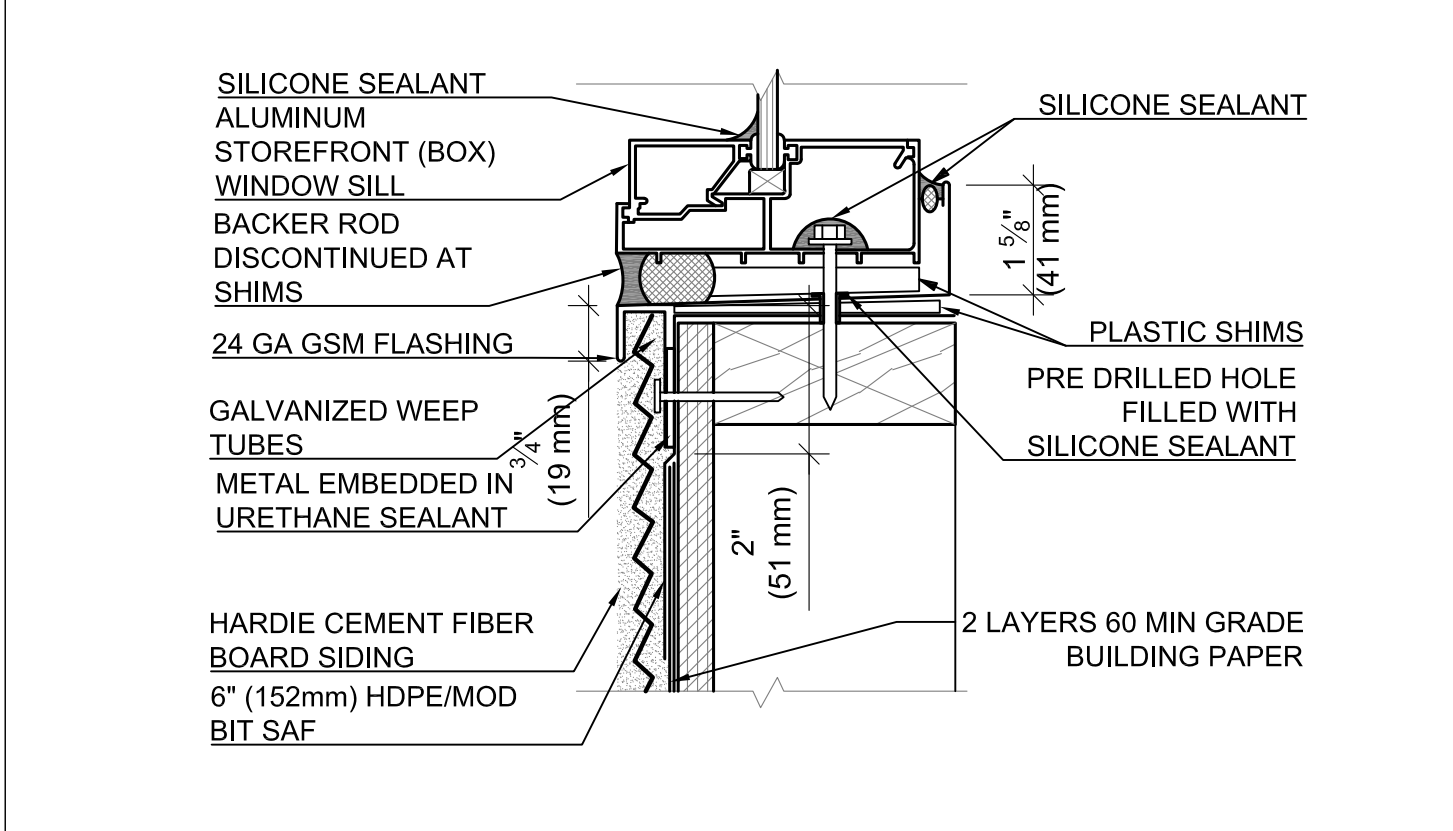
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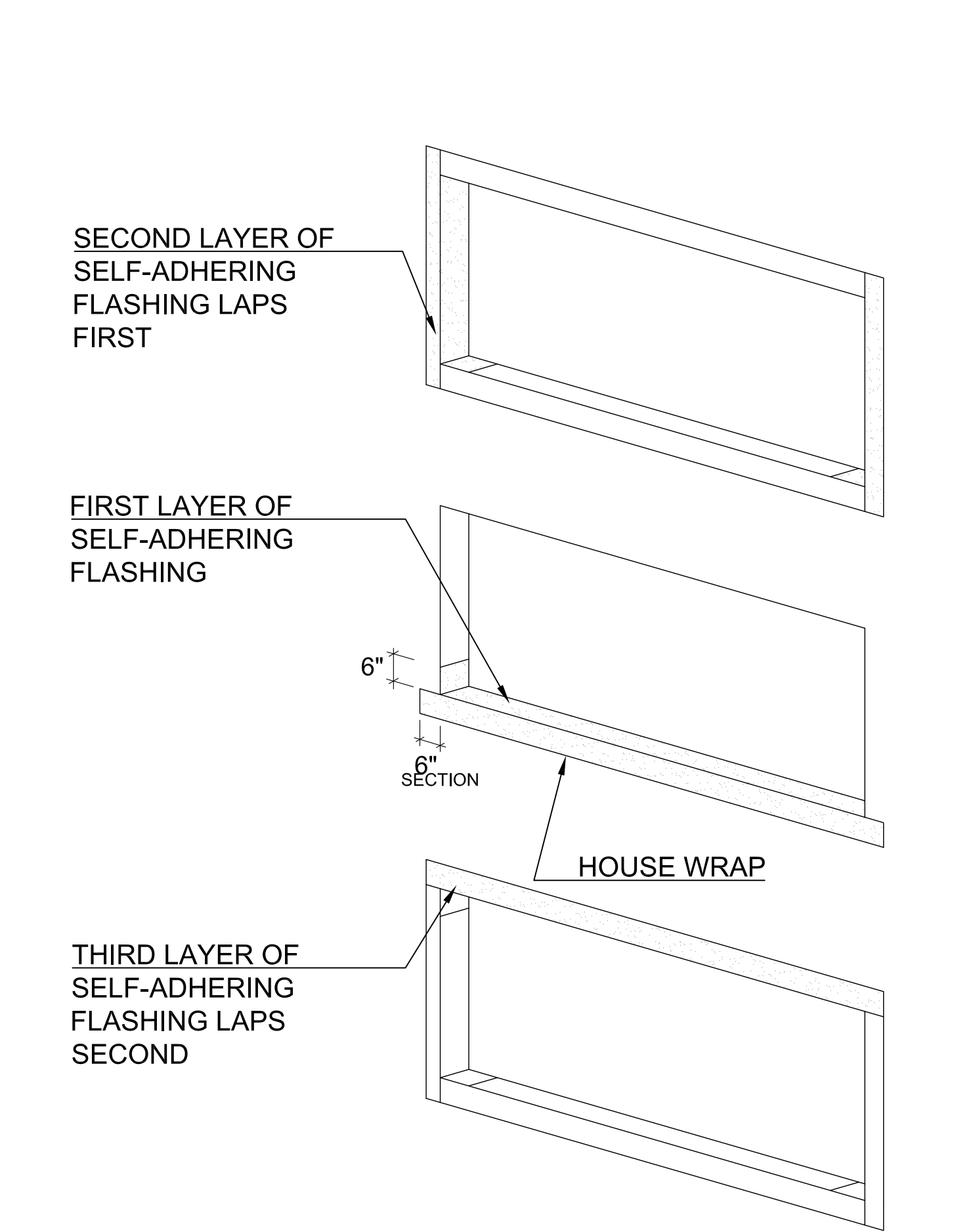
14 EXHAUST DRYER DETAIL
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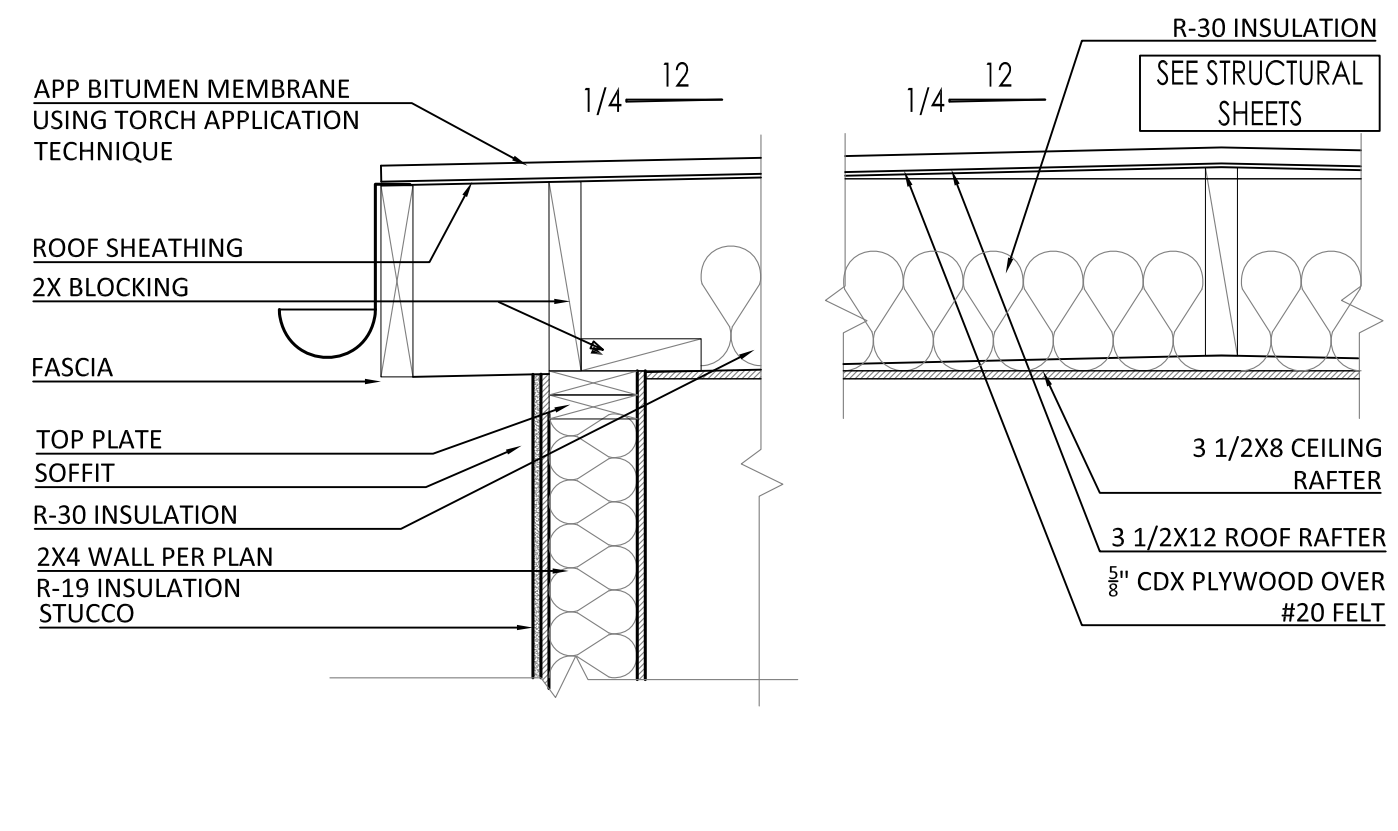
10 FLOOR / POST CONNECTION
SCALE: NTS



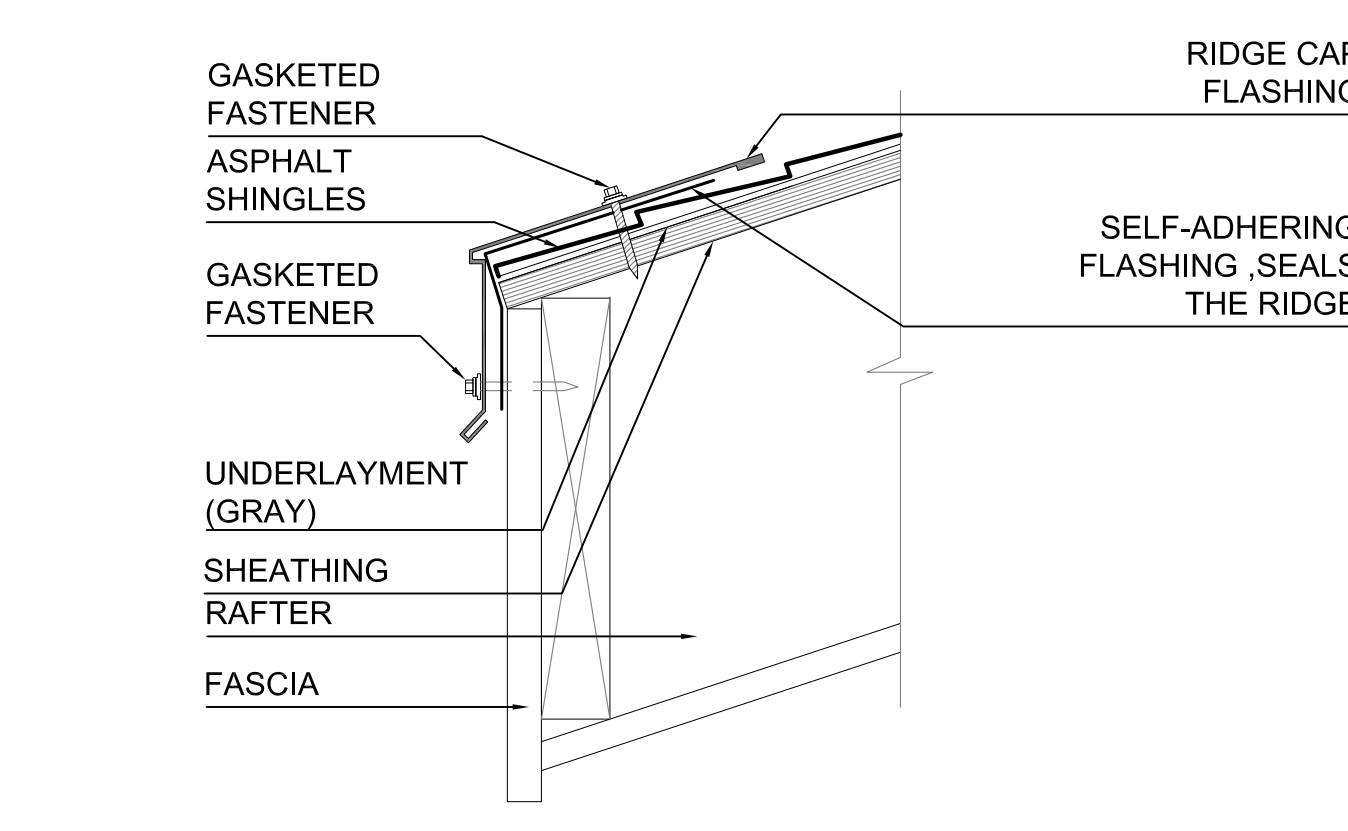
6 WINDOW SILL
SCALE: NTS



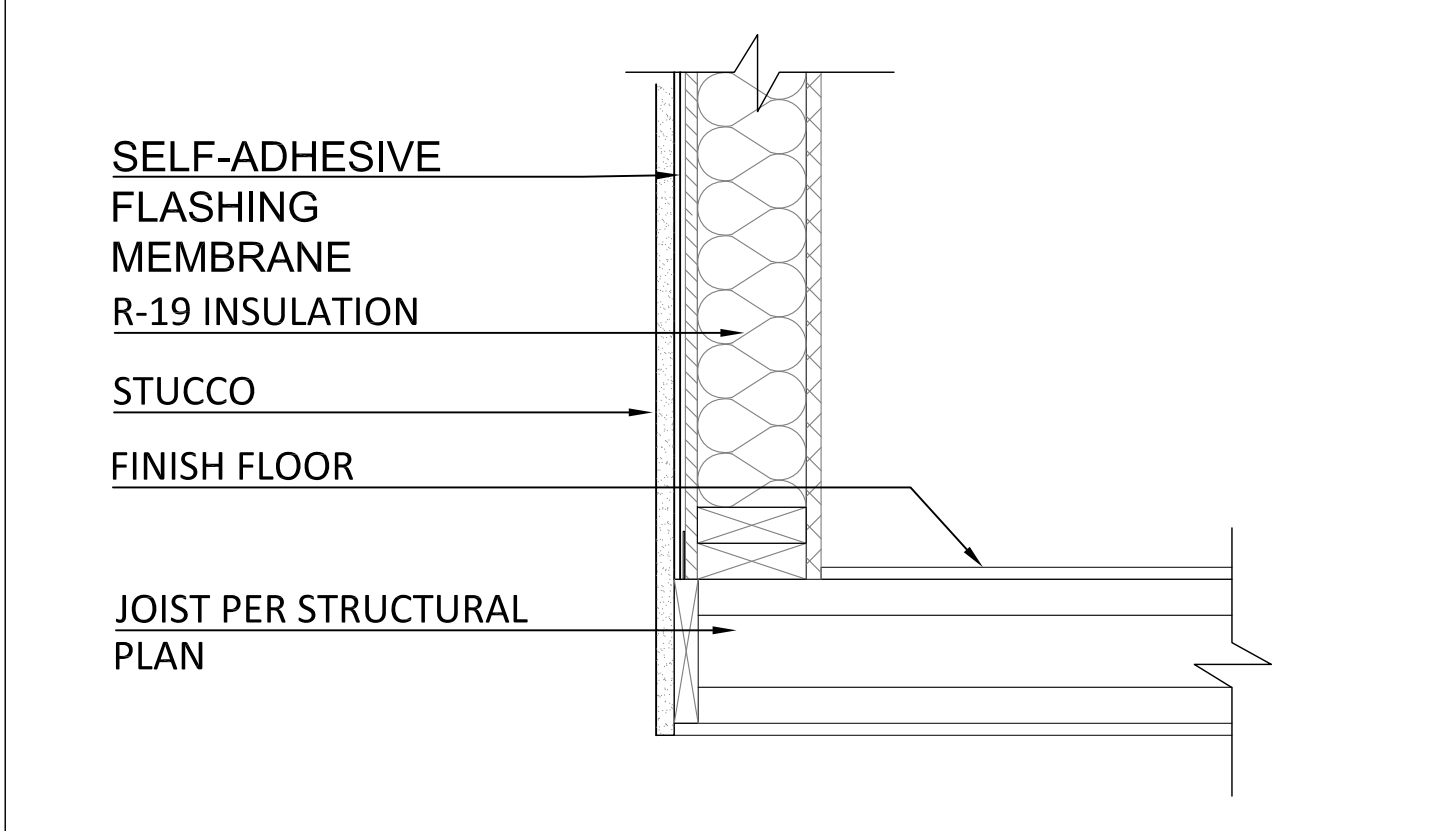
2 WINDOW FLASHING DETAIL
SCALE: NTS



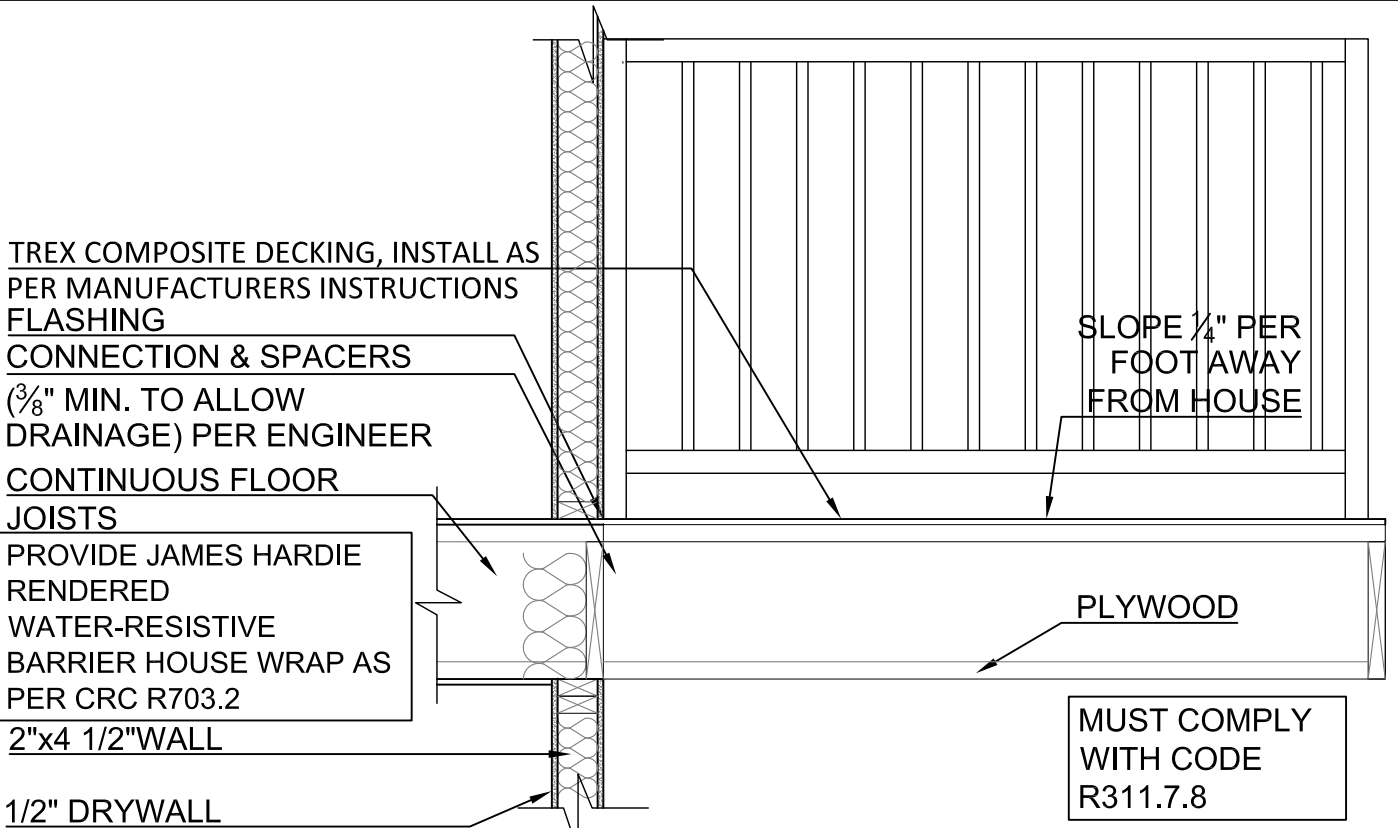
13 EAVE DETAIL
SCALE: NTS



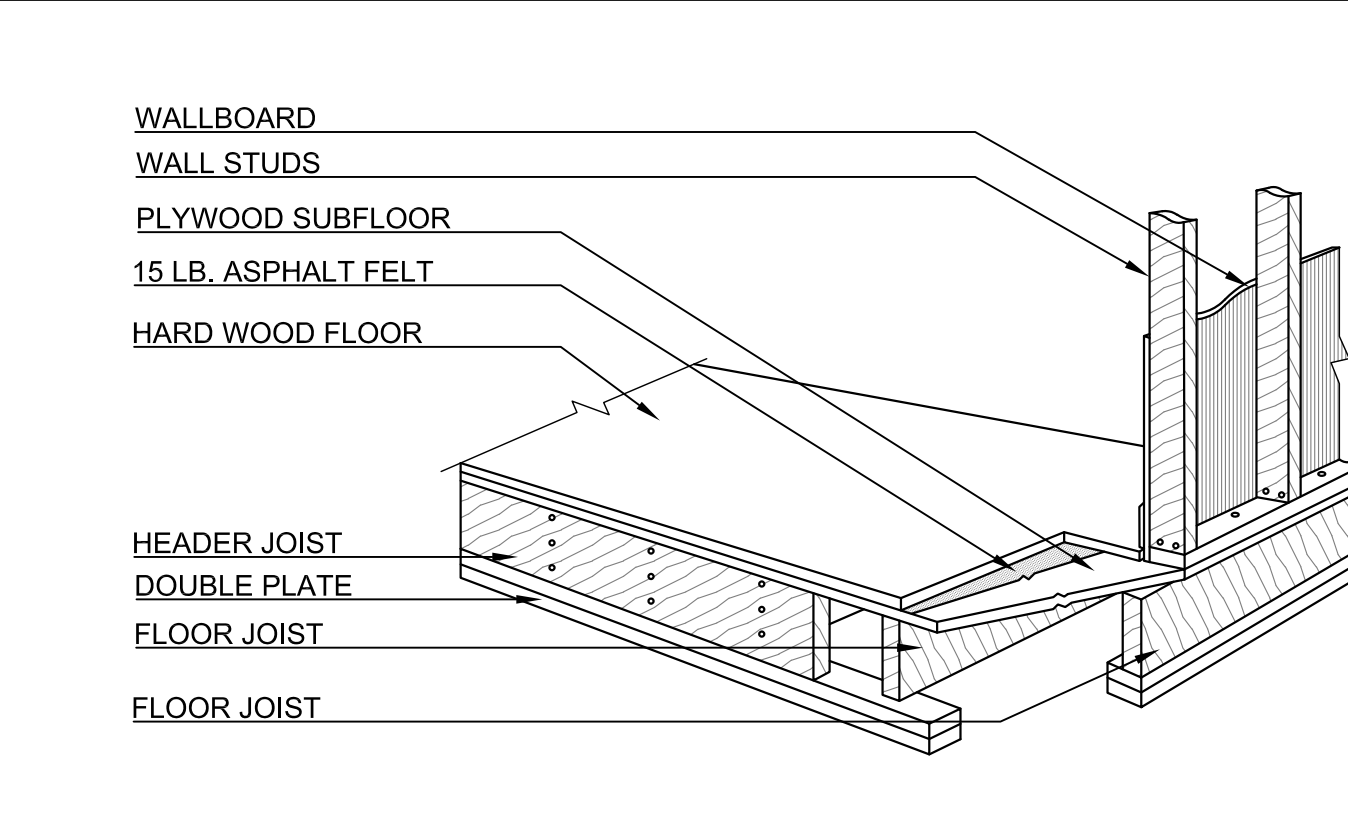
9 FLASHING DETAIL
SCALE: NTS



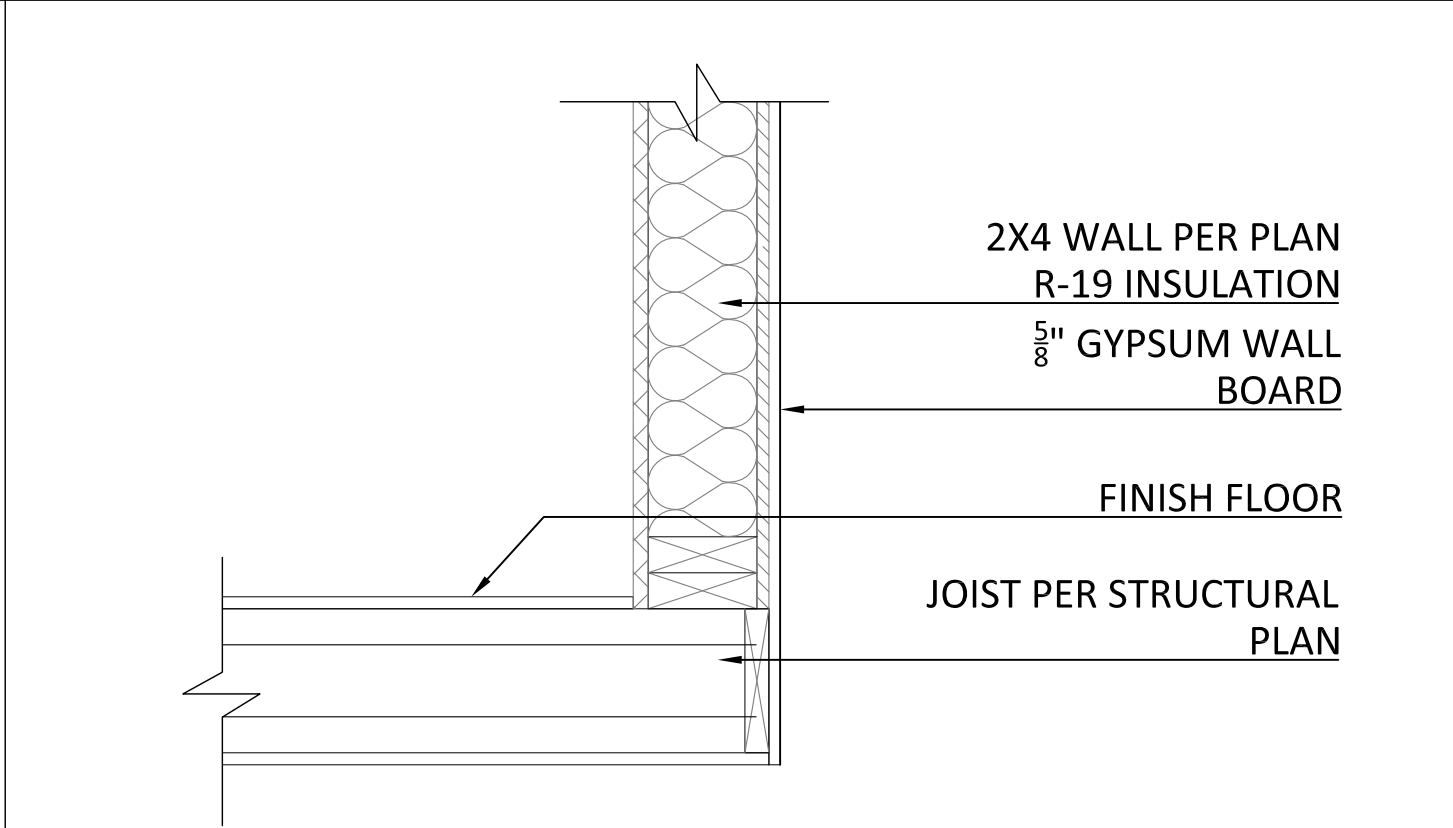
5 RAFTER/WALL CONNECTION
SCALE: NTS



12 DECK DETAIL
SCALE: NTS



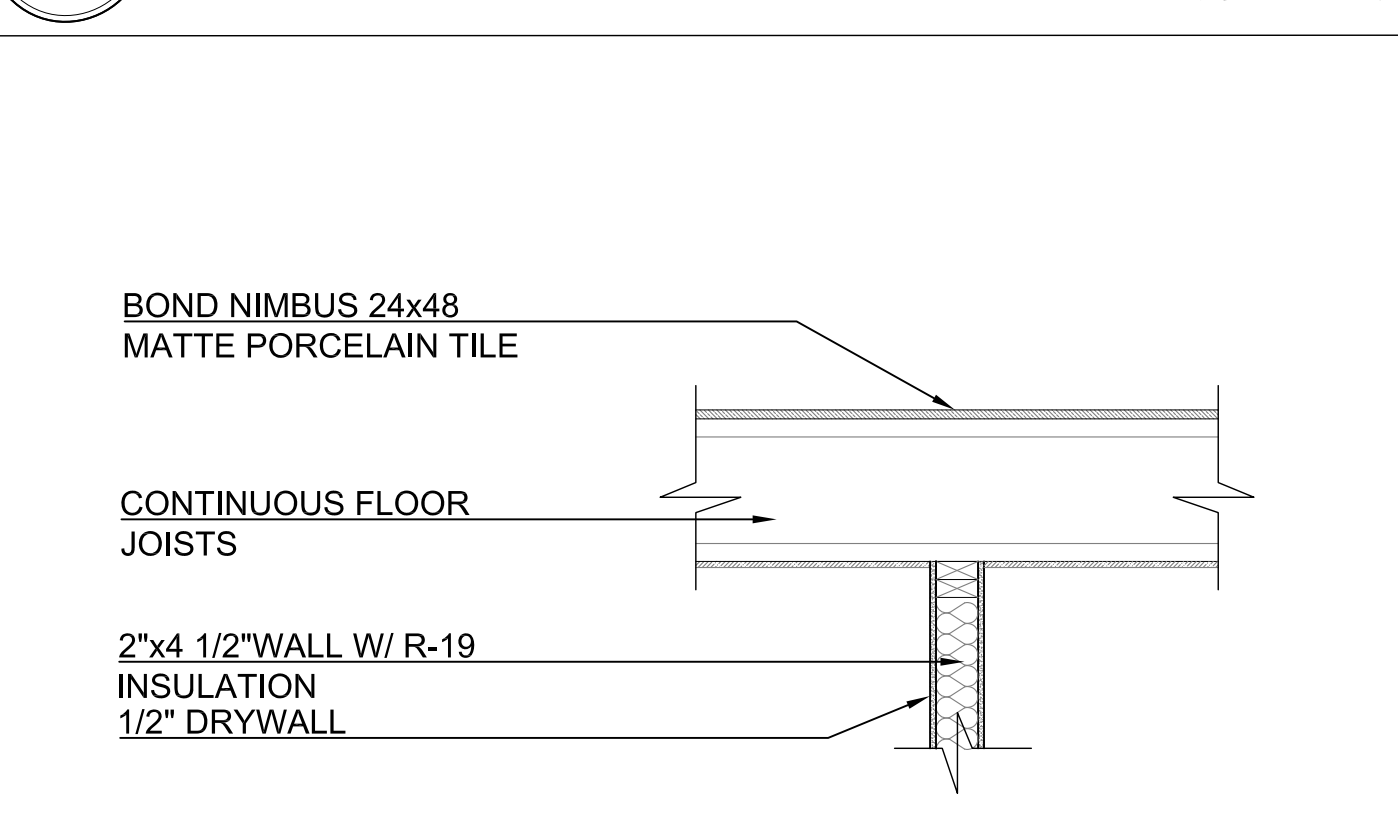
8 FLOOR ASSAMBLY
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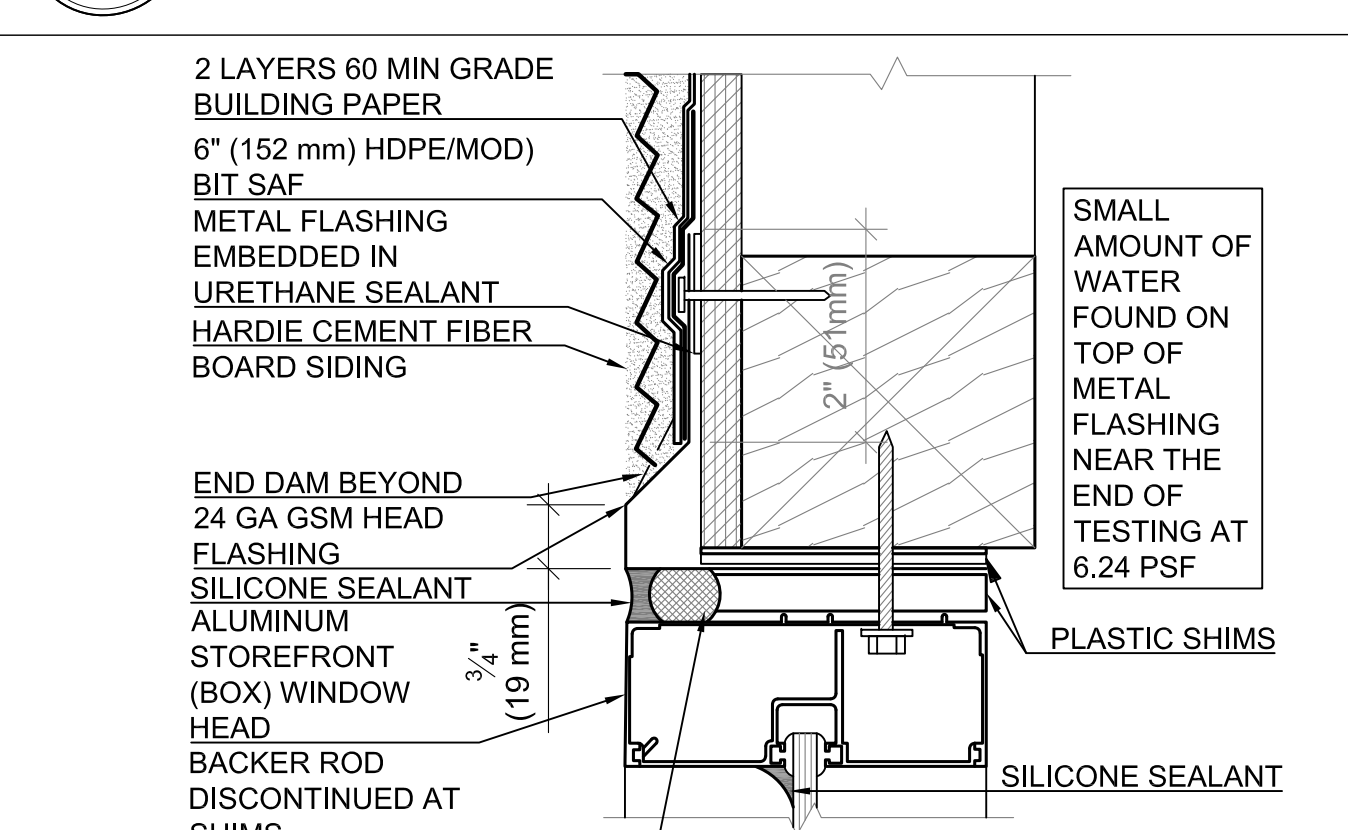
4 WALL/RAFTER CONNECTION
SCALE: NTS

FOR RECESSED WINDOWS:
USE NON-ADHERED "BIBB" FLASHING
USE UNREINFORCED MEMBRANE TO COVER PINHOLE GAP AT OUTER SILL JAMB INTERSECTION.
JAMB FLASHING MUST LAP OVER SILL FLASHING AND EXTEND 6" ABOVE HEAD
INSTALL WINDOW WITH CONT. SEALANT BEHIND NAILING FLANGE
FLASHING MEMBRANE OVER THE HEAD NAILING FIN COVERING REINFORCEMENT
UNREINFORCED MEMBRANE STRIPS TO COVER THE INSIDE AND OUTSIDE CORNERS OF THE HEAD RECESS

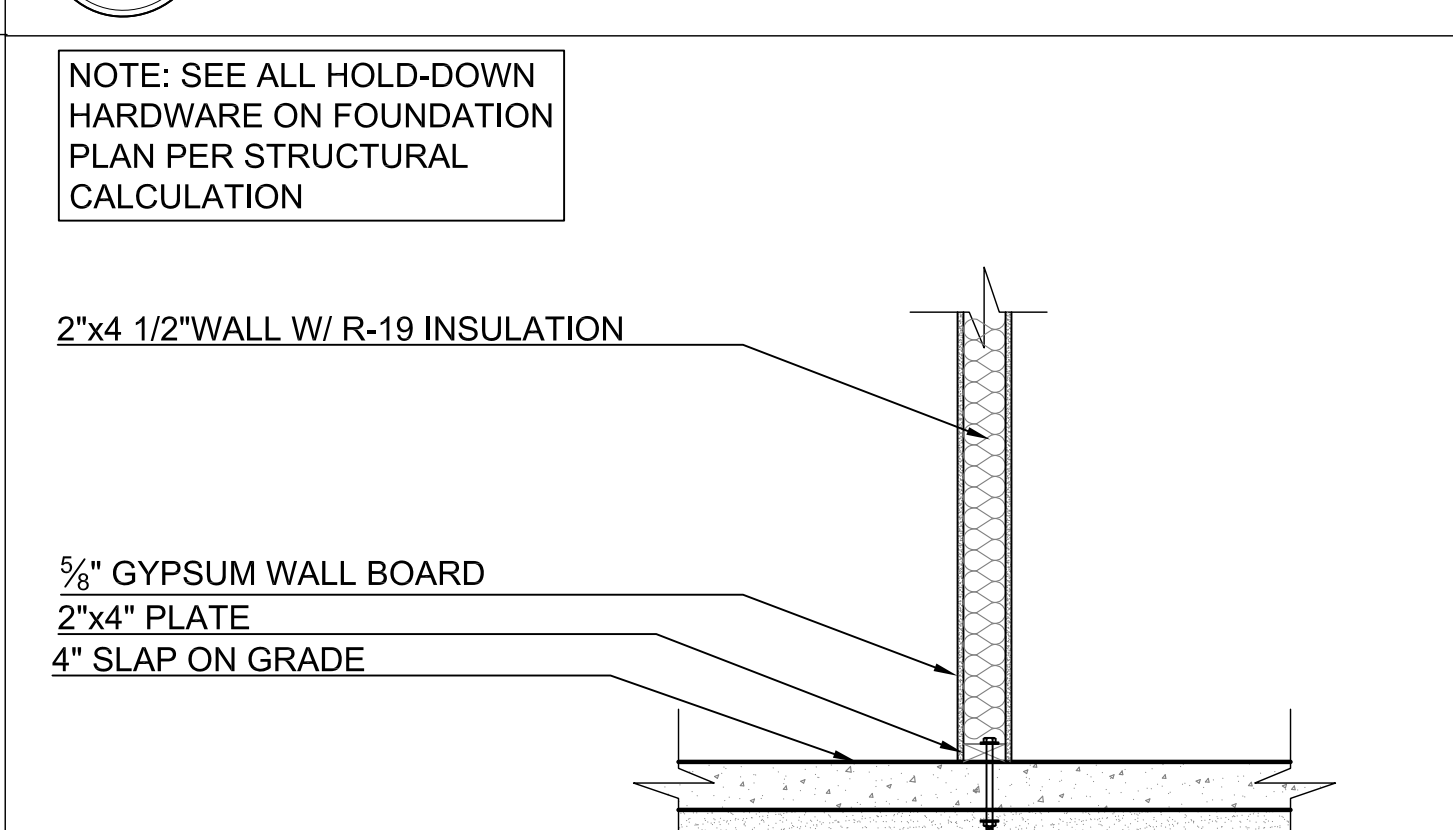
INSTALL WINDOW IN SEALANT BED O/ SELF ADHERING FLASHING BY GRACE VYCAR OR EQUAL O/ SHEATHING. TRIM SELF ADHERING FLASHING TO BE LESS THAN PERIMETER WINDOW TRIM. SEE DETAILS FOR ADDITIONAL CAULKING AND FLASHING



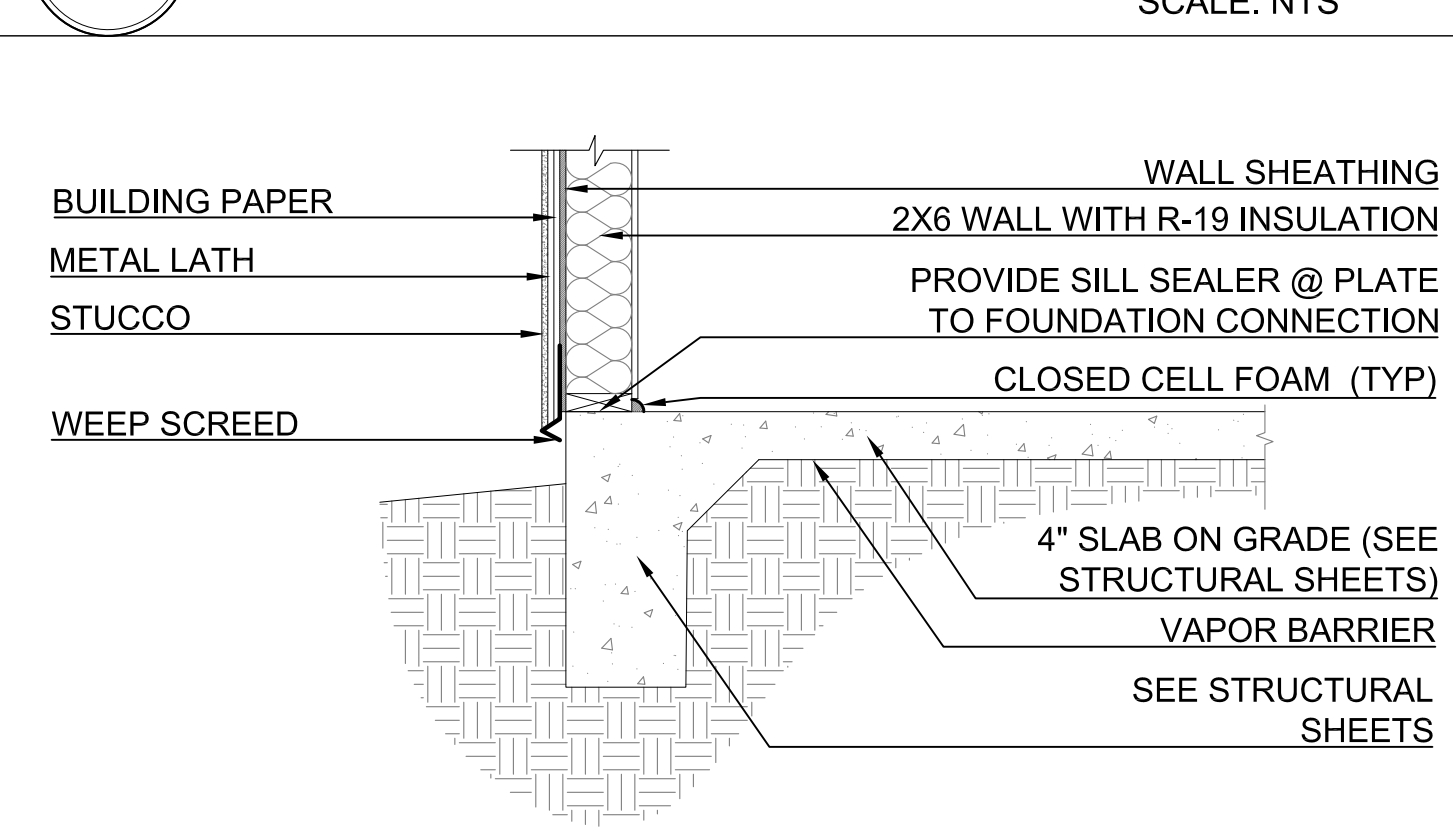
11 WALL/FLOOR CONNECTION
SCALE: NTS



7 WINDOW HEAD
SCALE: NTS



3 WALL/FOUNDATION CONNECTION
SCALE: NTS



1 WALL/FOUNDATION CONNECTION
SCALE: NTS



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WB Super Simplex Disappearing Stairway

SUBMITTAL SHEET

LOAD RATING - 500 LBS.

LADDER LEGEND

1. STEEL FRAMING	2. WELD REINFORCED ALUM.
3. WOOD DECKING	4. WOOD DECKING
5. WOOD DECKING	6. WOOD DECKING
7. WOOD DECKING	8. WOOD DECKING
9. WOOD DECKING	10. WOOD DECKING
11. WOOD DECKING	12. WOOD DECKING
13. WOOD DECKING	14. WOOD DECKING

Options:

- 2 HOUR FIRE RATED
- LOOK ON DOOR PANEL

NOTES

1. SEE PLAN FOR FINISHES AND DIMENSIONS.
2. SEE PLAN FOR FINISHES AND DIMENSIONS.
3. SEE PLAN FOR FINISHES AND DIMENSIONS.
4. SEE PLAN FOR FINISHES AND DIMENSIONS.
5. SEE PLAN FOR FINISHES AND DIMENSIONS.
6. SEE PLAN FOR FINISHES AND DIMENSIONS.
7. SEE PLAN FOR FINISHES AND DIMENSIONS.
8. SEE PLAN FOR FINISHES AND DIMENSIONS.
9. SEE PLAN FOR FINISHES AND DIMENSIONS.
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12. SEE PLAN FOR FINISHES AND DIMENSIONS.
13. SEE PLAN FOR FINISHES AND DIMENSIONS.
14. SEE PLAN FOR FINISHES AND DIMENSIONS.
15. SEE PLAN FOR FINISHES AND DIMENSIONS.

WB Fire Rated Ladder Access Hatch

LOAD CAPACITY: 500lbs.
Combined Weight of User and Materials

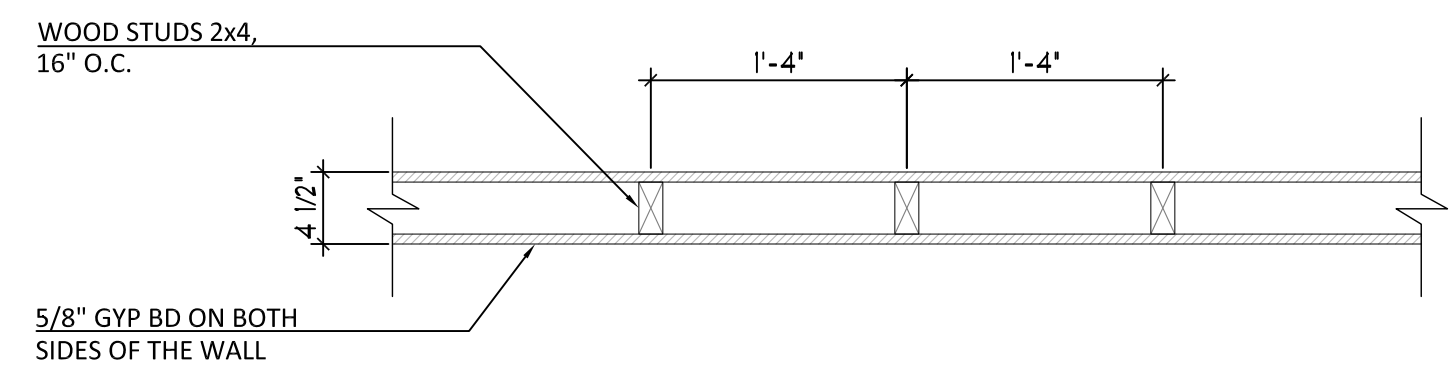
Call for pricing.

1300 Progress Drive • Front Royal, VA 22630 • Phone: 1-800-255-5516 • www.wbddoors.com

Family Owned & Operated Since 1950

WBCA 2019

2 ROOF HATCH INFORMATION SCALE: NTS



1 1 HOUR FIRE RATED WALL & CEILING SCALE: NTS

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Submittal		05/10/2022
Plan Check		05/24/2022

Details

D2-0
Scale: As Noted
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MECHANICAL NOTES & KEYNOTES

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
06 00	WOOD
06 01	SOFFIT FOR RANGE HOOD AND DRYER EXHAUST VENT.
07 00	THERMAL & MOISTURE PROTECTION
	IAQ CFM WITH AIRFLOW OF 70 CFM AND POWER CONSUMPTION <= 0.25 WATTS/CFM.
07 05	PANASONIC MINI-SPLIT CONDITIONING SYSTEM. SEE DETAIL 1 / M1-0 SHEET
07 06	AIR CONDITIONING AND HEATING NEW DUCTLESS
7.1	USING VARIABLE CAPACITY HEAT PUMP CREDIT
7.2	SINCE WE ARE TAKING THE VARIABLE CAPACITY HEAT PUMP CREDIT FOR THE DUCTLESS MINI-SPLIT, THE BELOW CONDITIONS NEED TO BE MET: -MASTER BEDROOM, BEDROOM-1, BEDROOM-2, LIVING ROOM REQUIRE AN INDOOR HEAD. -LIVING ROOM REQUIRES A PERMANENTLY INSTALLED WALL MOUNTED THERMOSTAT (SINCE THEY ARE ABOVE 150 SF EACH)
7.3	THE MINI SPLIT SYSTEMS NEEDS TO BE IN CONDITIONED SPACE
7.4	REFRIGERANT CHARGE HERS VERIFICATION.
7.5	HYDRONIC RADIANT HEATING
09 00	FINISHES
09 01	DRYER EXHAUST SOFFIT
15 00	MECHANICAL
15 01	EXHAUST FAN FOR BATHROOMS
15 02	VENT-A-HOOD PROFESSIONAL SERIES PRH9130WH UNDER CABINET RANGE HOOD WITH INLINE BLOWER & 2-LEVEL HALOGEN LIGHTING: 30 INCH WHITE/300 CFM BLOWER OR EQUAL
15 03	DRYER EXHAUST

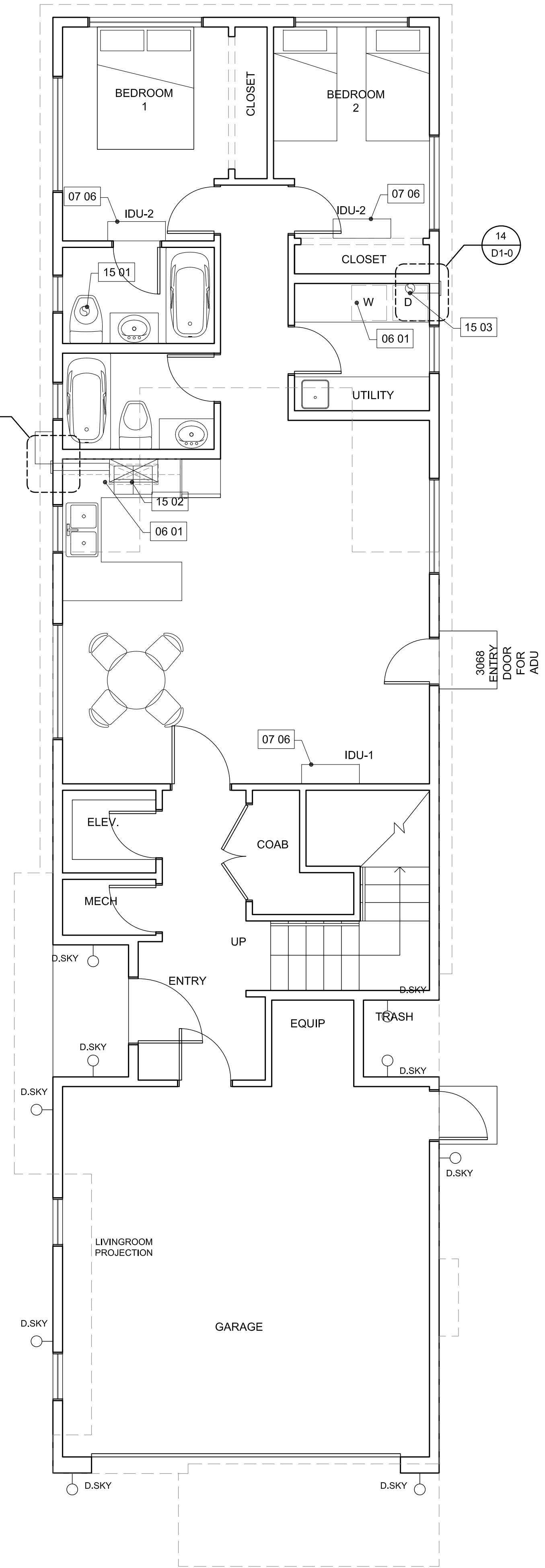
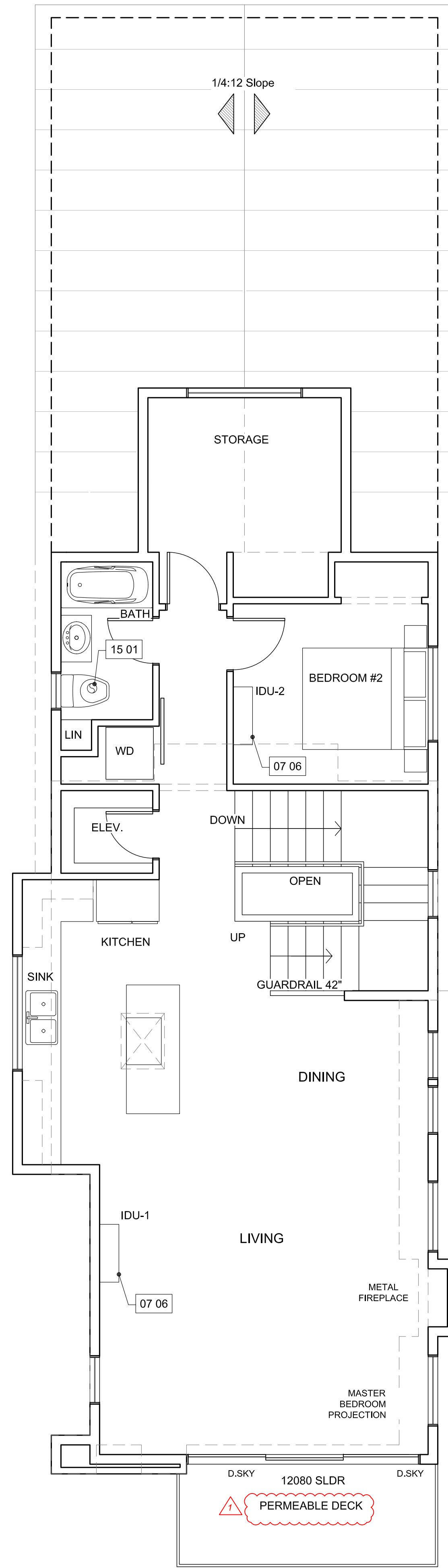
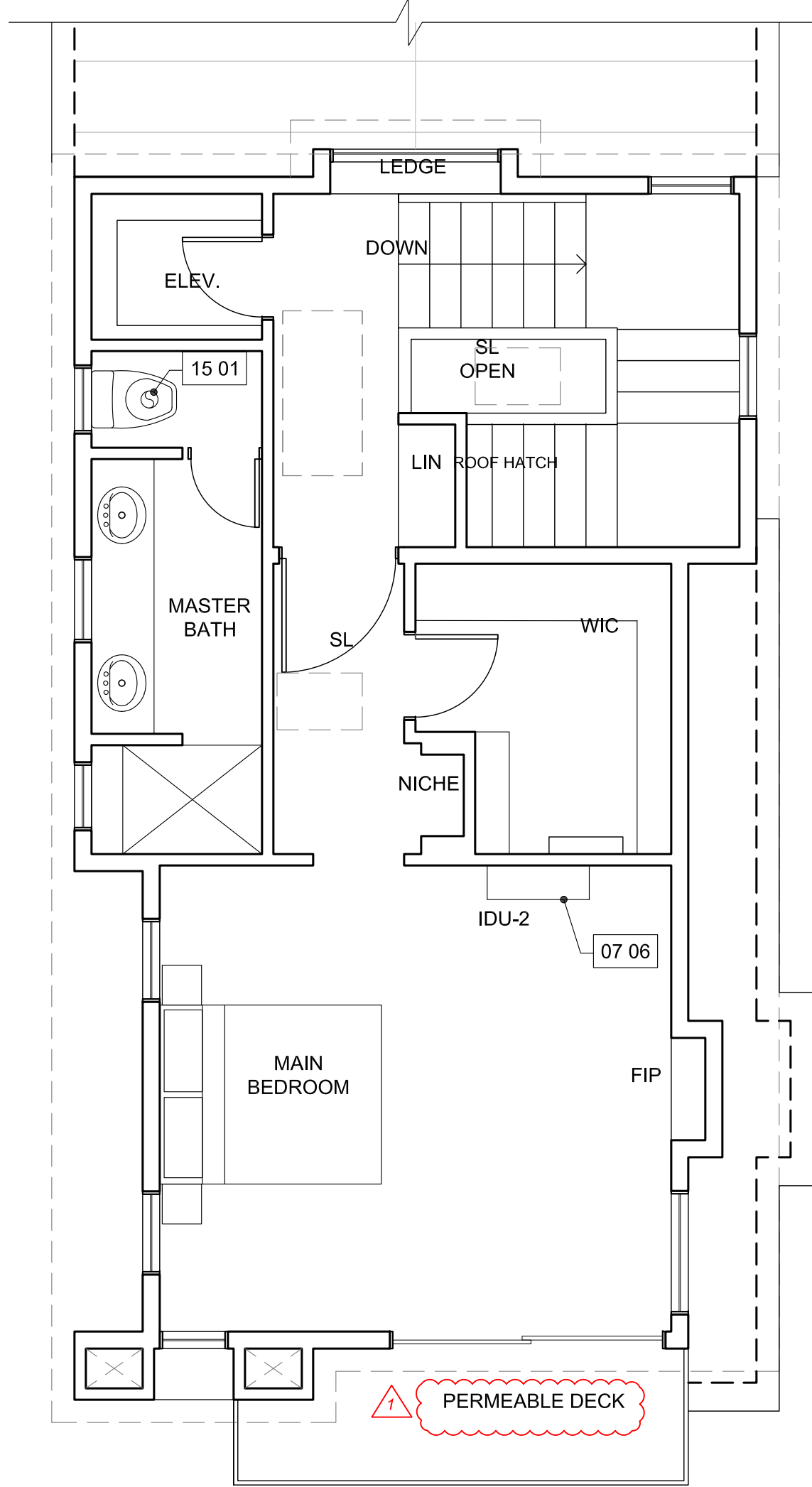
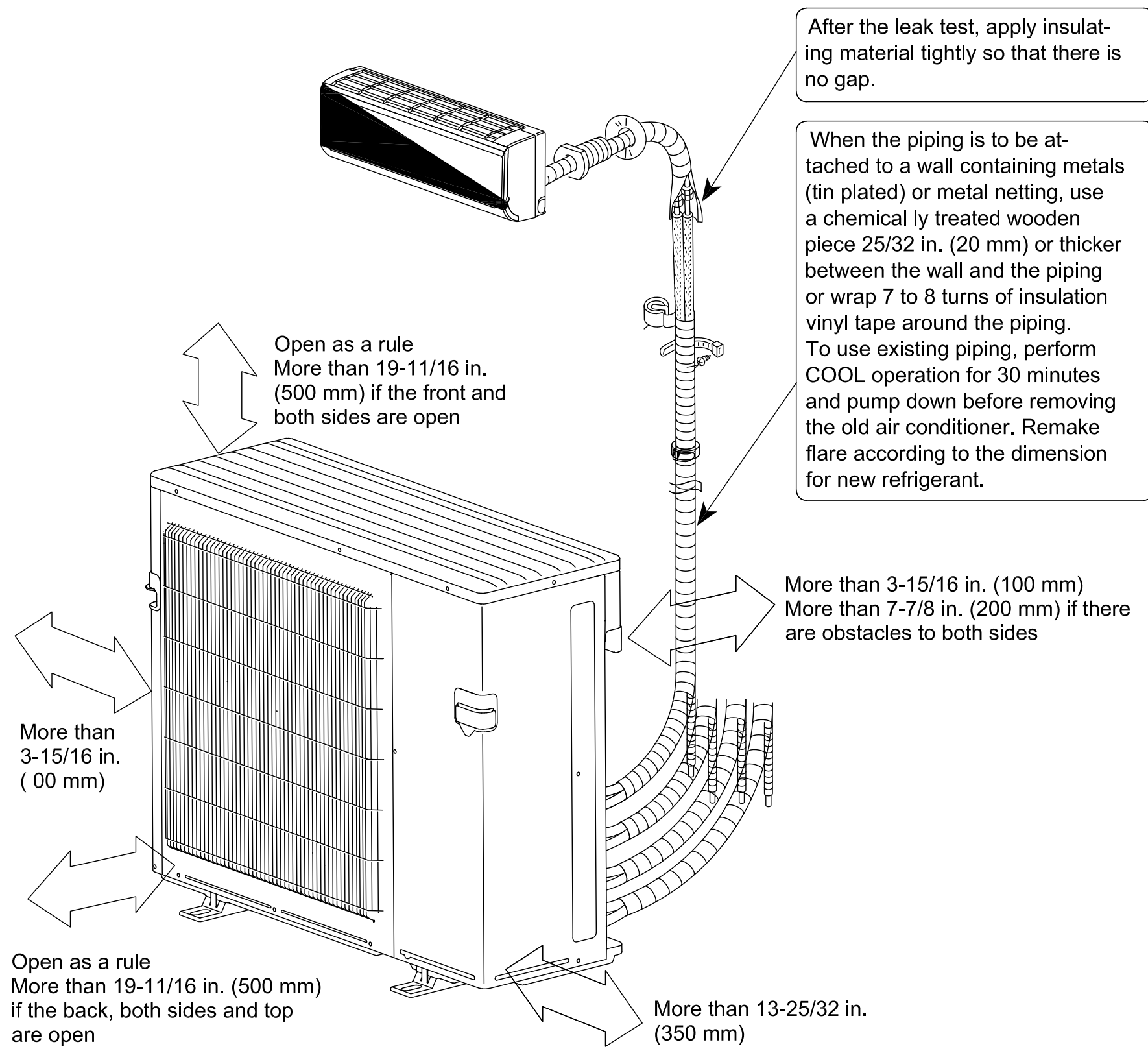
OUTDOOR DUCTLESS UNIT SCHEDULE								
NAME MARK	MANUFACTURER/ MODEL	NOMINAL COOLING (BTU/H)	NOMINAL HEATING (BTU/H)	SEER	EER	MCA(A)	MOC(P)(A)	VOLT/ PHASE / HZ
ODU	PANASONIC 12,000 BTU E MINI SPLIT W/ HEAD PUMP, MODEL E12RKA	60,600	62,600	14.5	8.0	25.0	30.0	240 V/ 1PH / 50

INDOOR DUCTLESS UNIT SCHEDULE				
NAME MARK	ODU	MANUFACTURER/ MODEL	NOMINAL COOLING (BTU/H)	NOMINAL HEATING (BTU/H)
IDU - 1	ODU	PANASONIC MODEL E12RKA	12,000	13,600
IDU - 2	ODU	PANASONIC MODEL E12RKA	6,000	8,700

MANDATORY (CBEES 150.0(O), ASHRAE STANDARD 62.2):
A MECHANICAL EXHAUST VILATION SYSTEM, SUPPLY VILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.

HERS VERIFICATION REQUIRED TO CONFIRM WHOLE-BUILDING VILATION AIRFLOW.
AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.

VENTILATION SCHEDULE	
MARK / TYPE	EF / EXHAUST FAN
SERVE	BATHROOM & LAUNDRY
CFM	50 CFM
VOLT/PH/HZ/WATTS	120/1/60
MANUFACTURER	PANASONIC WHISPER VALUE DC
MODEL NO.	FV-0510VS1



PANASONIC MINI SPLIT SYSTEM
SCALE: NTS

MECHANICAL UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

MECHANICAL GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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APN: 048-013-890

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2	Plan Check	05/24/2022

Mechanical Floor Plans
M1-0
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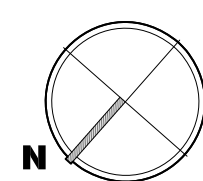
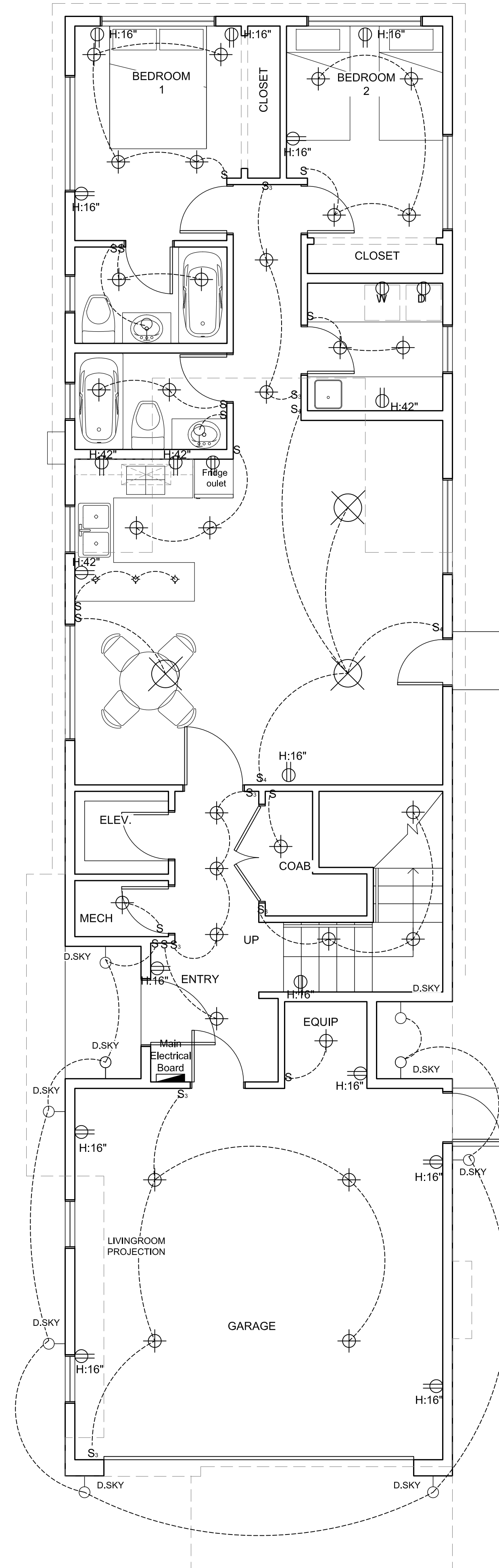
ELECTRICAL NOTES & SYMBOL LEGEND

(not all symbols necessarily on this sheet)

SYMBOL	DESCRIPCION
	RECESSED LIGHT
	WATER-PROOF RECESSED LIGHT
	EXTERIOR ENTRY LIGHT
	24" INCANDESCENT LIGHT BAR
	CEILING MOUNTED LIGHT
	KITCHEN ISLAND PENDANT
	LIGHT PENDANT
	KEYLESS LIGHT FIXTURE
	DUPLEX OUTLET
	WEATHER PROOF DUPLEX OUTLET (WP)
	GROUND FAULT INTERRUPT DUPLEX OUTLET (GFI)
	SWITCHED DUPLEX OUTLET
	CEILING MOUNTED DUPLEX OUTLET
	CLG. OUTLET FOR GARAGE DOOR OPENER
	220 VOLT OUTLET
	TELEPHONE OUTLET
	CABLE TV OUTLET
	INTERNET OUTLET
	DISPOSAL
	EXHAUST FAN - MECH VENTED TO EXTERIOR
	SINGLE-POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	DOOR BELL
	CEILING FAN

GENERAL ELECTRICAL NOTES

1. OUTDOOR LIGHTING FIXTURES SHALL BE CONTROLLED BY A MOTION SENSOR W/ AN INTEGRAL PHOTOSENSOR, TYP. ALSO MANUALLY ON/OFF CONTROLLED.
2. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY.
3. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
4. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET)
5. ALL NECESSARY REGULATIONS AND GUIDELINES MUST BE CHECKED BEFORE PROCEEDING WITH THE INSTALLATION OR PURCHASE OF LUMINAIRES.



GROUND LIGHTING AND OUTLET PLAN

SCALE: 1/4" = 1'-0"

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APN: 048-013-890

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Ground Lighting and Outlet Plan
E1-0
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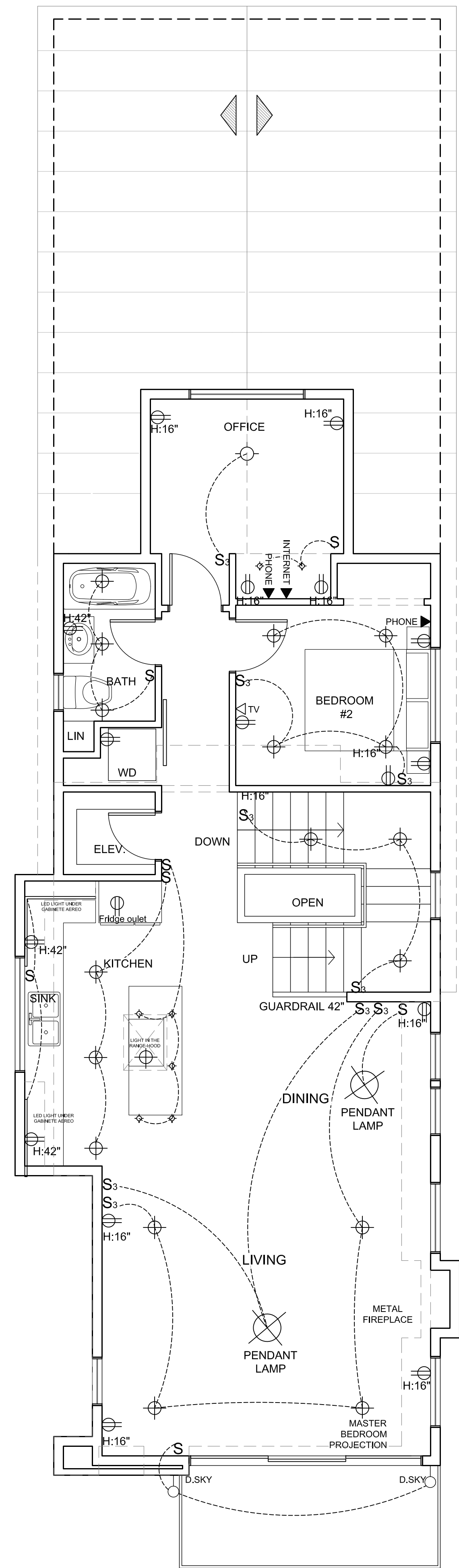
ELECTRICAL NOTES & SYMBOL LEGEND

(not all symbols necessarily on this sheet)

SYMBOL	DESCRIPCION
□	RECESSED LIGHT
□ WP	WATER-PROOF RECESSED LIGHT
○ EXT-R1	EXTERIOR ENTRY LIGHT
○ B1	24" INCANDESCENT LIGHT BAR
○ M	CEILING MOUNTED LIGHT
○ P-1	KITCHEN ISLAND PENDANT
○ P-2	LIGHT PENDANT
○ P-3	LIGHT PENDANT
○ K	KEYLESS LIGHT FIXTURE
⊖	DUPLEX OUTLET
⊖ WP	WEATHER PROOF DUPLEX OUTLET (WP)
⊖ GFI	GROUND FAULT INTERRUPT DUPLEX OUTLET (GFI)
⊖ S	SWITCHED DUPLEX OUTLET
⊖ C	CEILING MOUNTED DUPLEX OUTLET
⊖ G.D.O.	CEILING MOUNTED DUPLEX OUTLET FOR GARAGE DOOR OPENER
⊖ 220V	220 VOLT OUTLET
⊖ P	TELEPHONE OUTLET
⊖ TV	CABLE TV OUTLET
⊖ I	INTERNET OUTLET
⊖ D	DISPOSAL
⊖ E	EXHAUST FAN - MECH VENTED TO EXTERIOR
⊖ S	SINGLE-POLE SWITCH
⊖ S3	3 WAY SWITCH
⊖ S4	4 WAY SWITCH
⊖ B	DOOR BELL
⊖ F	CEILING FAN

GENERAL ELECTRICAL NOTES

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MAIN LIGHTING AND OUTLET PLAN
 SCALE: 1/4" = 1'-0"

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LICENSED ARCHITECT
 KAREN WILKINS
 04-30-2023
 RENEWAL DATE
 STATE OF CALIFORNIA

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Main Lighting and Outlet Plan
E2-0
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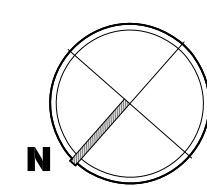
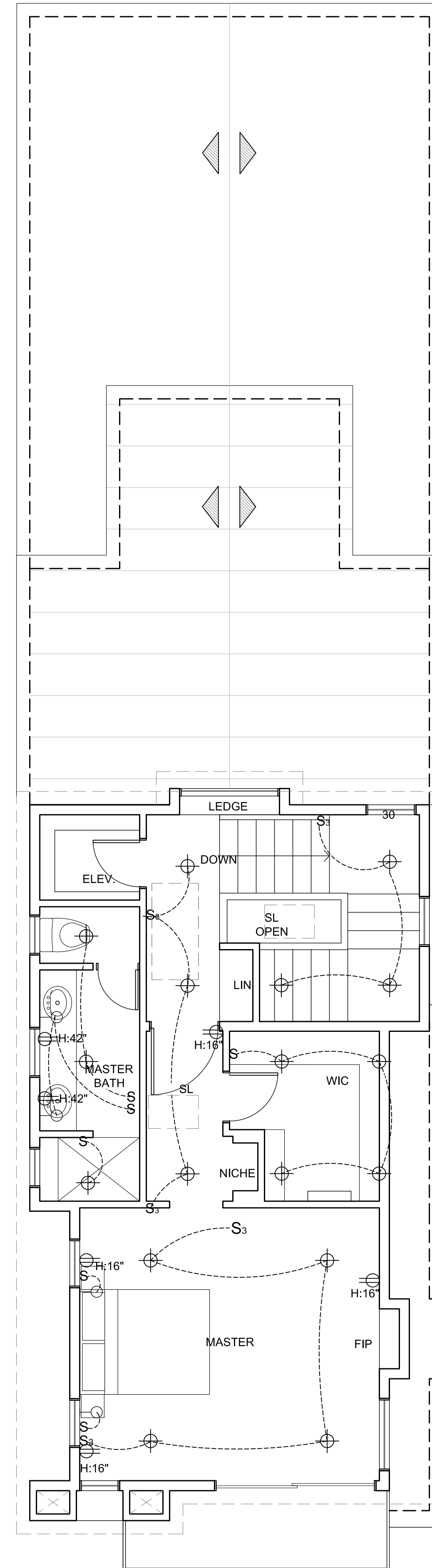
ELECTRICAL NOTES & SYMBOL LEGEND

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SYMBOL	DESCRIPCION
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	CEILING FAN

GENERAL ELECTRICAL NOTES

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UPPER LIGHTING AND OUTLET PLAN

SCALE: 1/4" = 1'-0"

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Upper Lighting and Outlet Plan
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SINGLE-FAMILY DWELLING LOAD DEMAND CALCULATION (220 Part II & III)

GENERAL LIGHTING LOAD [220.14(J)]	2,910 ft² × 3.0 VA/ft² =	8,730 VA	
SMALL APPLIANCE CIRCUITS [220.52(A)]	2 CIRCUITS × 1,500 VA =	3,000 VA	
LAUNDRY CIRCUIT [220.52(B)]	1 CIRCUIT × 1,500 VA =	1,500 VA	
			13,230 VA
FIXED APPLIANCES			
REFRIGERATORS	2 × 800 VA =	1,600 VA	
MICROWAVES	2 × 1,200 VA =	2,400 VA	
DISHWASHERS	2 × 1,200 VA =	2,400 VA	
DISPOSAL	2 × 1,200 VA =	2,400 VA	
COMPACTOR	2 × 1,200 VA =	2,400 VA	
RANGE HOOD	2 × 1,200 VA =	2,400 VA	
			13,600 VA
			10,200 VA
ELECTRIC CLOTHES DRYERS [220.54]	2 × 1.00 × 5,000 VA =	10,000 VA	
MOTORS [220.50, 430.22, 430.24]	EXTERNAL UNIT 1 × 5,000 VA =	5,000 VA	
	MINI-SPLIT 6 × 2,200 VA =	13,200 VA	
	+25% LARGEST MOTOR	1,250 VA	
			46,231 VA
NET CALCULATED LOAD FOR 120/240-V, 1-PH, 3-WIRE SYSTEM			193 A
TAKING 10% SPARE CAPACITY IN A			212 A

NOTES:

- EXISTING AND NEW CIRCUIT NUMBERS SHALL BE DETERMINED IN THE FIELD AND REFLECTED IN THE PANEL SCHEDULE DIRECTORY.
- THE LOAD DEMAND CALCULATION IS FOR INFORMATION PURPOSES ONLY. THE REAL LOAD DEMAND SHALL BE DETERMINED IN FIELD AS PER THE EXISTING LOAD INSTALLED + THE NEW LOAD TO BE INSTALLED.
- THE INCOMING FEEDER SIZE SHALL BE VERIFIED IN FIELD AS PER THE INCREMENT FOR THE NEW LOAD.
- CONTRACTOR SHALL CHECK BREAKER SIZES AS PER EXISTING PANEL SCHEDULE AND VERIFY IF IS THERE ANY CORRECTION BEFORE CONSTRUCTION.
- AS PER NEC 210.8 GFCI RECEPTACLE SHALL BE ON READILY ACCESSIBLE LOCATION. IF NOT CONTRACTOR SHALL PROVIDE GFCI BREAKER IN PANEL.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 A, CEC 110.10(e).
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVE SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC", CEC 110.10(e).
- THE SOLAR CIRCUIT BREAKER CAN BE NO MORE THAN 20% OF THE MAIN ELECTRICAL PANEL RATING, AND MUST BE AT LEAST 125% OF SYSTEM OUTPUT.

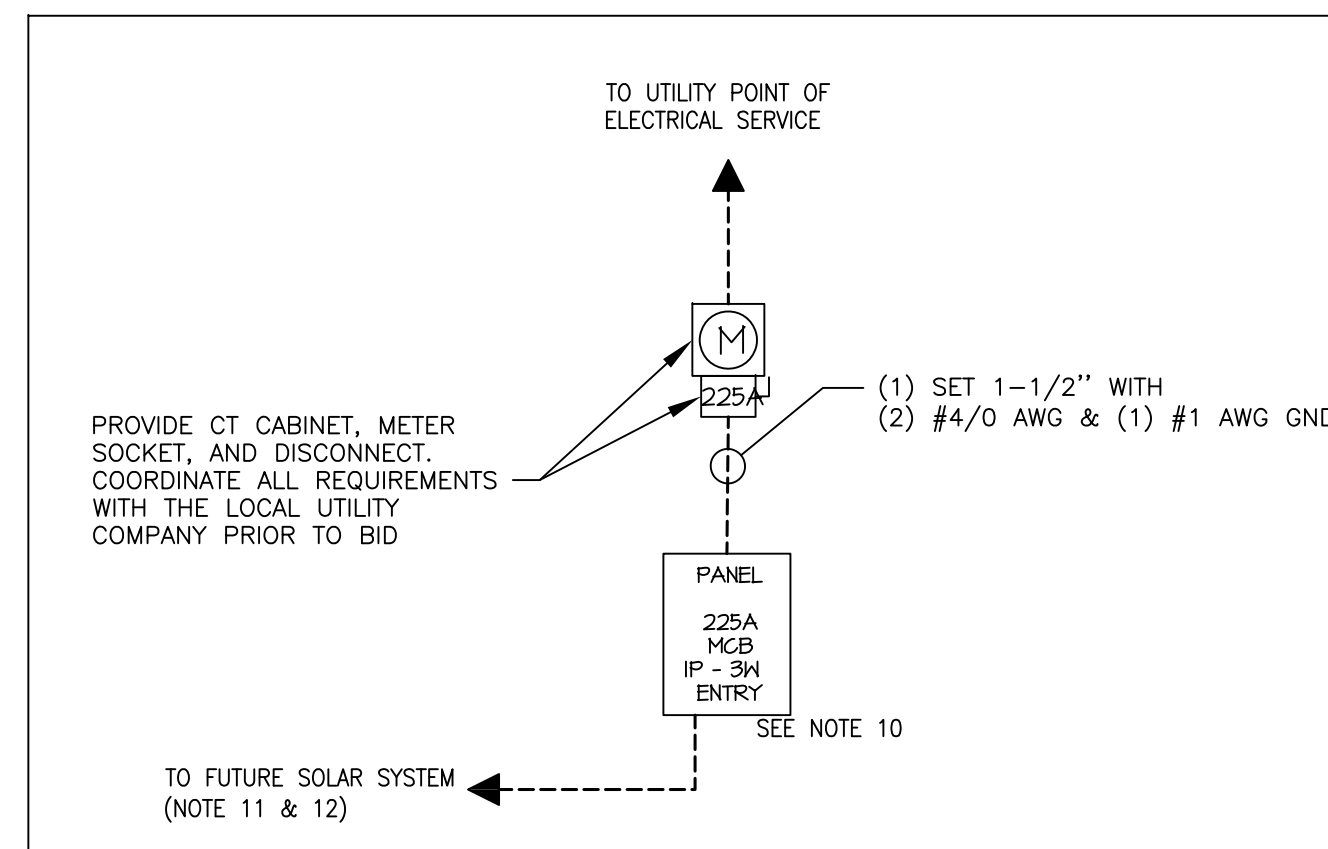
LOAD DEMAND CALCULATION BASED ON NEC 2020.

MINIMUM BUSBAR RATING: **225 A**
 MINIMUM SIZE FEEDER REQUIRED [215.2(A)/220.40/230.42(A)(1)]: **4/0 AWG XHHW**
 MINIMUM OVERCURRENT PROTECTION [215.3/240.6]: **200 A**
 CALCULATED LOAD FOR NEUTRAL [220.61]: **99 A**
 GROUNDED SERVICE CONDUCTOR REQUIRED [215.2(A)(2)/250.24(C)(1)/(2)]: **1 AWG XHHW**
 MINIMUM CONDUIT REQUIRED [Table 4/5, Chapter 9]: **Ø1½" PVC-SCH40**
 CONDUCTORS PER PHASE: **1**
 PARALLELED CONDUITS [300.3(B)(1)]: **1**
 CONDUCTOR MATERIAL: **Cu**
 CONDUIT MATERIAL: **PVC**

FEEDER REQUIRED:
(1) SET Ø1½" WITH (2) #4/0 AWG & (1) #1 AWG GND

RUN DISTANCE IN FEET	WIRE SIZE	ΔV%
50' OR LESS	4/0 AWG	0.57
51' TO 100'	250	1.01
101' TO 150'	300	1.35
200' OR MORE	350	1.63

NOTE:
 ELECTRICAL CONTRACTOR SHALL VERIFY AND UPSIZE WIRES BASED ON LOAD AND LENGTH OF RUN.



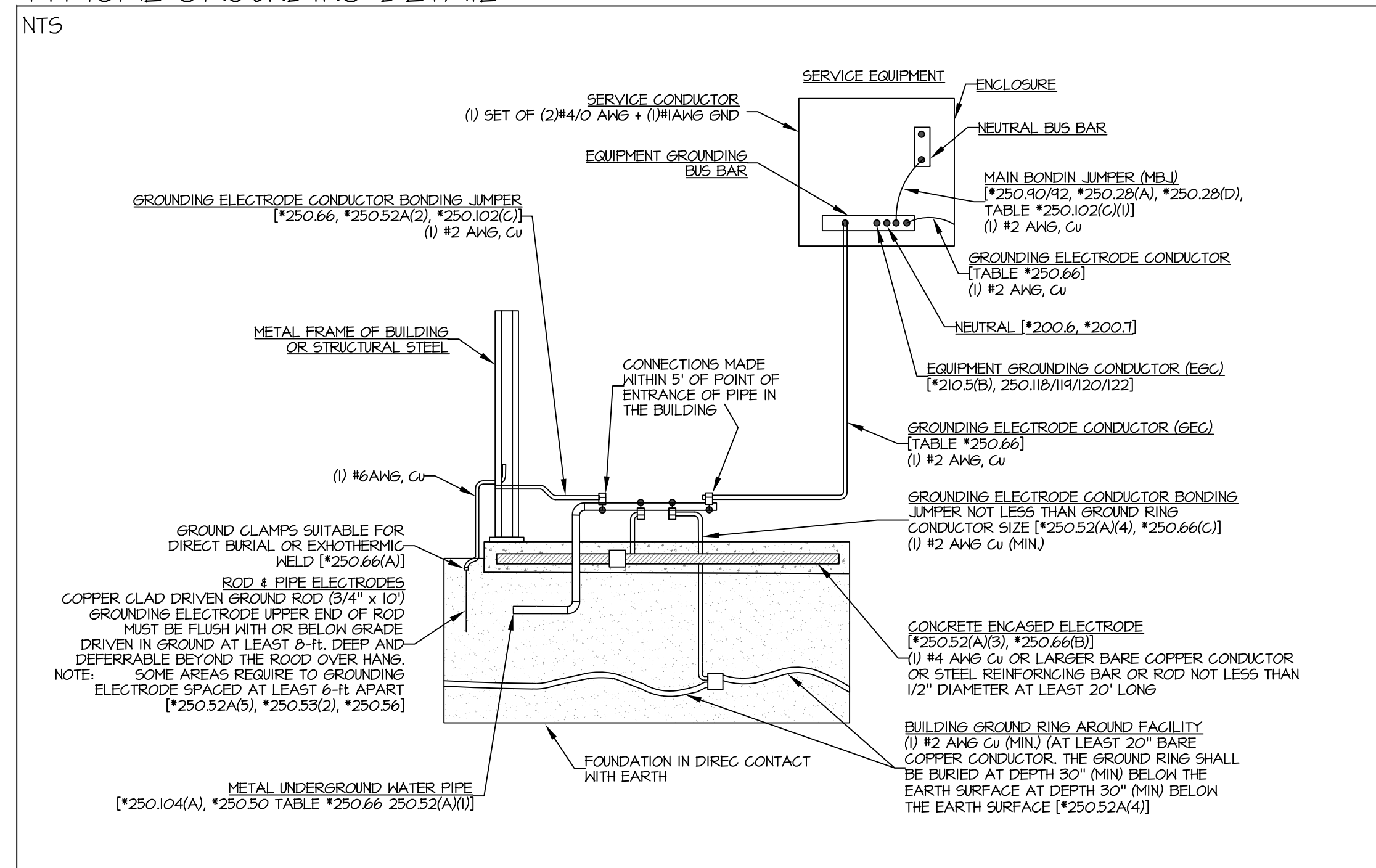
PROPOSED SINGLE-LINE DIAGRAM

NOTES

- TYPICAL SINGLE-LINE DIAGRAM FOR CORONADO RESIDENCE.
- ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT W/LOCAL ELECTRICAL UTILITY COMPANY.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE TYPE OF ELECTRIC SERVICE TO SERVE THIS PROJECT INCLUDING THE LOCATION OF ENERGY RECORDING EQUIPMENT. ALL CHARGES BY THE UTILITY COMPANY TO THE OWNER SHALL BE INCLUDED INTO THE ELECTRICAL CONTRACT. ANY AND ALL DISCREPANCIES BETWEEN THE CONTRACT DESIGN AND THE UTILITY COMPANY'S REQUIREMENTS SHALL BE REPORTED TO THE ENGINEER FOR CLARIFICATION AND NECESSARY ADDENDUMS DURING THE PROJECT BIDDING PERIOD.
- ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, TRENCH, AND BACKFILL FOR ELECTRICAL SERVICE ENTRANCE FROM THE MAIN SERVICE TO UTILITY POINT OF ELECTRICAL SERVICE. ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE WITH SERVING UTILITY COMPANY.
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL SWITCHBOARDS WITH THE POWER COMPANY STANDARDS AND REQUIREMENTS PRIOR TO BIDDING. SUBMIT ALL SWITCHBOARDS EQUIPMENT CUT SHEETS TO POWER COMPANY FOR FINAL APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.
- ALL UNDERGROUND SERVICE CONDUITS SHALL BE SEALED TO PREVENT MOISTURE FROM CONTACTING ENERGIZED LIVE PARTS AS PER NEC 230.8.
- ALL CONDUCTOR SIZES SHOWN ARE BASED ON NEC FOR COOPER WIRE, 75 ° C RATED.
- FAULT CURRENT DATA FROM THE UTILITY MUST BE VERIFIED AND THE AIC RATING OF THE EQUIPMENT MUST BE RATED FOR THE FAULT CURRENT THAT IS AVAILABLE.
- CONTRACTOR SHALL VERIFY UPSIZE WIRES BASED ON LOAD AND LENGTH OF RUN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 A, CEC 110.10(e).
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR THE INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVE SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC", CEC 110.10(e).
- THE SOLAR CIRCUIT BREAKER CAN BE NO MORE THAN 20% OF THE MAIN ELECTRICAL PANEL RATING, AND MUST BE AT LEAST 125% OF SYSTEM OUTPUT.

PROPOSED LOAD DEMAND CALCULATION FOR TYPICAL CORONADO RESIDENCE

TYPICAL GROUNDING DETAIL



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Proposed
 Load-Demand Calc,
 One-line Diagram &
 Grounding Detail
E4-0
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PLUMBING NOTES & SYMBOL LEGEND
(not all symbols necessarily on this sheet)

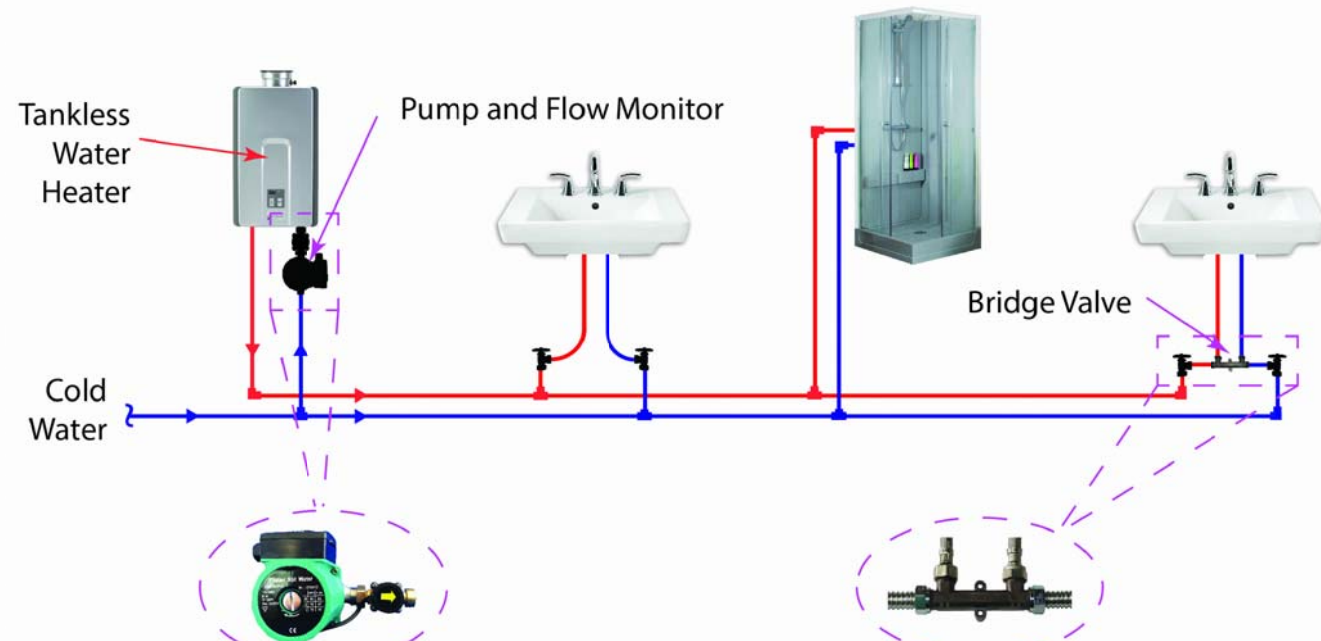
SYMBOL	DESCRIPTION
CW	COLD WATER
HW	HOT WATER
HW-R	HOT WATER RETURN
VENT	VENT TO ROOF
SWR	SEWER
CO	CLEAN OUT
WCO	WALL CLEAN OUT
FOO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
WC	WATER CLOSET
UR	URINARY
LAV	LAVATORY
SH	SHOWER
DF	DRINKING FOUNTAIN
TP	TRAP PRIMER
GW	GREASE TRAP/ASTE BELOW FLOOR
TWH	TANKLESS WATER HEATER
IDW	INDIRECT WASTE
CD	CONDENSATE DRAIN
G	LOW PRESSURE NATURAL GAS
SOV	SHUT-OFF VALVE (BALL TYPE)
GV	GAS SHUT-OFF VALVE
P&T	PRESSURE & TEMP. RELIEF VALVE
CV	CHECK VALVE
WHA	WATER HAMMER ARRESTER
HB	HOSE BUBB
PG	PRESSURE GAUGE
POC	POINT OF CONNECTION
A/C	ABOVE GRADE
B/G	BELOW GRADE
B/F	BELOW FLOOR
BFG	BELOW FINISHED GRADE
F	DEGREASE/HEHEIT
GPF	GALLONS PER FLUSH
GPM	GALLONS PER MINUTE
GPH	GALLONS PER HOUR
IE	INVERT ELEVATION
MAX	MAXIMUM
MIN	MINIMUM
MFR	MANUFACTURER
QTY	QUANTITY
TYP	TYPICAL
NIC	NOT INCLUDED
TS	TWIST TIMER WALL SWITCH
(E)	EXISTING
(N)	NEW
MW	MOP WASH
SS	SINK
W/D	WASH AND DRYER MACHINE
D.WASHER	DISH WASHER

- USE TYPE "B" VENT FOR HOT WATER HEATER AS REQUIRED PER THE PLUMBING CODE SECTION 510.
- ISOLATE ALL PIPING FROM STRUCTURE W/ELFT PADS OR TRISOLATORS. ALL SUSPENDED PIPING TO BE HUNG W/ ADJUSTABLE "J" HANGER AND THREADED ROD DOUBLE NUTTED. USE "J" HANGERS FOR WATER PIPE TO BE FELT LINED. PROVIDE 1/2" LONG 24 GA. SIM SLEEVE FOR INSULATED PIPES AT HANGERS.
- PROVIDE GROUT OR SEALANT FOR ALL FIXTURES AT WALL OR FLOOR.
- ALL SHOWER OR TUB PANS TO BE CONSTRUCTED PER SECTION 411.8 OF THE PLUMBING CODE, AND MAPNO STANDARD IS 4-2015.
- TEMPERATURE SHALL BE LIMITED TO 110 DEG F FLOOR ALL PUBLIC LAVATORIES PER TITLE 24 1130.3.
- UNDERGROUND WATER PIPING WITHIN BUILDING ENVELOPE IS TO BE TYPE "L" COPPER TUBING WITH BRAZER JOINTS AS APPLICABLE. CPC SECTION 609.3 AND 604.2 BRAZED AND WELDED JOINTS TO BE INSTALLED PER CPC SECTION 318.1.7
- WATER CLOSET BOWS SHALL E OF THE ELONGATED TYPE FOR PUBLIC USE.
- NEW OR REPAIRED POTABLE WATER SYSTEMS SHALL BE DISINFECTED PRIOR TO USE ACCORDING TO THE METHODS SET IN SECTION 609.09 OF THE PLUMBING CODE.
- NOTICE: CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING SEWER PRIOR TO BIDDING, NOTIFY ARCHITECT AND ENGINEER IF REQUIRED SEWER FALL IS NOT ADEQUATE.
- THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410
- INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND THE HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (ES 110.3)
- ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION:
INSTALLED: 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION); CPC 609.11 & ES 150.0(U) ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, AND THE COLD-WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES150.0(U)

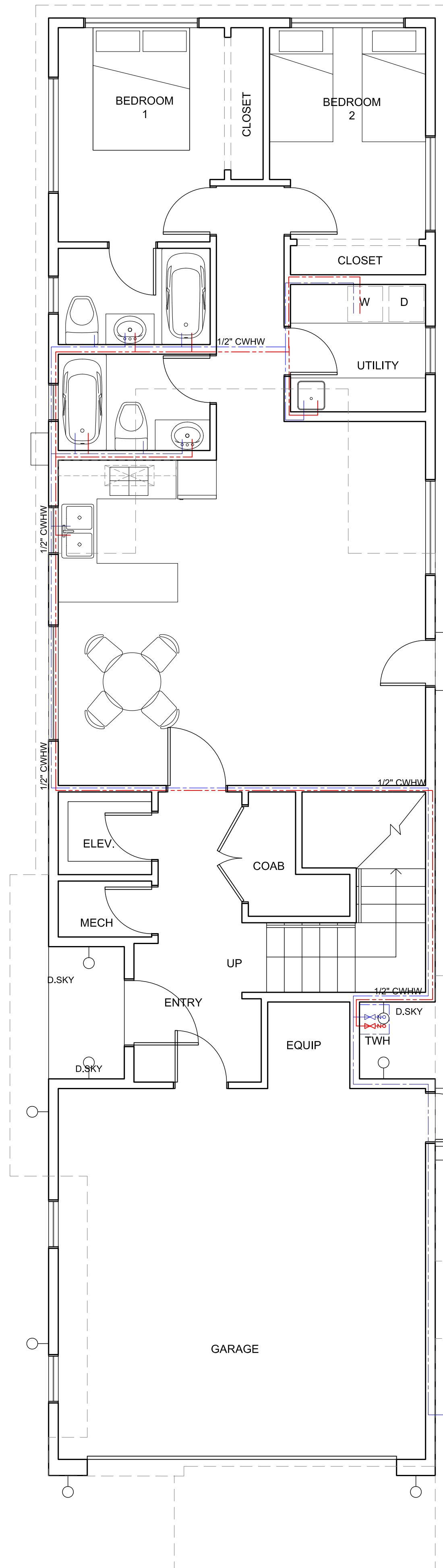
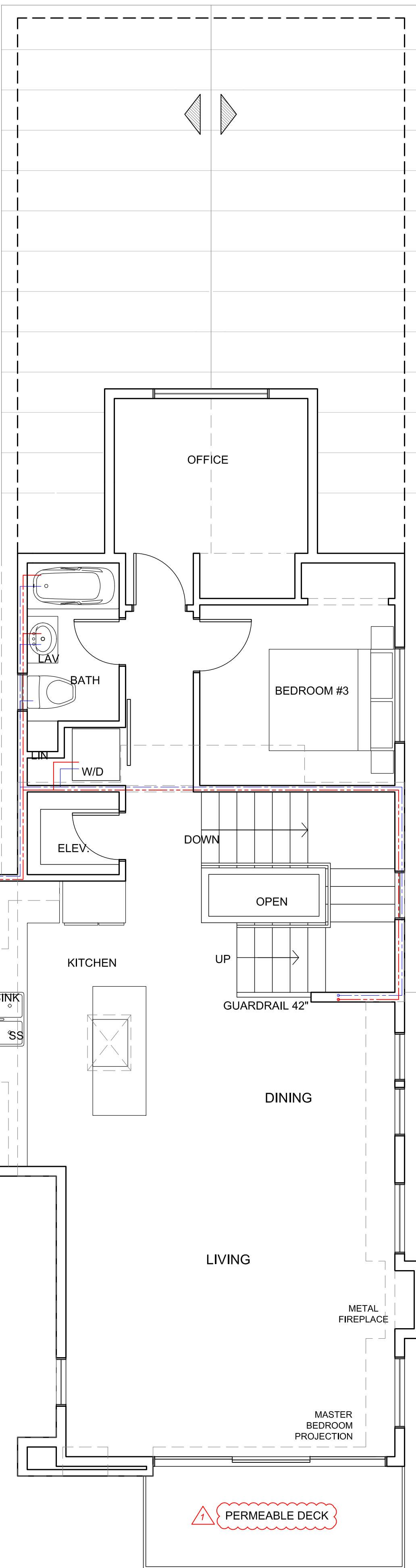
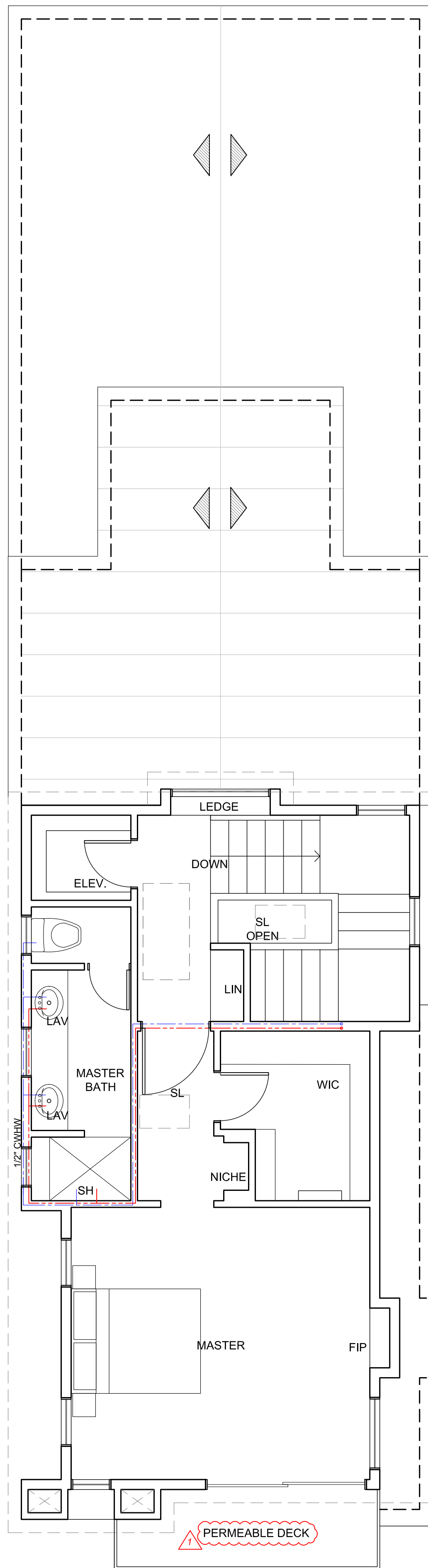
FIXTURE TYPE	ABBREV	FIX. UNIT VALUE	CONNECTION SIZES			REMARKS	
			(TRAP) SAN	VENT	HW		
WATER CLOSET	WC	2	4	2	-	1/2	FLUSH TANK
LAVATORY	LAV	2	1-1/4	1-1/4	1/2	1/2	
SHOWER	SH	2	2	2	1/2	1/2	

SCOPE: THE WORK COVERED BY THIS SECTION INCLUDES ALL LABOR AND MATERIALS, EQUIPMENT, TRANSPORTATION AND OTHER ITEMS NECESSARY FOR AND REASONABLY INCIDENTAL TO THE PROPER AND SATISFACTORY INSTALLATION OF THE PLUMBING SYSTEMS SHOWN ON THE DRAWINGS AND SPECIFIED, AND THE REMOVAL OF EXISTING EQUIPMENT AS REQUIRED AND OR INDICATED ON THE DRAWINGS. CONTRACTOR TO PROVIDE 5 SETS OF EQUIPMENT AND MATERIAL SUBMITTALS TO ARCHITECT FOR APPROVAL. CONTRACTOR TO REVIEW ALL DOCUMENTS INCLUDING ARCHITECTURAL, MECHANICAL, CIVIL, AND STRUCTURAL PLANS PRIOR TO BOUNDING THE JOB. REPORT ANY DISCREPANCIES OR POSSIBLE CONFLICTS TO THE ARCHITECT, ENGINEER AND OWNER.

- ALL THE PLUMBING FIXTURES ARE NEW.
- LAYOUTS SHOWN ARE SCHEMATIC AND DEPICT ROUGH LOCATIONS AND DESIRED RESULTS OF CONSTRUCTION. VERIFY EXACT LOCATIONS OF EXISTING SEWER & WATER LINES ON SITE. VERIFY EXACT LOCATIONS OF EQUIPMENT, ETC WITH EQUIPMENT SUPPLIER. APPLICABLE TRACES & OWNER AS REQUIRED PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER, ACCORDING TO STANDARD INDUSTRY PRACTICES AND IN COMPLIANCE WITH APPLICABLE CODES OF THE LOCAL ADMINISTRATIVE AUTHORITY HAVING JURISDICTION, AND ALL STATE AND FEDERAL REGULATIONS APPLICABLE TO THIS PROJECT.
- CONTRACTOR TO VERIFY LOCATION AND PROVIDE VISUAL INSPECTION OF EXISTING SWR AND REPORT TO OWNER AND ARCHITECT. VERIFY POINT OF CONNECTION OF ALL UTILITIES PRIOR TO COMMENCING WORK.
- COORDINATE ALL INSTALLATIONS WITH OTHER TRADES.
- PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 10' FROM OR AT LEAST 3' ABOVE ANY AIR INTAKE INTO BUILDING, NOR LESS THAN 3" IN EVERY DIRECTION FROM ANY LOT LINE PER SECTION 905.0 OF THE PLUMBING CODE. COORDINATE TERMINATION LOCATIONS WITH MECHANICAL CONTRACTOR. TERMINATE VENTS FOR GAS FIRED APPLIANCES PER SECTION 510.6 OF THE PLUMBING CODE. COORDINATE TERMINATION LOCATIONS WITH MECHANICAL CONTRACTOR.
- STUDS, PLATES, AND REQUIRED BLOCKING BORED OR CUT 25% OR MORE SHALL BE REINFORCED WITH 1/8"x1/2"x1/8" STRUCTURAL STEEL STRAP EACH SIDE OF MEMBER.
- ALL FIXTURES AND OPERATING CONTROLS SHALL BE CALIFORNIA ENERGY COMMISSION (CEC) APPROVED.
- ALL EXCAVATIONS SHALL BE BACKFILLED WITH APPROVED FILL MATERIAL AND COMPACTED TO 90% AT BUILDING AND 90% AT SITE AREAS. PROVIDE 6" OF CLEAN FILL SAND BELOW AND ABOVE ALL UNDERGROUND PIPING. WHEN 4" OR GREATER IN DEPTH, COMPLY WITH OSHA CFR 1926.650.551.652.
- INSULATE HOT AND COLD WATER LINES WITHIN 5' OF HOT WATER TANK WITH 1" PIPE INSULATION. PROVIDE SEISMIC ANCHORAGE TO WATER HEATER. FOR SYSTEMS WITH RECIRCULATION PUMPS, INSULATE ALL HOT WATER AND RETURN LINES. PROVIDE VALVE EXTENSIONS FOR INSULATED PIPE PER TITLE 24 ENERGY CODE.
- ALL MATERIALS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS, LISTED FOR THE INTENDED USE WITH THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS (I.A.P.M.O.) WITH PLUMBING RESEARCH REPORTS.
- PROVIDE NON REMOVABLE BACK FLOW PREVENTION DEVICE ON ALL THREADED TYPE CONNECTIONS OF THE WATER SYSTEM. PROVIDE NON REMOVABLE/INTEGRATED VACUUM BEAKERS AT ALL HOSE BIBS. PROVIDE HOSE BIB IN ALL MECHANICAL ROOMS.
- PLUMBING CONTRACTOR SHALL CONNECT ALL SERVICE EQUIPMENT, AND NECESSARY INDIRECT WASTE LINES TO POINT OF DISPOSAL (2x6 WALLS @ ALL PLUMBING PARTITIONS).
- PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL NECESSARY W/CCO OR METAL BACKING TO ADEQUATELY SUPPORT ALL PLUMBING FIXTURES AND EQUIPMENT.
- PLUMBING CONTRACTOR SHALL INSTALL CONDENSATE DRAINS FOR "HVAC" EQUIPMENT. CONDENSATE DRAINS SHALL BE THE MOST DIRECT ROUTE TO THE DRAIN SYSTEM WITH REQUIRED AIR CAP. ALL DISCHARGE FROM CONDENSATE SHALL BE PER UPC 8.7.2. INSULATE ALL CONDENSATE LINES WITH 3/8" RUBITEK.
- INSTALL SHUT OFF BALL VALVES AND UNIONS ON ALL EQUIPMENT, HOT AND COLD WATER LINES.
- CLEANOUTS SHALL BE READY ACCESSIBLE AND SHALL BE INSTALLED WITH ADEQUATE CLEARANCE FOR EFFECTIVE USE AND WILL NOT BE PLACED IN HIGH TRAFFIC AREAS OR WORK STATION AREAS. PROVIDE CLEANOUTS PER THE PLUMBING CODE SECTION 707.0 EACH 135 DEG OF TURN. CLEANOUTS TO BE EVERY 100' MAX, BROUGHT TO GRADE.
- PROVIDE WATER HAMMER ARRESTORS FOR ALL QUICK ACTING VALVES, AND AT THE END OF LONG WATER PIPING RUNS.
- ALL BUILDING WATER DRAINS SHALL SLOPE 1/4" PER FOOT.
- PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAINS AND INFREQUENTLY USES RECEPTACLES PER THE PLUMBING CODE SECTION 1907.
- PLUMBING FIXTURES & PLUMBING FITTINGS SHALL MEET THE FOLLOWING STANDARDS:
 - WATER CLOSET = 1.25 GAL. PER FLUSH MAX.
 - URINAL = 0.5 GAL. PER FLUSH MAX.
 - SHOWER HEAD = 2.0 GPM MAX.
 - LAVATORY FAUCETS = 1.5 GPM MAX.
 - METERING FAUCETS = 0.2 GICYCLE
 - SINK FAUCETS = 1.8 GPM MAX.
- SHOWERS SHALL BE PROVIDED WITH A SHOWER CONTROL VALVE OF PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE AND DELIVER MAX OF 120 DEG F. PER PLUMBING CODE SECTION 418.
- PROVIDE FLEXIBLE CONNECTIONS AND SHUT OFF VALVES FOR ALL HOT & COLD WATER SUPPLY AND FOR GAS CONNECTIONS TO APPLIANCES. PROVIDE RELIEF VENTS FOR GAS PRESSURE REGULATORS INSTALLED IN CONFINED SPACES.
- PROVIDE COMBUSTION AIR PER THE PLUMBING CODE SECTION 507.0
- PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVES ON ALL HOT WATER HEATING EQUIPMENT PER THE PLUMBING CODE 504.4, AND 504.5 DRAIN TO OUTSIDE AND SLOPE MIN. 2%.



TANKLESS WATER HEATER CONNECTION



PROPOSED WATER SUPPLY

SCALE: 1/4" = 1'-0"

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LICENSED ARCHITECT
KAREN WILKINS
04-30-2023
RENEWAL DATE
STATE OF CALIFORNIA

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(415) 273-9054

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APN: 048-013-890

No.	Description	Date
	Submittal	05/10/2022
	Plan Check	05/24/2022

Proposed Water Supply
P1-0
Scale: As Noted
Sheet size: Arch D

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PLUMBING NOTES & SYMBOL LEGEND

(not all symbols necessarily on this sheet)

SYMBOL	DESCRIPTION
CW	COLD WATER
HWR	HOT WATER
HWR	HOT WATER RETURN
VENT	VENT TO ROOF
SWR	SEWER
CO	CLEAN OUT
WCO	WALL CLEAN OUT
FCO	FLOOR CLEAN OUT
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UR	URINARY
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F	DEGREES FAHRENHEIT
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MFR	MANUFACTURER
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PLUMBING FIXTURE CONNECTION SCHEDULE

FIXTURE TYPE	ABBREV	FIX. UNIT VALUE	CONNECTION SIZES				REMARKS
			(TRAP) SAN	VENT	HW	CW	
WATER CLOSET	WC	2	4	2	-	1/2	FLUSH TANK
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- PROVIDE TEMPERATURE AND PRESSURE RELIEF VALVES ON ALL HOT WATER HEATING EQUIPMENT PER THE PLUMBING CODE 504.4, AND 504.5 DRAIN TO OUTSIDE AND SLOPE MIN. 2%.

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- ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION
 - INSTALLED: 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" PIPE (1-1/2" INSULATION). CPC 609.11 & ES 150.0(J) ADDITIONALLY, THE 1/2" HOT WATER PIPE TO THE KITCHEN SINK, AND THE COLD-WATER PIPE WITHIN 5' OF THE WATER HEATER BOTH REQUIRE 1" MINIMUM INSULATION. ES150.0(J)



DRAINAGE PLAN

SCALE: 1/4" = 1'-0"

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LICENSED ARCHITECT
KAREN WILKINS
04-30-2023
RENEWAL DATE
STATE OF CALIFORNIA

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Wilkins Studio Architects
Contract: Karen Wilkins, ALA
785 Quintana Rd # 180
Morro Bay, CA 93442
(415) 273-9054

Owner
Paul McGregor
130 Coronado Ave, Half
Moon Bay, CA 94019

Coronado Residence and ADU
130 Coronado Ave, Half Moon Bay, CA 94019
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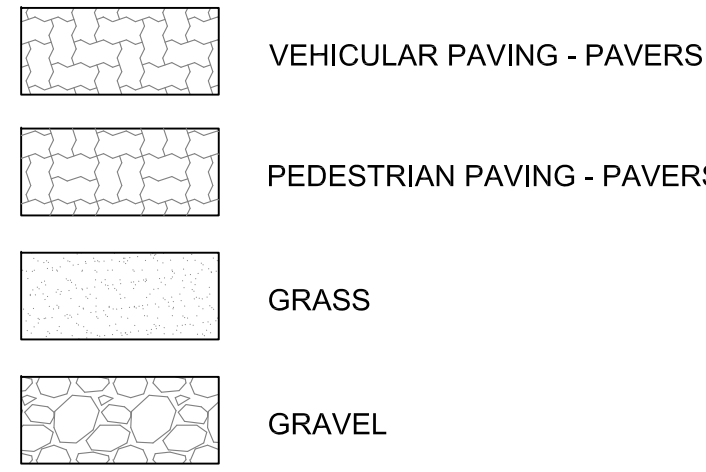
No.	Description	Date
	Submital	05/10/2022
	Plan Check	05/24/2022

Drainage Plan

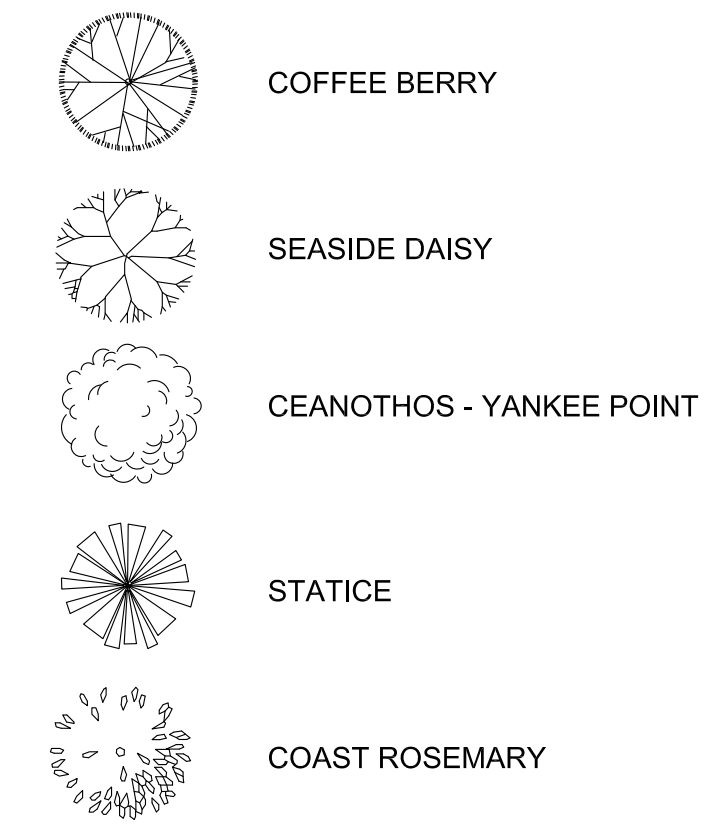
P2-0
Scale: As Noted
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MATERIAL LEGEND



PLANTING LEGEND



NOTES:

- DO NOT USE MEXICAN FEATHER OR CRIMSON FOUNTAIN GRASS.
- NO TREES ARE REMOVED FOR THIS PROJECT.
- ALL PLANTS TO BE PROVIDED IN MIN 1 GAL. SIZE.

DESIGN INTENT

THE LANDSCAPE IS DESIGNED TO COMPLY WITH THE PRESCRIPTIVE COMPLIANCE OPTION OF THE LOCALLY ADOPTED STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORFINANCE ("WELO") COMPLIANCE WITH MANDATORY ELEMENTS OF WELO MUST BE DOCUMENTED ON LANDSCAPE PLANS.

THE PLANS ARE DESIGNED TO DEMONSTRATE FIRE SAFER LANDSCAPING APPROACHES WITH LOWER, LESS WOODY PLANTS CLOSE TO BUILDINGS, AND TREES POSITIONED TO ALLOW MAINTENANCE OF BRANCHES 10' AWAY FROM BUILDINGS.

LOW IMPACT DEVELOPMENT ("LID") ELEMENTS SUCH AS PERMEABLE PAVING , AND DOWNSPOUTS DISCONNECTED FROM STORM SEWERS AND DRAINING TO RAIN GARDENS OR LANDSCAPE STRIPS, ARE PROVIDED TO INFILTRATE MORE STORMWATER RUN-ODD ON SITE, INCREASE GROUNDWATER RECHARGE AND IMPROVE THE AMOUNT OF SOIL MOISTURE AVAILABLE TO PLANTS THEREBY REDUCING IRRIGATION NEEDS.

LANDSCAPE DESIGN REQUIREMENTS

THE PLANTINGS ARE DESIGNED TO COMPLY WITH THE APPENDIX D "PRESCRIPTIVE COMPLIANCE" OPTION OF WELO:

- MEDIUM WATER USE PLANTINGS DO NOT EXCEED 25 PERCENT OF THE TOTAL PLANTED AND IRRIGATED AREA.
- LOW WATER USE OR CLIMATE ADAPTED SPECIES THAT REQUIRE LITTLE OR NO SUMMER WATER ARE SELECTED FOR AT LEAST 75 PERCENT OF THE PLANTED AND IRRIGATED AREA.
- PERMITTED LANDSCAPE AREA MUST BE SMALLER THAN 2500 SF OF PLANTED AND IRRIGATED AREA
- PLANS ARE INTENDED FOR USE ON SITES WITH LESS THAN 8% SLOPES.

ADDITIONAL GUIDELINES FOR THE PLANTINGS:

- FIRE SAFER PLANTINGS ARE INDICATED ON PLANT LISTS AND USED WITHIN 5' OF HOMES.
- CONVENTIONAL TURF IS NOT PROVIDED DUE TO HIGH WATER USE.
- TREES ARE LOCATED AWAY FROM BUILDING STRUCTURES SO THAT BRANCHES CAN BE MAINTAINED 10' FROM ROOFS AND CHIMNEYS.
- PLANTS AREA PLACED IN APPROPRIATE MICROCLIMATES BY EVALUATING THE DIRECTION THE FRONT YARD IS FACING AND NORTH ARROWS ARE INDICATED ON PLANS.
- PLANTS ARE GROUPED IN IRRIGATION ZONES ("HIDROZONES") BASED ON SIMILAR WATER NEEDS AS DEFINED BY THE STATE WATER USE CLASSIFICATIONS OF LANDSCAPE SPECIES IV ("WUCOLS IV") REGION 1 LIST
- RAINWATER AND STORMWATER ELEMENTS SHOULD BE REVIEWED WITH SITE DESIGN TEAM AND GENERAL CONTRACTOR PRIOR TO SITE GRADING
- PERVIOUS PAVING OPTIONS SHOULD BE REVIEWED WITH SITE DESIGN TEAM AND GENERAL CONTRACTOR.

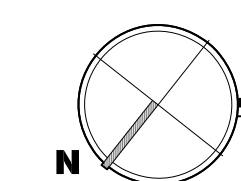
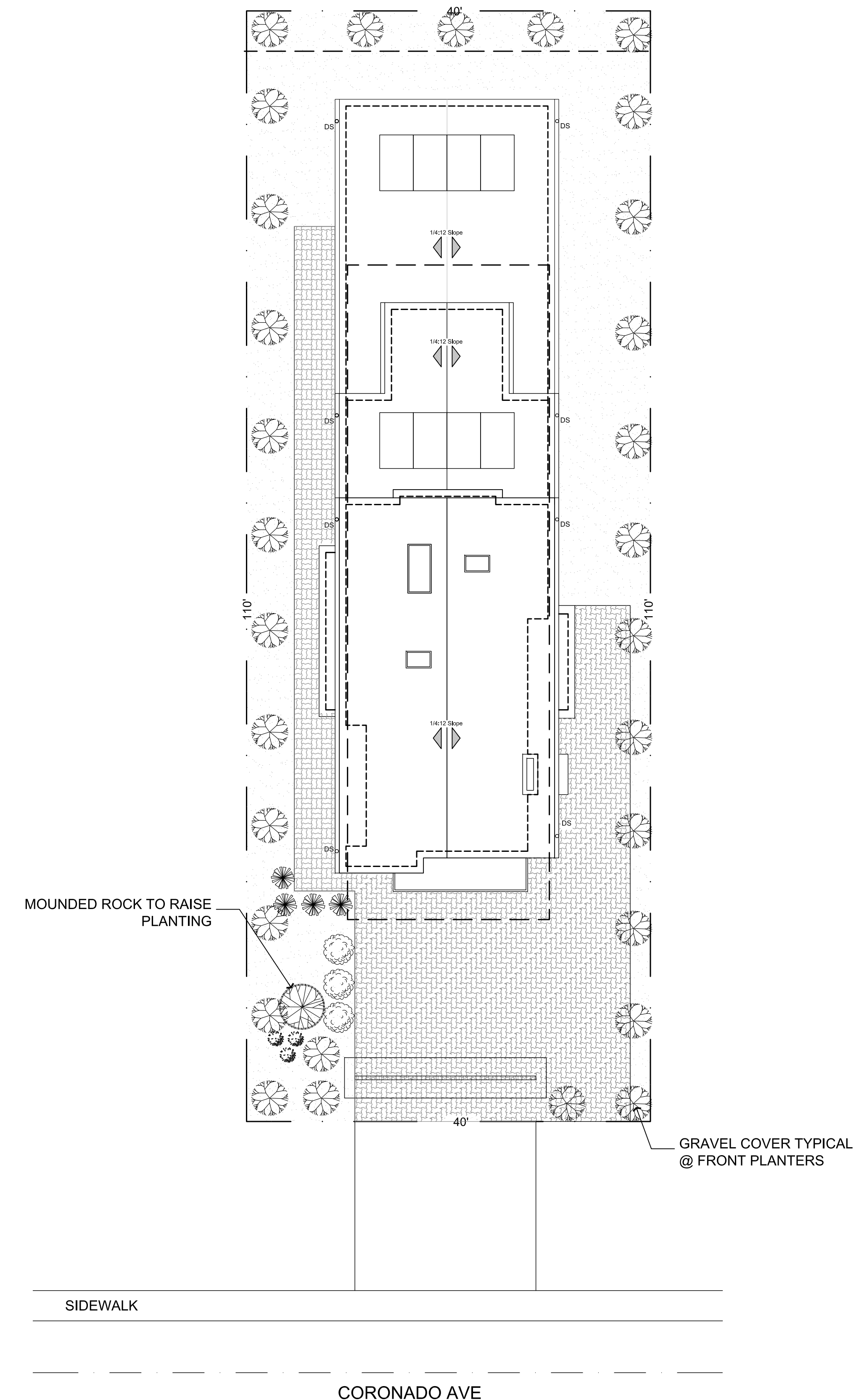
SOIL MANAGEMENT REQUIREMENTS

SOIL MANAGEMENT IS DESIGNED TO COMPLY WITH TEH PRESCRIPTIVE COMPLIANCE OPTION OF WELO:

- INCORPORATE CONPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO THE LANDSCAPE AREA.
- AFTER PLANTING, A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS.
- MULCH CAN BE REDUCED FOR NATIVE GRASS AND/OR WILDFLOWER AREAS.

APPLICANT INSTRUCTIONS:

- MEASURE ENTIRE FRONT YARD AREA. SUBTRACT HARDSCAPE AREAS TO GET THE TOTAL SQUARE FEET OF PLANTED AND IRRIGATED AREA, ENTER THIS NUMBER IN THE PLANT WATER USE TABLE ON THIS SHEET.
- IF NEEDED USE A RED PEN TO ADJUST THE LAYOUT OF DRIVEWAY, PATHS AND PLANTING AREAS TO FIT YOUR YART.
- ADJUST ORIENTATION OF NORTH ARROW TO SITE CONDITION.
- ADD ANY EXISTING TREES IN RED ON THE PLAN. ADJUST TREE LOCATIONS IF NEEDED TO FIT YOUR SITE.
- FILL IN PLANT WATER USE TABLE.
- INSURE LESS THAN 25% OF PLANTED AREA IS MEDIUM WATER USE PLANTINGS.
- IN THE LEGEND, CIRCLE THE HARDSCAPE MATERIALS YOU WILL BE USING AND ON DETAIL SHEETS L5-0
- INDICATE ANY SUBSTITUTIONS TO THE PLANTINGS BY CROSSING OUT THE LISTED PLANTS AND WRITING THE SUBSTITUTION BELOW IN RED INK, MAKE SURE THE PLANTS USED HAVE MATCHING WATER USE AND ARE ROUGHLY THE SAME SIZE (SEE SONOMA-MARIN SAVING WATER PARTNERSHIP



LANSCAPE PLAN

SCALE: 1/8" =1'-0"



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No.	Description	Date
	Submital	05/10/2022

Layout & Planting Plan
L1-0
 Scale: As Noted
 Sheet size: Arch D

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