



SITE DATA:

APN: 048-014-100, 048-014-110
 ZONING: R-1/S-17/DR/CD
 OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: V-B

PLN:
 BLD:

APPLICABLE CODES:
 SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 ANY APPLICABLE CITY CODES, ORDINANCES, OR AMENDMENTS
 TO THE CALIFORNIA BUILDING CODE

OWNER : JAVIER MERCADO
 461 VISTA RIDGE DRIVE
 MILPITAS, CA 95035
 408-591-0305
 mercadoenterpses57@gmail.com

ARCHITECT: EDWARD C. LOVE, ARCHITECT
 720 MILL ST
 HALF MOON BAY, CA 94019
 650-728-7615
 edwardclovearch@gmail.com

STRUCTURAL:

CIVIL: SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 650-728-3590
 SIGMAFRM@GMAIL.COM

LANDSCAPE: JERRY ALAN WHITING
 FLORA FARM
 340 PURRISIMA ST
 HALF MOON BAY, CA 94019
 LIC #: 549103
 650-678-5807
 floralarmitb@yahoo.com

SURVEYOR: BGT LAND SURVEYING
 871 WOODSIDE WAY
 SAN MATEO, CA 94401
 QBRYAN G. TAYLOR, PL5
 650-212-1030 TEL
 888-732-9294 FAX
 WWW.BGTSURVEYING.COM

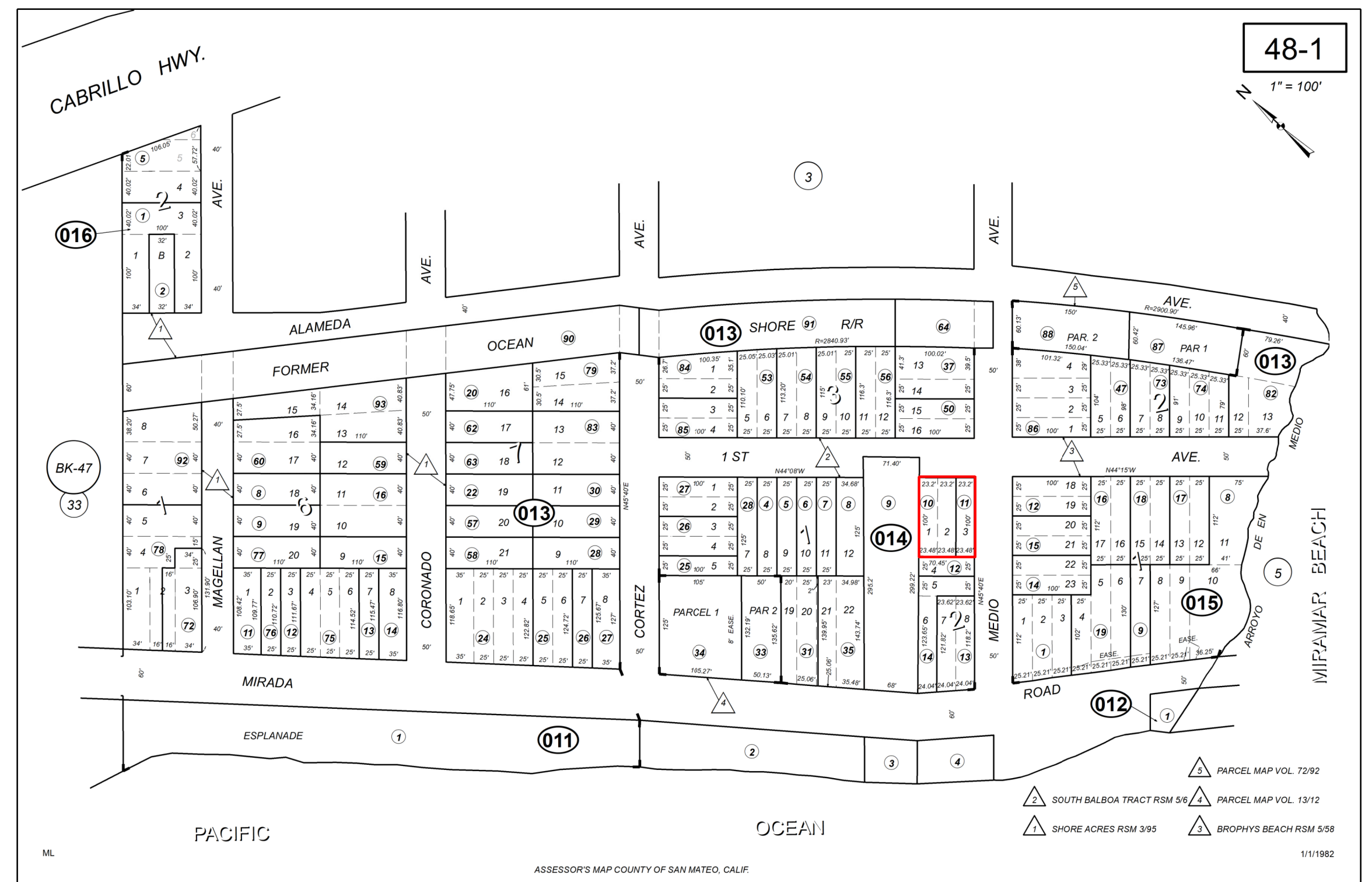
T24:

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	7048				ADU HOUSE	800		
LOT COVERAGE	0	0.0	1821	25.8	1821	25.8	2467	35.0
FLOOR AREA			1ST FLOOR	1088	1ST FLOOR	1088		
			2ND FLOOR	1472	2ND FLOOR	1472		
			GARAGE	491	GARAGE	491		
			ADU	800	ADU	800		
Total	0	0.0	Total	3051	43.3	Total	3051	43.3
			Total			Total	3735	53.0

SCOPE OF WORK:
 CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE
 WITH ATTACHED GARAGE AND ATTACHED ADU.

NOTE:
 1.
 2.

Sheet List - CD		
Sheet Number	Sheet Name	Rev
A001	Cover Sheet	
SU-1	Survey	
A002	Additional Notes	
C-1	Grading & Drainage Plan	
C-2	Erosion Control Plan	
C-3	BMP	
A003	Site Plan Existing	
A004	Site Plan Proposed	
A101	First Floor Plan	
A102	Second Floor Plan	
A103	Roof Deck	
A104	Door & Window Schedule	
A105	Section	
A106	Section	
A201	Elevations	
A202	Elevations	
A501	Spec Sheets	
A502	Maternal Sheet	
L101	Landscape Plan	



REVISIONS



Edward C. Love
 Architect
 720 MILL STREET
 HALF MOON BAY, CA 94019
 (650) 728-7615
 edwardclovearch@gmail.com

New Residence
 Javier Mercado
 145 Medio Ave HMB CA 94019

Cover Sheet

FOR REVIEW ONLY

DATE: 3/27/2024
 SCALE:
 DRAWN: AKB
 JOB: Mercado
 SHEET:

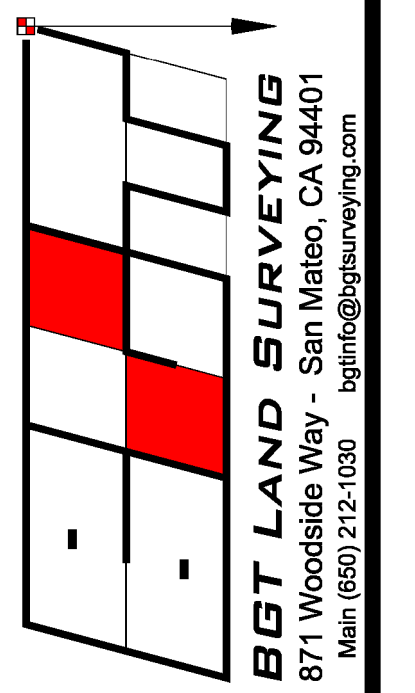
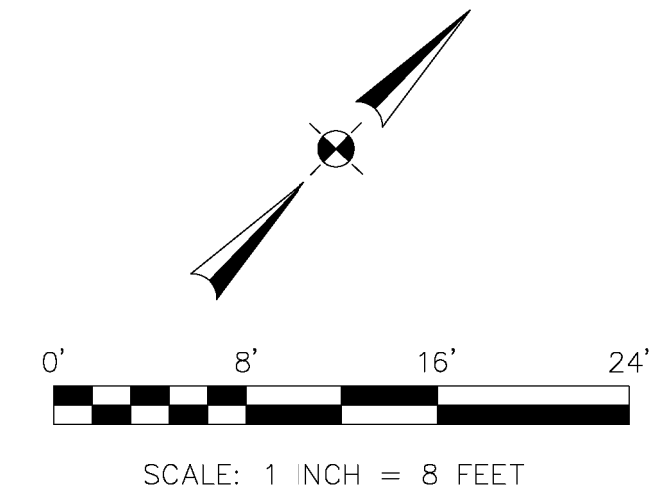
A001
 OF SHEETS

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LEGEND

AC	ASPHALT CONCRETE	MH	MH (TYPE UNKNOWN)
BW	BACK OF WALK	MON-MON	MONUMENT TO MONUMENT DISTANCE
CB	CATCH BASIN	PBV	PACBELL/SBC VAULT
C/L	CENTERLINE	PGE	PG&E VAULT
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CI	CAST IRON PIPE	PP	POWER POLE
CO	CLEAN OUT BOX	SDMH	STORM DRAIN MANHOLE
CP	SURVEY CONTROL POINT	SL	STREET LIGHT
CPP	CORRUGATED PLASTIC PIPE	SLB	STREET LIGHT BOX
CTV	CABLE TELEVISION LINE	SLV	STREET LIGHT VAULT
DI	DROP INLET	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	SSV	SANITARY SEWER VAULT
EV	ELECTRIC VAULT	TBC	TOP BACK OF CURB
FF	FINISHED FLOOR	TBM	TEMPORARY BENCHMARK
FL	FLOWLINE	TS	TRAFFIC SIGNAL
FLH	FIRE HYDRANT	TSB	TRAFFIC SIGNAL BOX
GM	GAS METER	UNK	UNKNOWN TYPE
GRD	GROUND	VCP	VITRIFIED CLAY PIPE
GUY	GUY ANCHOR	WBF	WATER BACK FLOW VALVE
GV	GAS VALVE	WM	WATER METER BOX
HCR	HANDICAP RAMP	WV	WATER VALVE
HVE	HIGH-VOLT ELECTRIC	-CTV-	CABLE TELEVISION LINE
INV.	INVERT	-E-	ELECTRICAL LINE
IP	IRON PIPE	-G-	GAS LINE
JP	JOINT POLE	-OH-	OVERHEAD LINE
KV	KILOVOLT	-SD-	STORM DRAIN LINE
LAT.	LATERAL	-SS-	SANITARY SEWER LINE
LG	LIP OF GUTTER	-T-	TELEPHONE LINE
		-W-	WATER LINE

20 LLS 32



BASIS OF BEARINGS

THE BEARING, NORTH 45°45'00" EAST, OF THE MONUMENT LINE OF MEDIO AVENUE, AS SHOWN ON THAT CERTAIN PARCEL MAP WHICH WAS FILED FOR RECORD IN VOLUME 72 OF PARCEL MAPS PAGE 92 ON JUNE 26, 2000, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. SITE BENCHMARK IS THE MACHINED CROSS SET ON SIDEWALK WITH AN ELEVATION OF 33.0 FEET.

NOTES:

BGT RELIED UPON FIDELITY NATIONAL TITLE COMPANY PRELIMINARY TITLE REPORTS, NO. 1082300410 (APN 048-014-100), AND NO. 1082300411 (APN 048-014-110), AS TITLE REFERENCES. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORTS.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

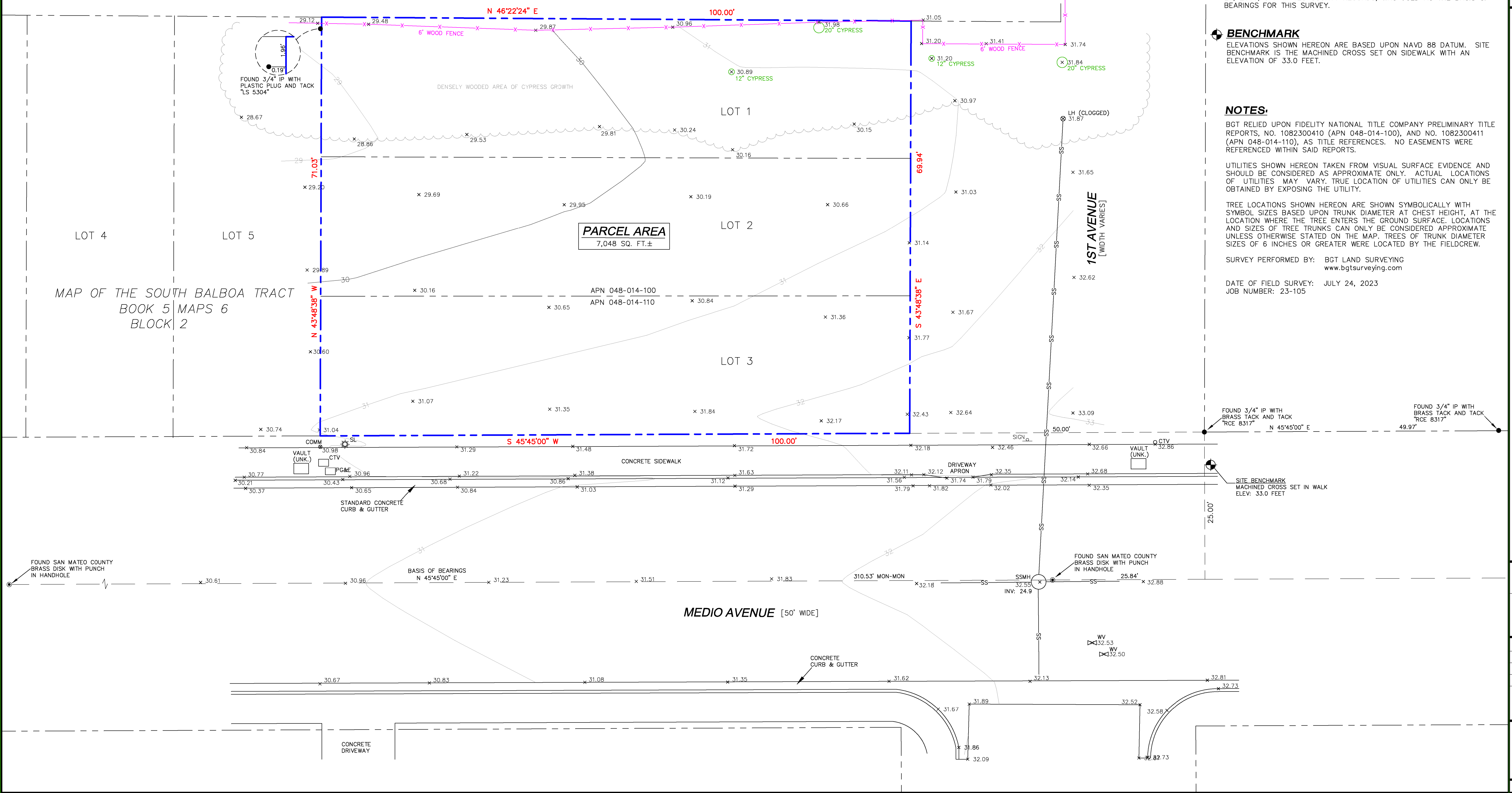
SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: JULY 24, 2023
JOB NUMBER: 23-105

MAP OF THE SOUTH BALBOA TRACT
BOOK 5 MAPS 6
BLOCK 2

PARCEL AREA
7,048 SQ. FT.±

APN 048-014-100
APN 048-014-110



BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 1-3, BLOCK 2, "MAP OF THE SOUTH BALBOA TRACT" (BOOK 5 MAPS 6)
VACANT, 145 MEDIO AVENUE
MIRAMAR (UNINCORPORATED), COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
048-014-100
048-014-110

Prepared For:
JAVIER MERCADO
481 VISTA RIDGE ROAD
MILPITAS, CA 95035

Date: JULY 2023
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: BGT
Revisions:

SU-1

Job No. 23-105

ADDITIONAL NOTES:

CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED PER CALGREEN 4.408.2 (OR IN ACCORDANCE WITH LOCAL ORDINANCE). MINIMUM OF 65% OF CONSTRUCTION WASTE SHALL BE DIVERTED FOR RECYCLING OR SALVAGE PER CALGREEN 4.408.1

OPERATIONS & MAINTENANCE MANUALS SHALL BE PROVIDED TO BUILDING OWNER ADDRESSING ITEMS 1 - 10 IN CALGREEN 4.410.1

DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPED PER CALGREEN 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

BATHROOM EXHAUST FANS SHALL COMPLY WITH CALGREEN 4.506.1. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN AND MUST BE CONTROLLED BY A HUMIDITY SENSOR.

PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (CALGREEN 4.406.1)

COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (CALGREEN 4.504.1)

ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CALGREEN 4.504.2.1)

PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.2.2)

AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND TOXIC COMPOUNDS (CALGREEN 4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (CALGREEN 4.504.3)

MINIMUM OF 80" FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN 4.504.4

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (CALGREEN 4.504.5)

INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (CALGREEN 4.505.2)

CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (CALGREEN 4.505.3)

HERS INSPECTION ITEMS

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building components tables below.

- Building-level Verifications:
 - High quality insulation installation (QII)
 - IAQ mechanical ventilation

- Cooling System Verifications:
 - -- None --

- HVAC Distribution System Verifications:
 - Duct Sealing

- Domestic Hot Water System Verifications:
 - -- None --

Smoke Detectors

As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.

Smoke alarm/detector are to be hard wired, interconnected, or with battery back up. Smoke alarms to be installed per manufacturers instruction and NFPA 72.

Windows

Escape or rescue windows shall have a minimum net clear openable area of 5.7 square ft (sqft), 5.0 sqft allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall not be more than 44 inches above the finished floor (CFC 1030).

Address Markers

New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum of 1/2 inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, an additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective numbers/letters similar to Hy-Ko 911 or equivalent. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).

Roofing

As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current addition of the California Building Code.

Vegetation Management (LRA)

The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code 304.1.2:

A fuel break of defensible space shall be required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

Fire Access Roads

The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The city of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, Dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed of the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

Fire Hydrant

As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

Automatic Fire Sprinkler System (Fire Sprinkler plans will require a separate permit)

As per San Mateo County Building Standards and Coastside Fire District Ordinance 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or the City of HMB. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.

Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.

An exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe, and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Solar Photovoltaic Systems

These systems shall meet the requirements of the 2016 CFC Section 605.11.

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Additional Notes



DATE: 3/27/2024

SCALE:

DRAWN: GMH

JOB: Mercado

SHEET:

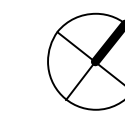
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OF SHEETS

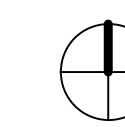
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1 Site Existing
1/8" = 1'-0"



TRUE



PROJECT

THIS SITE PLAN IS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY
BY BGT Land Surveying
DATED 07/2023,

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Site Plan Existing

FOR
REVIEW
ONLY

DATE: 3/27/2024

SCALE: 1/8" = 1'-0"

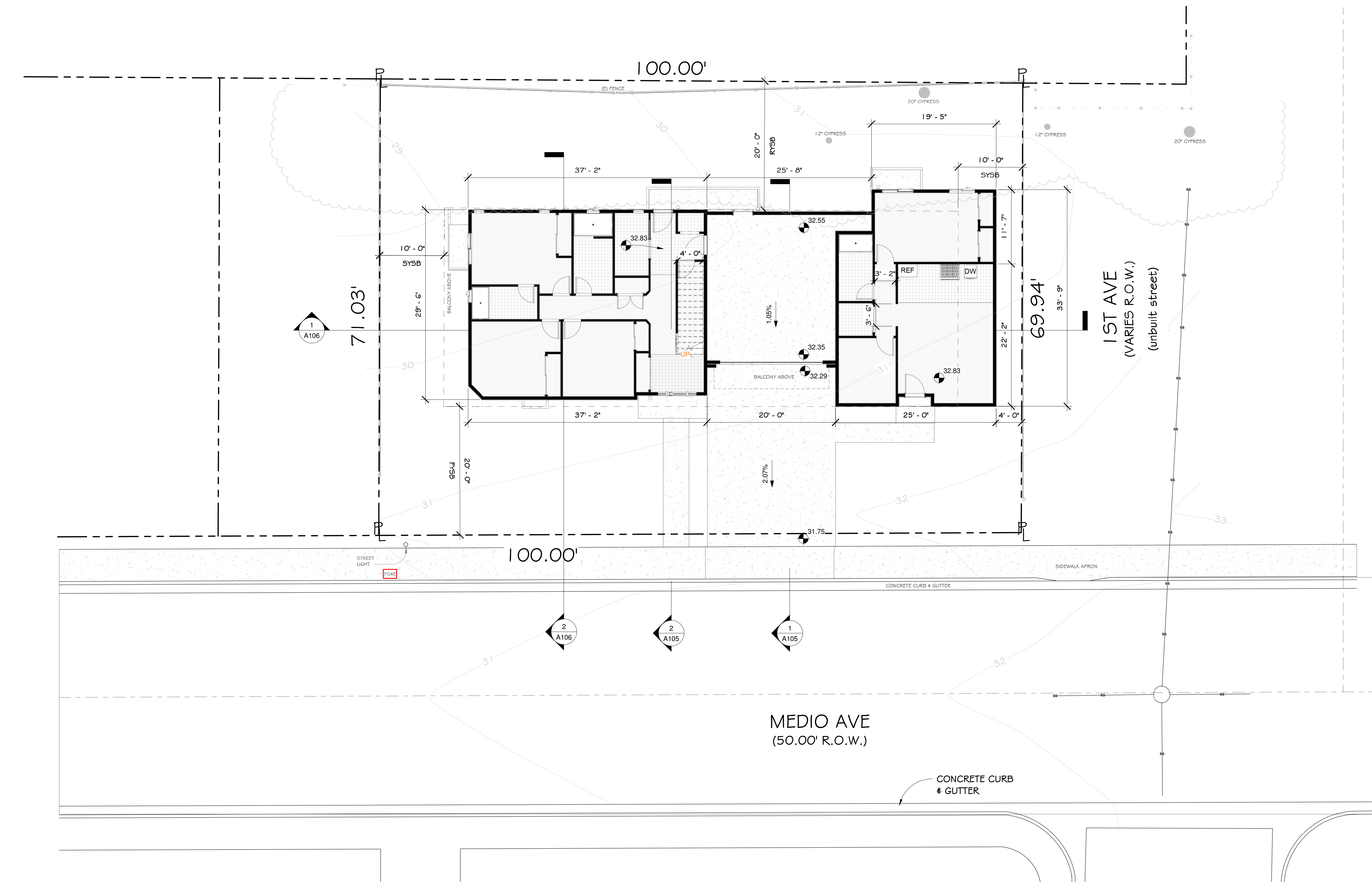
DRAWN: AKB

JOB: Mercado

SHEET:

A003

OF SHEETS



1 Site Proposed
1/8" = 1'-0"



REVISIONS

NO.	DESCRIPTION



EDWARD C. LOVE, ARCHITECT

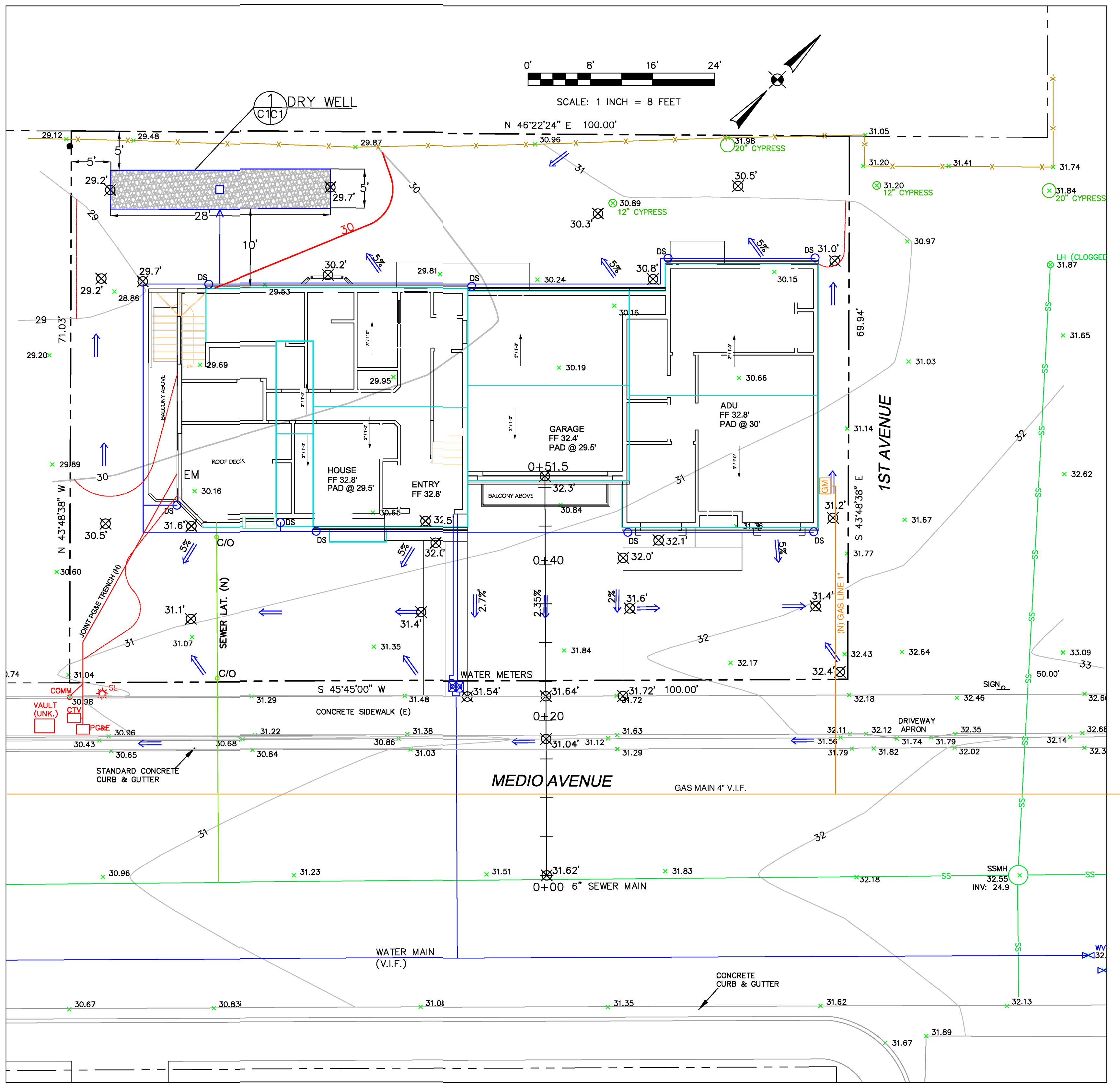
Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Site Plan Proposed

FOR
REVIEW
ONLY

DATE: 3/27/2024
SCALE: 1/8" = 1'-0"
DRAWN: AKB
JOB: Mercado
SHEET:
A004
OF SHEETS

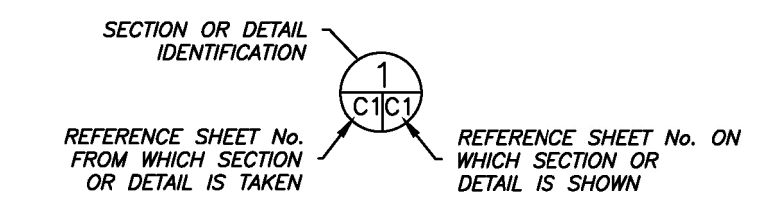


- LEGEND**
- EXISTING CONTOURS
 - PROPOSED CONTOURS
 - 30.97 EXISTING SPOT ELEVATION
 - 31.0' PROPOSED SPOT ELEVATION
 - DOWNSPOUT
 - 4" SOLID DRAIN PIPE
 - DIRECTION OF SURFACE DRAINAGE

- DRAINAGE NOTES**
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
 2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
 3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
 4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL, AND PERIODICALLY DURING THE RAINY SEASON.

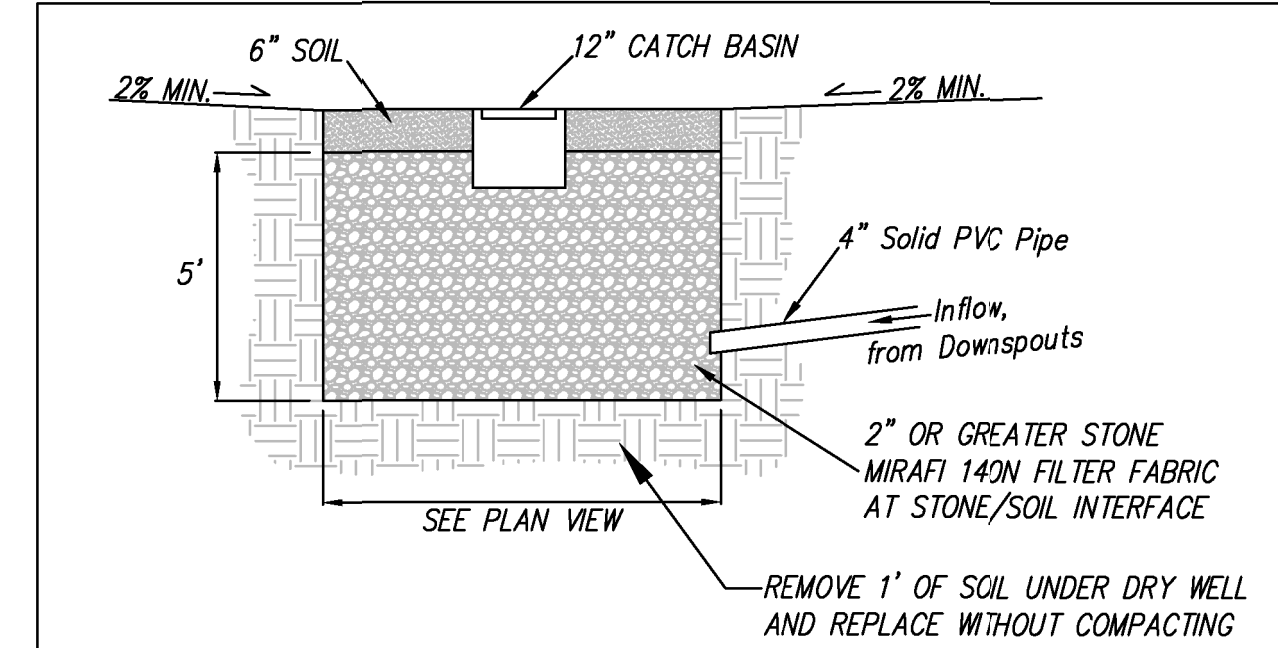
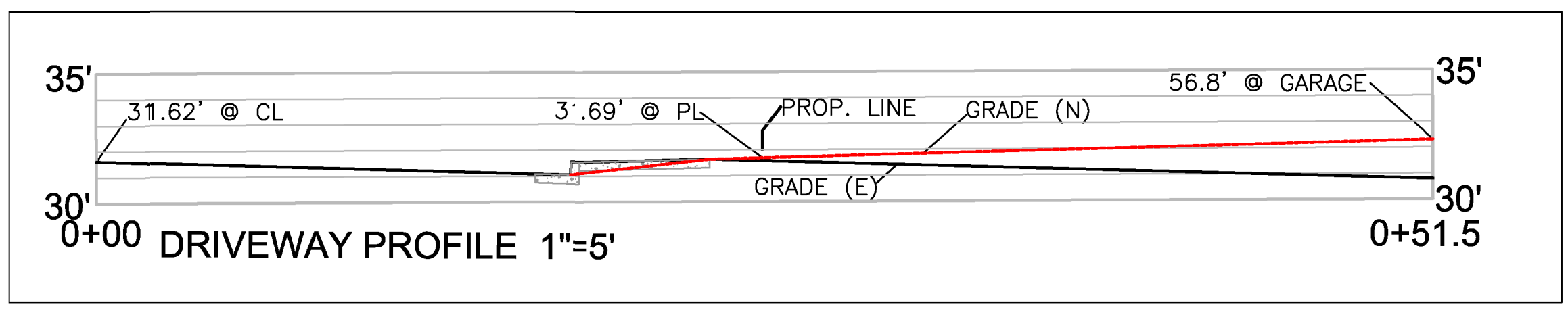
- GRADING NOTES**
- CUT VOLUME : 10 CY (FOR FOUNDATION)
 FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 99%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



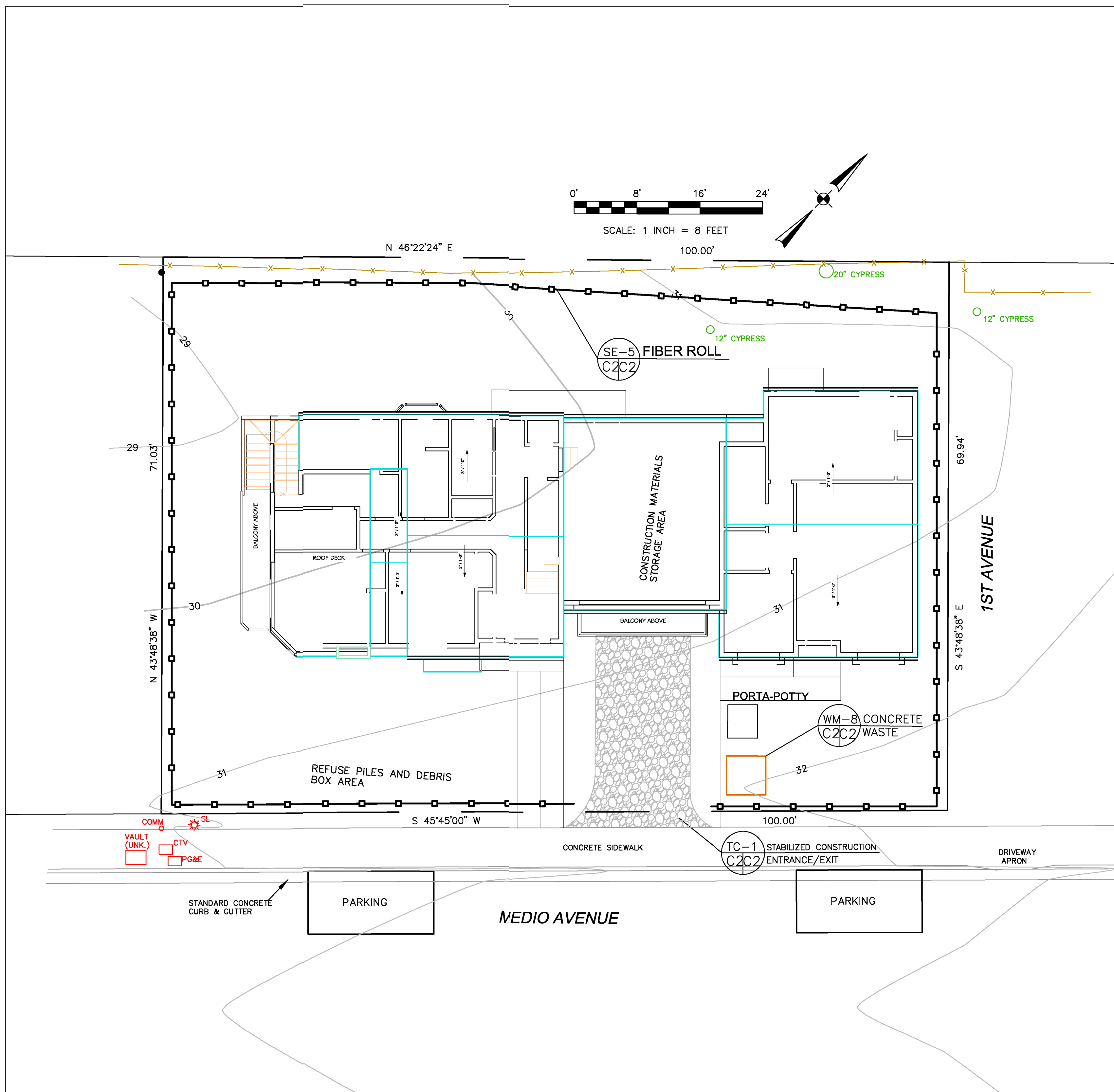
GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: JAVIER MERCADO, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 7-24-23.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.

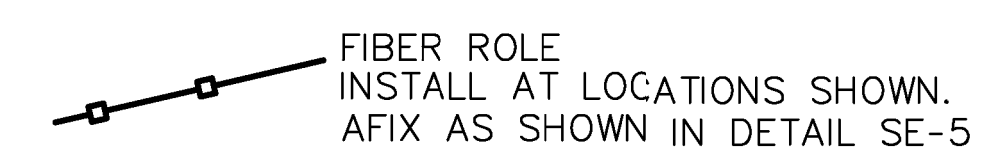


1 DRY WELL
 C1/C1 NOT TO SCALE

DATE: 3-27-24	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
GRADING AND DRAINAGE PLAN MERCADO PROPERTY 145 MEDIO AVENUE MIRMAR APN 048-014-100,110					

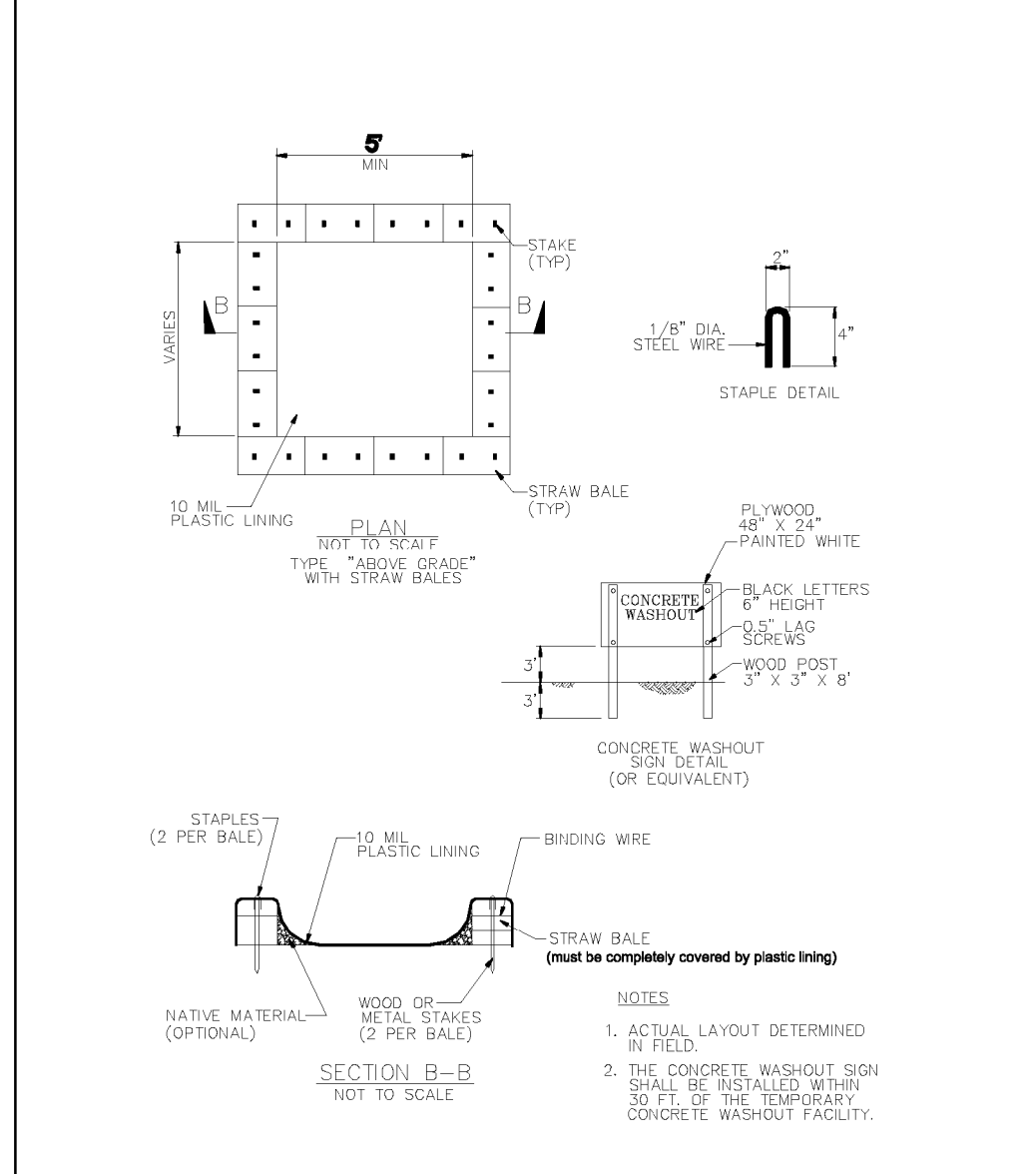


GENERAL EROSION AND SEDIMENT CONTROL NOTES



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

CONCRETE WASTE MANAGEMENT WM-8



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: CHARLES KISSICK
 TITLE/QUALIFICATION: PROJECT ENGINEER
 PHONE: 650-728-3590
 PHONE:
 E-MAIL: SIGMAPRM@GMAIL.COM



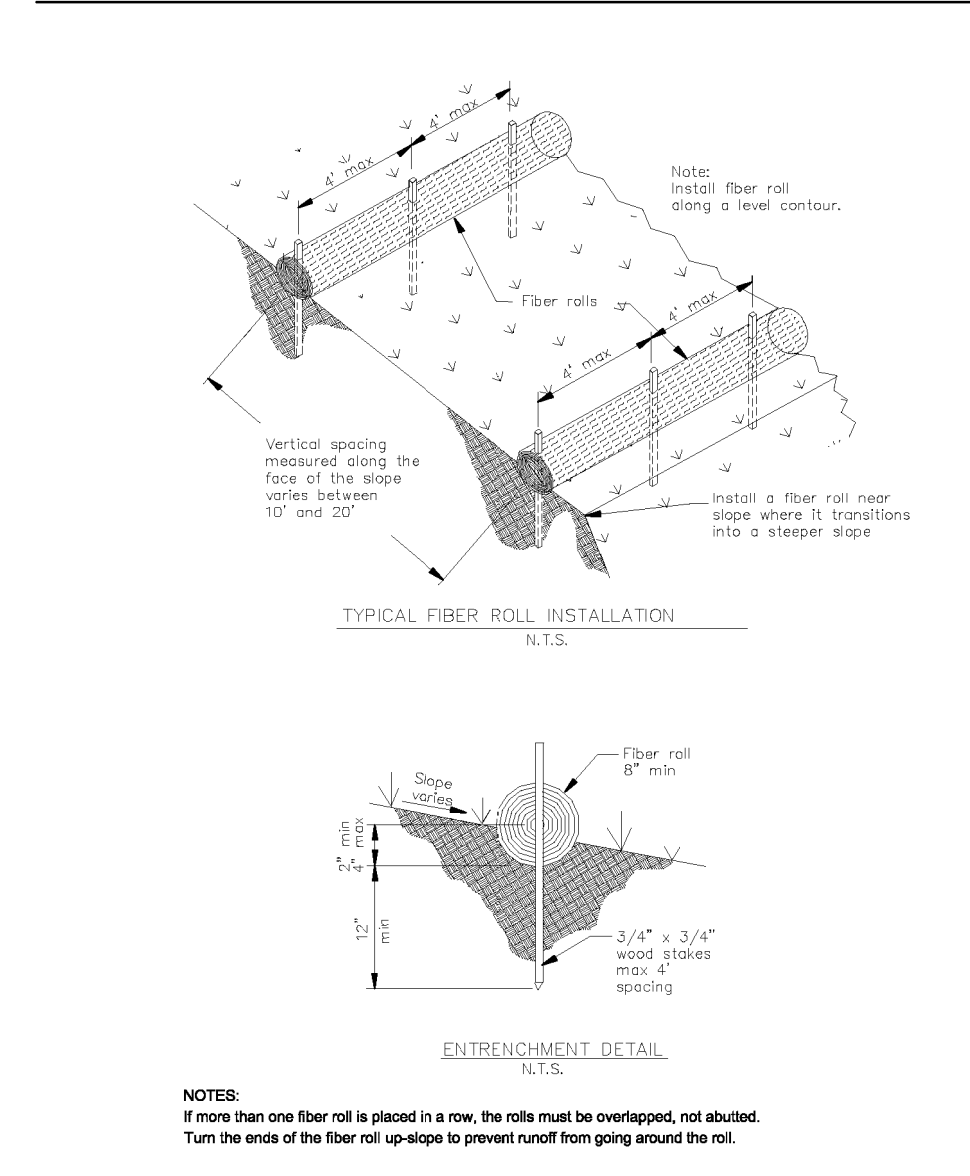
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 3-27-24
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

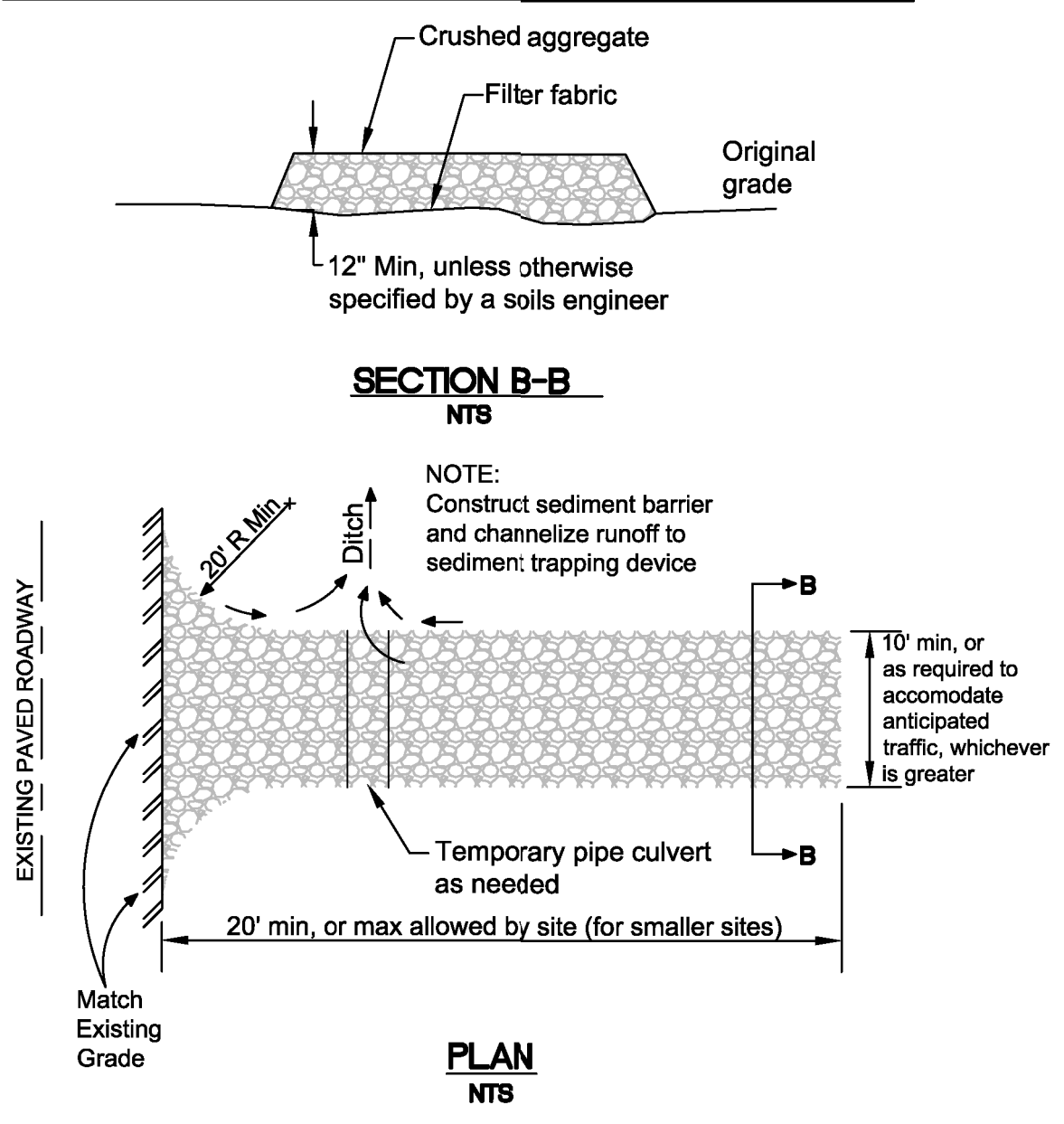
EROSION AND SEDIMENT CONTROL PLAN
 MERCADO PROPERTY
 145 MEDIO AVENUE
 MIRMAR
 APN 048-014-100,110

SHEET
C-2

FIBER ROLLS SE-5



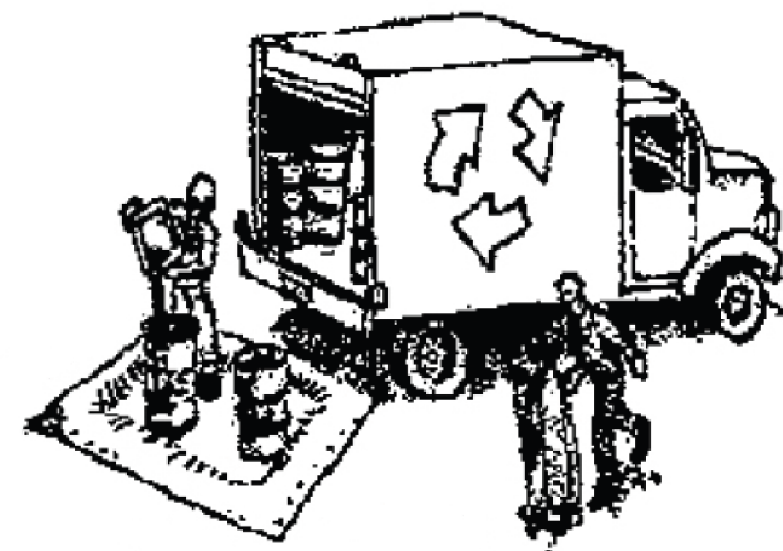
STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



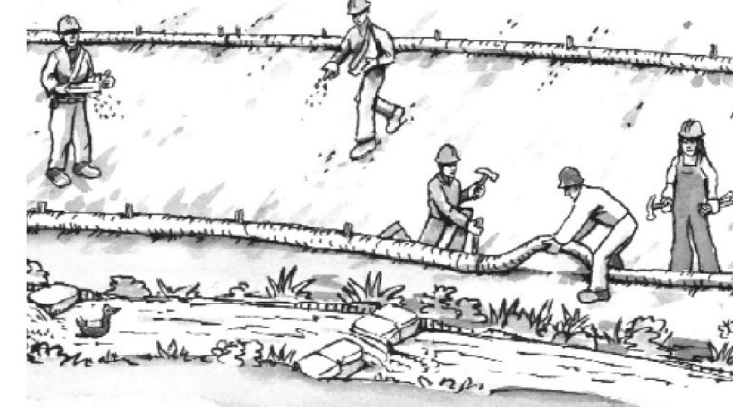
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

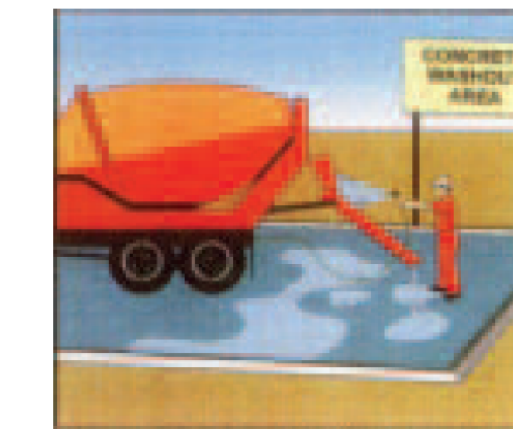


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



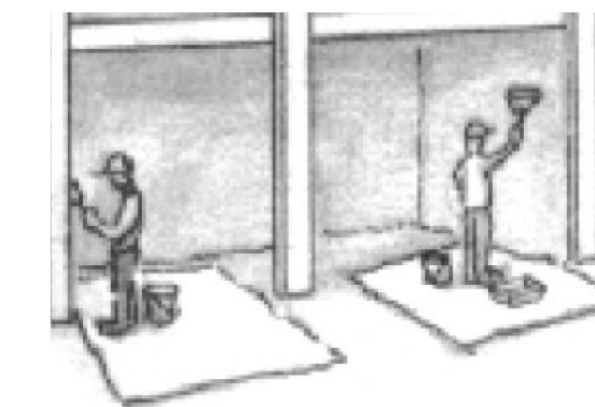
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

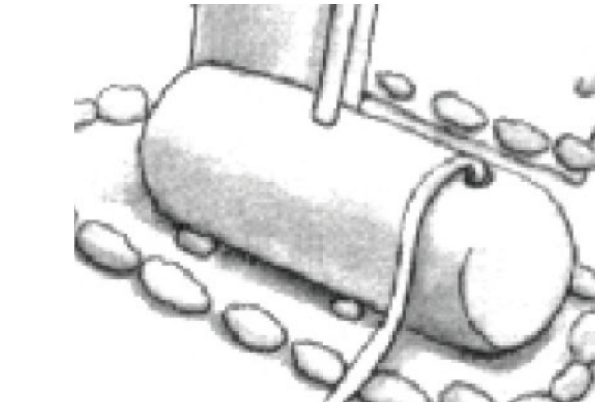
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

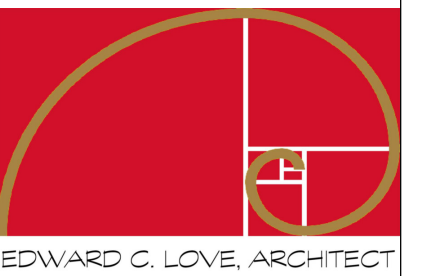
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado

145 Medio Ave HMB CA 94019

BMP

FOR
REVIEW
ONLY

DATE: 3/27/2024

SCALE:

DRAWN: AKB

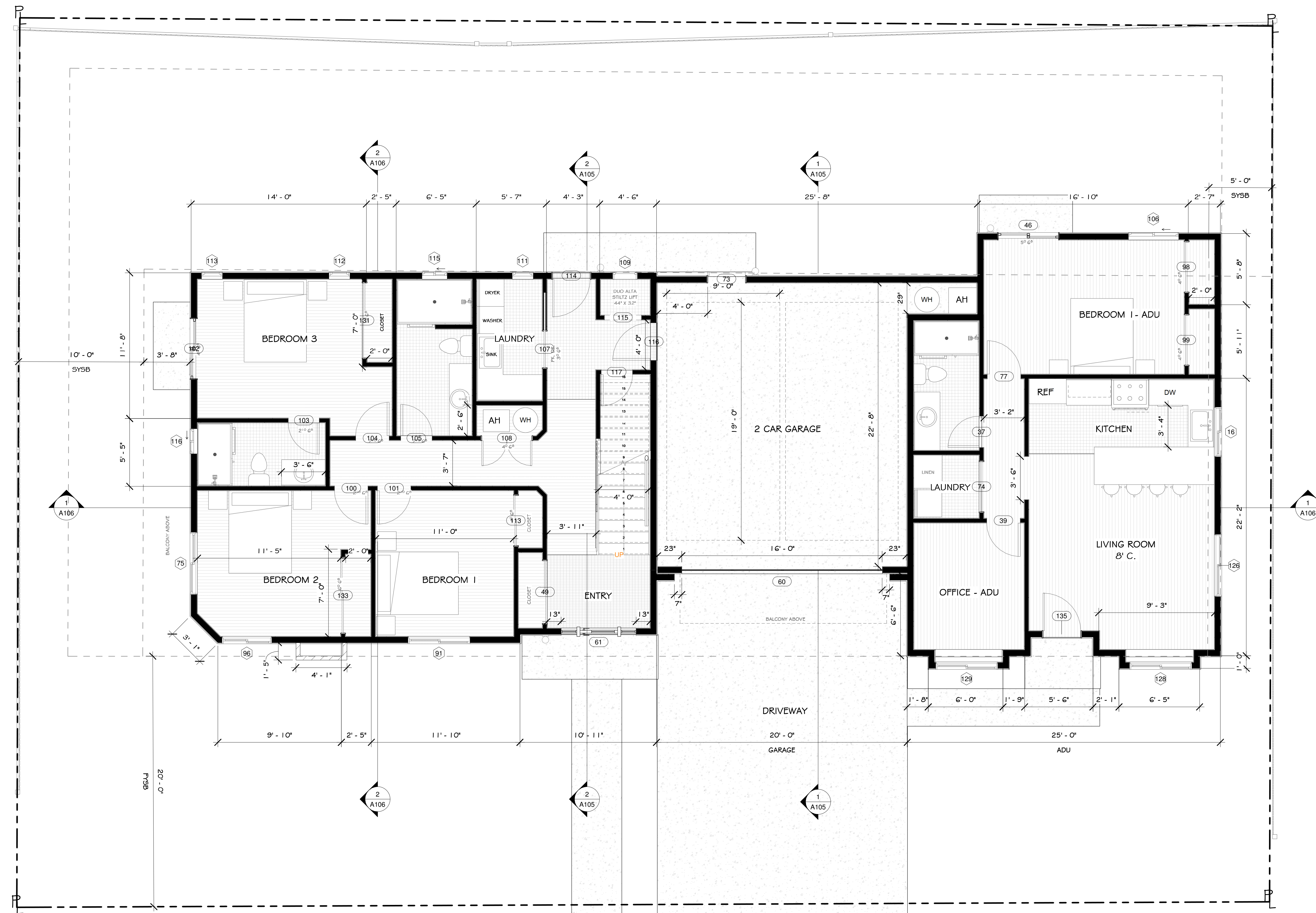
JOB: Mercado

SHEET:

C-3

OF SHEETS

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1 Level 1
1/4" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

First Floor Plan

FOR
REVIEW
ONLY

DATE: 3/27/2024

SCALE: 1/4" = 1'-0"

DRAWN: AKB

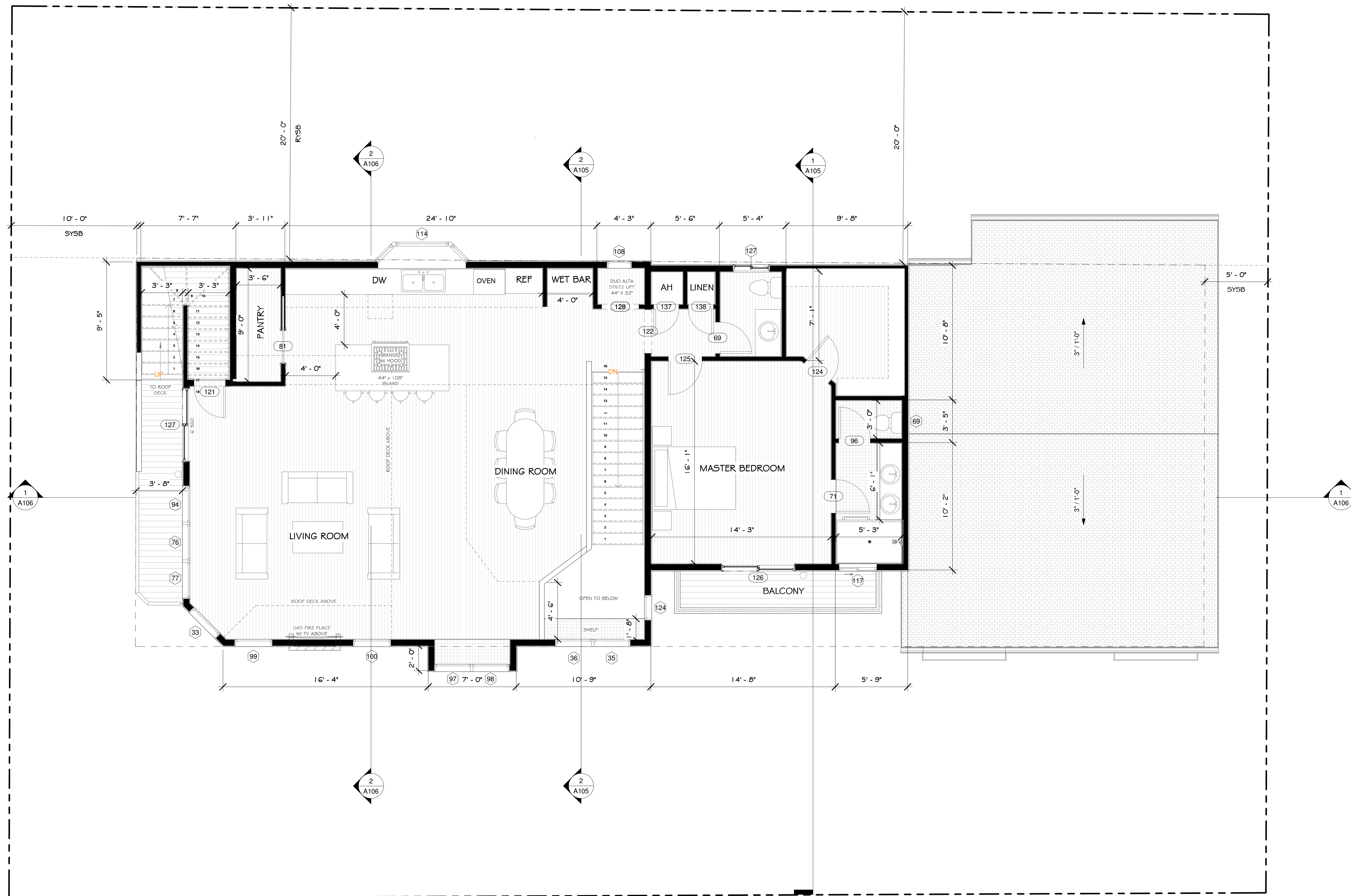
JOB: Mercado

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1 Level 2
1/4" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

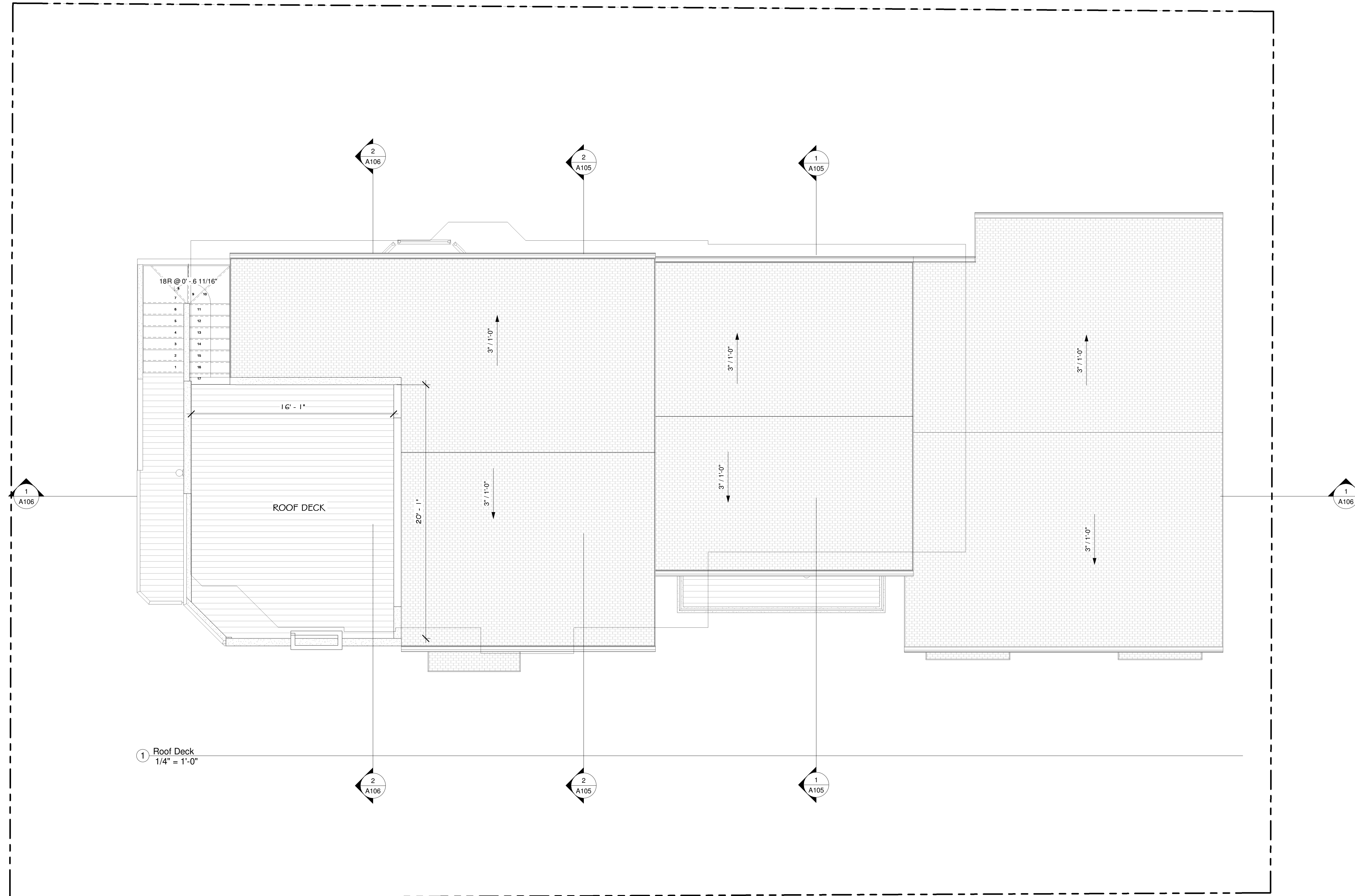
Second Floor Plan

FOR
REVIEW
ONLY

DATE: 3/27/2024
SCALE: 1/4" = 1'-0"
DRAWN: BOON
JOB: Mercado

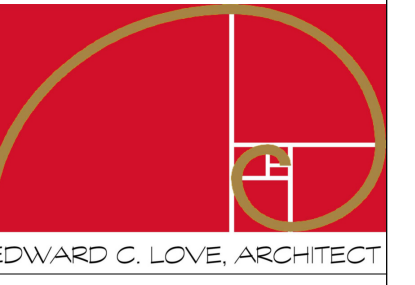
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A102
OF SHEETS

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1 Roof Deck
1/4" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Roof Deck

FOR REVIEW ONLY

DATE: 3/27/2024

SCALE: 1/4" = 1'-0"

DRAWN: BOON

JOB: Mercado

SHEET:

A103

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Window Schedule						
Mark	Type	Width	Height	Sill Height	Tempered Glass	Comments
Level 1						
16	Slider	3' - 11 1/2"	3' - 0"	4' - 0"		
75	Slider	4' - 11 1/2"	3' - 11 3/4"	2' - 10 1/4"		
91	Slider	4' - 11 1/2"	3' - 11 3/4"	2' - 10 1/4"		
96		3' - 11 1/2"	4' - 0"	2' - 10 1/4"		
106	Fixed	4' - 0"	4' - 0"	2' - 10"		
109	Fixed	2' - 0"	2' - 0"	4' - 11"		
111	Single Hung	1' - 8"	2' - 8"	4' - 2"		
112	Single Hung	1' - 8"	4' - 0"	2' - 10"		
113	Single Hung	1' - 8"	4' - 0"	2' - 10"		
115	Slider	2' - 0"	1' - 0"	5' - 10"	Yes	
116	Slider	2' - 0"	1' - 0"	5' - 10"	Yes	
126	Slider	4' - 11 1/2"	3' - 11 3/4"	3' - 0 1/4"		
128	Slider	4' - 11 1/2"	3' - 11 3/4"	2' - 10 1/4"		
129	Slider	4' - 11 1/2"	3' - 11 3/4"	2' - 10 1/4"		

Level 2						
33	Fixed	3' - 0"	6' - 0"	0' - 10"		
35	Fixed	3' - 0"	5' - 2"	1' - 8"		
36	Fixed	3' - 0"	5' - 2"	1' - 8"		
48	Fixed	3' - 0"	2' - 0"	7' - 3"		
49	Fixed	4' - 6"	2' - 0"	7' - 3"		
51	Fixed	6' - 0"	2' - 0"	7' - 3"		
69	Fixed	2' - 0"	2' - 0"	5' - 0"		
76	Fixed	3' - 0"	6' - 0"	0' - 10"		
77	Fixed	3' - 0"	6' - 0"	0' - 10"		
93	Fixed	4' - 6"	2' - 0"	7' - 3"		
94	Fixed	3' - 0"	6' - 0"	0' - 10"		
97	Fixed	3' - 0"	5' - 2"	1' - 7 15/16"		
98	Fixed	3' - 0"	5' - 2"	1' - 7 15/16"		
99	Fixed	3' - 0"	6' - 0"	0' - 10"		
100	Fixed	3' - 0"	6' - 0"	0' - 10"		
101	Fixed	3' - 0"	2' - 0"	7' - 3"		
102	Fixed	3' - 0"	2' - 0"	7' - 3"		
108	Fixed	2' - 0"	2' - 0"	4' - 10"		
114	Bay Window Casement	7' - 0"	4' - 0"	2' - 6 5/8"		
117	Slider	3' - 0"	1' - 6"	5' - 4"	Yes	
124	Fixed	2' - 0"	2' - 0"	4' - 10"		
127	Slider	2' - 11 1/2"	1' - 11 3/4"	4' - 10 1/4"		

Door Schedule						
Mark	Type -	Width	Height	Sill Height	Tempered Glass -	Comments
Garage						
60	Garage Door	16' - 0"	7' - 0"	0' - 0 1/2"		
73	Full Lite Exterior	3' - 0"	6' - 8"	0' - 0"	Yes	

Level 1						
37	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
39	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
46	Sliding Glass Door	4' - 11"	6' - 10"	0' - 0"	Yes	
49	Interior Double Sliding Doors	5' - 0"	6' - 8"	0' - 0"	Yes	
61	Entry	6' - 0"	7' - 0"	0' - 0"		
74	Interior Double Sliding Doors	4' - 0"	6' - 8"	0' - 0"		
77	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
98	Interior Double Sliding Doors	4' - 0"	6' - 8"	0' - 0"		
99	Interior Double Sliding Doors	4' - 0"	6' - 8"	0' - 0"		
100	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
101	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
102	Sliding Glass Door	4' - 11"	6' - 10"	0' - 0"	Yes	
103		2' - 6"	7' - 0"	0' - 0"		
104	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
105	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
107	Pocket Door	3' - 0"	6' - 8"	0' - 0"		
108	Interior Double Swing Door	4' - 0"	8' - 0"	0' - 0"		
113	Interior Double Sliding Doors	4' - 0"	6' - 8"	0' - 0"		
114	Full Lite Exterior	3' - 0"	6' - 8"	0' - 0"	Yes	
115	Solid Wood Door	0' - 0"	0' - 0"	0' - 0"		
116	Solid Core Door	3' - 0"	6' - 8"	0' - 0"		20 Min Fire Rating
117	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
131	Interior Double Sliding Doors	6' - 0"	6' - 8"	0' - 0"		
133	Interior Double Sliding Doors	6' - 0"	6' - 8"	0' - 0"		
135	Full Lite Exterior	3' - 0"	6' - 8"	0' - 0"		

Level 2						
69	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
71	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
81		2' - 8"	6' - 8"	0' - 0"		
96	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
120	Solid Wood Door	0' - 0"	0' - 0"	0' - 0"		
121	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
122	Door Opening	0' - 0"	0' - 0"	0' - 0"		
124	Hollow Core Door	2' - 6"	6' - 8"	0' - 0"		
125	Hollow Core Door	2' - 8"	7' - 0"	0' - 0"		
126	Sliding Glass Door	5' - 11"	6' - 10"	0' - 0"	Yes	
127	Sliding Glass Door	5' - 11"	6' - 10"	0' - 0"	Yes	
128	Solid Wood Door	0' - 0"	0' - 0"	0' - 0"		
137	Hollow Core Door	2' - 0"	6' - 8"	0' - 0"		
138	Hollow Core Door	2' - 0"	6' - 8"	0' - 0"		

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Door & Window
Schedule

FOR
REVIEW
ONLY

DATE: 3/27/2024

SCALE:

DRAWN: BOON

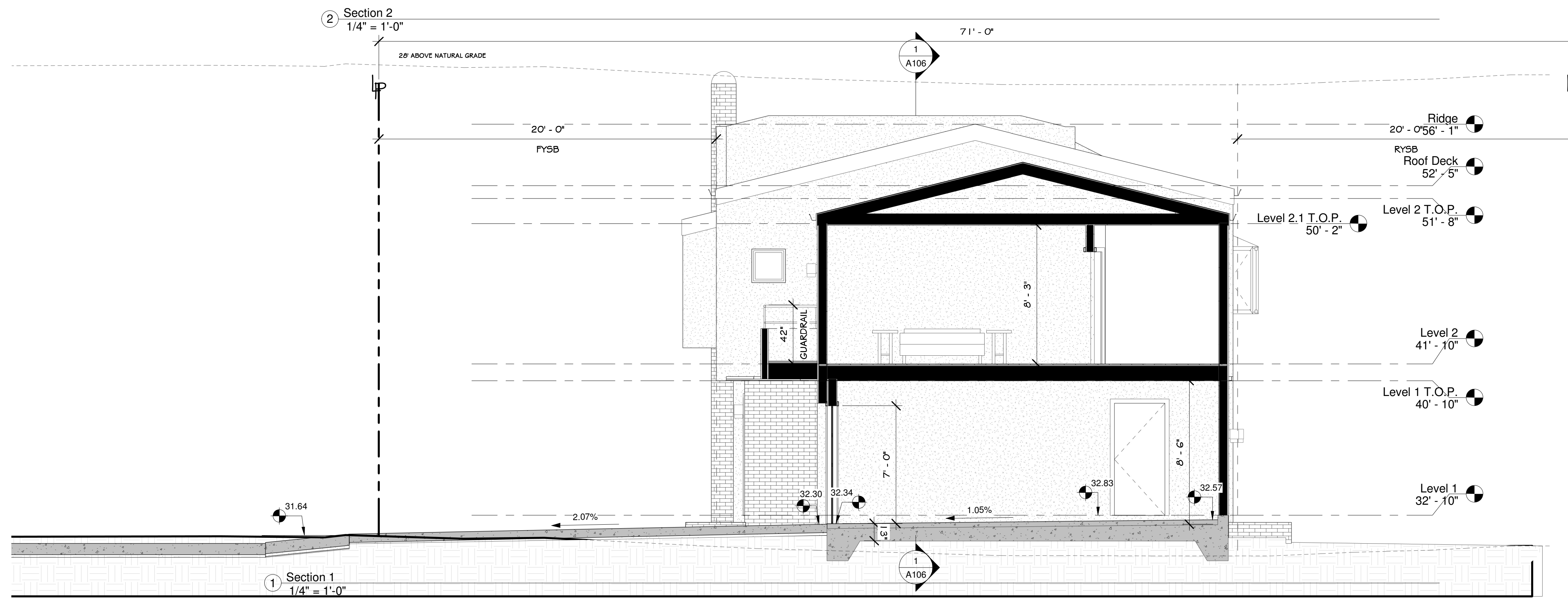
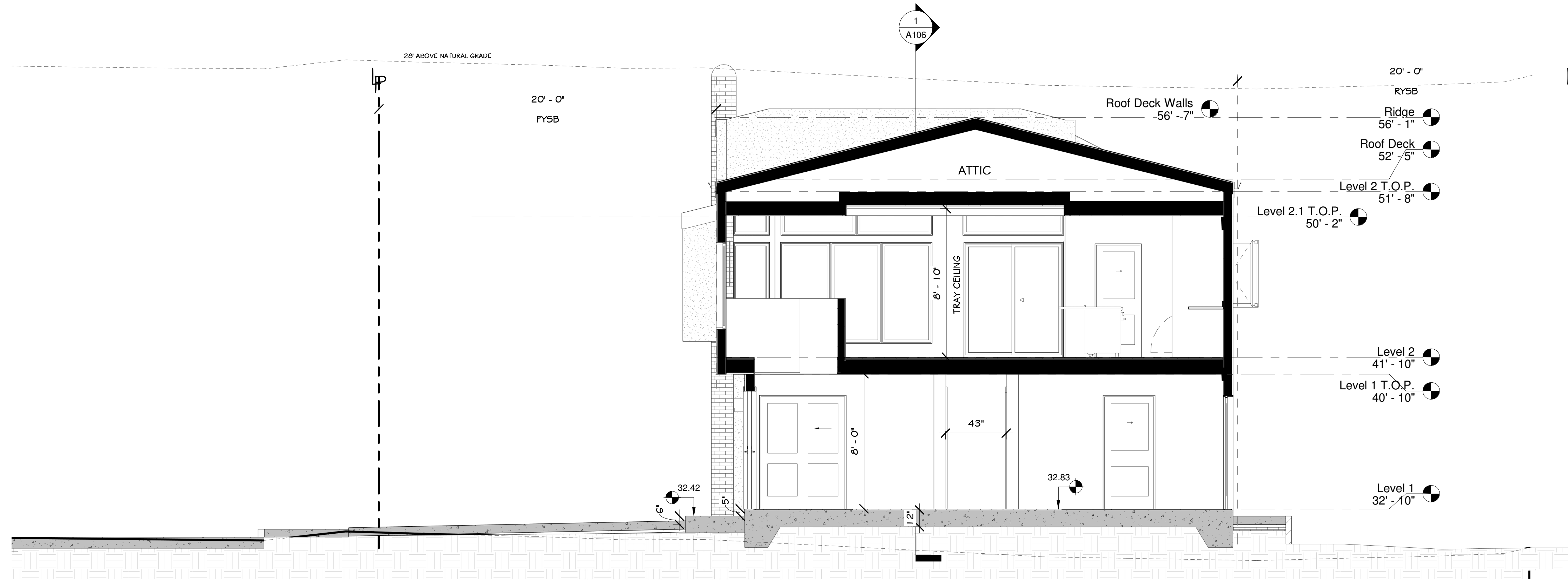
JOB: Mercado

SHEET:

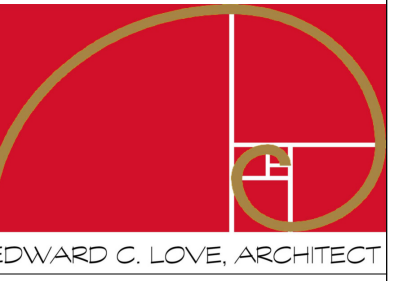
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OF SHEETS

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REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Section

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DATE: 3/27/2024

SCALE: 1/4" = 1'-0"

DRAWN: AKB

JOB: Mercado

SHEET:

A105

OF SHEETS

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Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

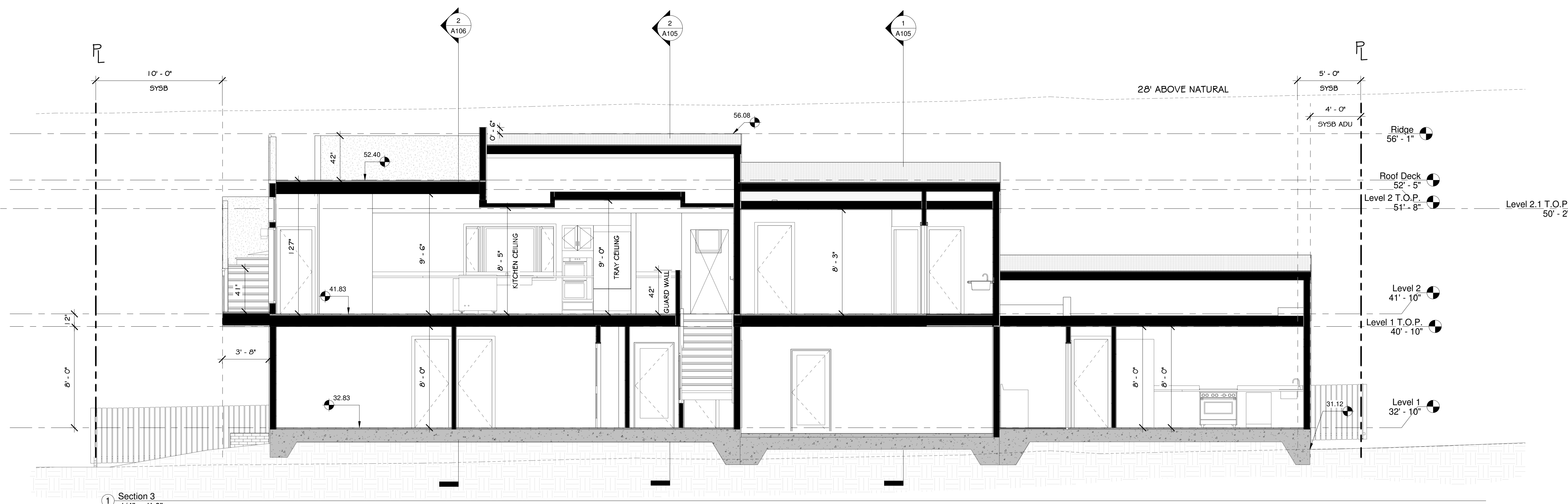
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145 Medio Ave HMB CA 94019

Section

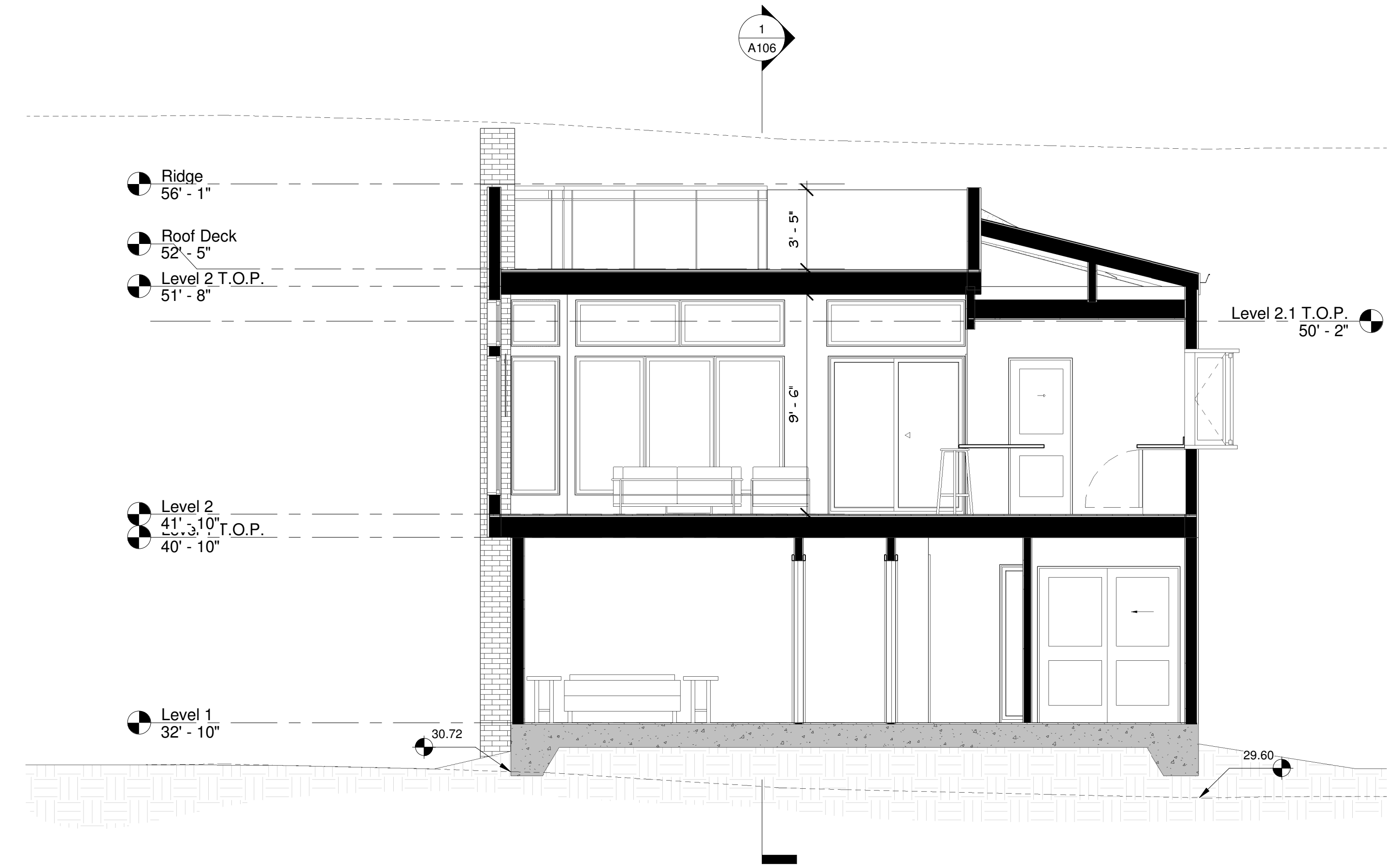
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DATE: 3/27/2024
SCALE: 1/4" = 1'-0"
DRAWN: Author
JOB: Mercado

SHEET:
A106
OF SHEETS



1 Section 3
1/4" = 1'-0"

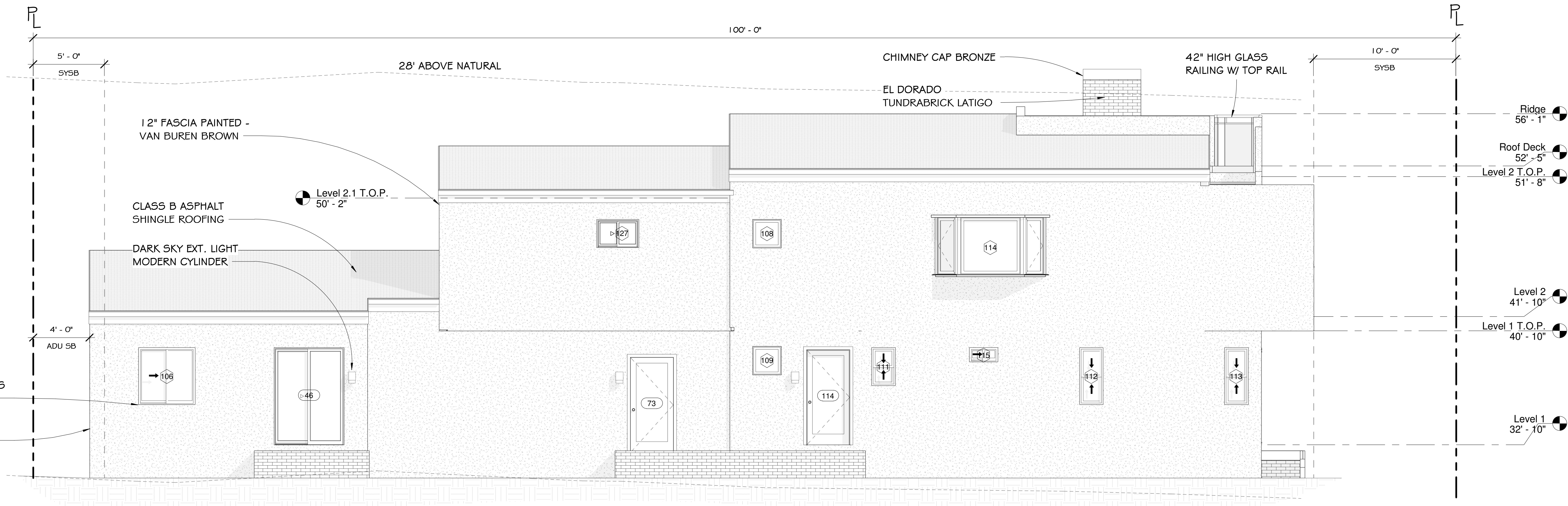


2 Section 4
1/4" = 1'-0"

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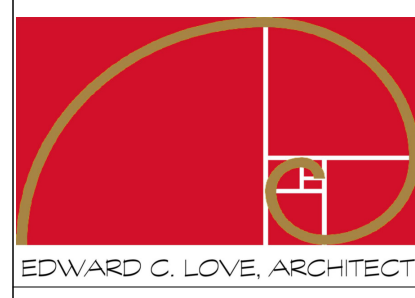
1 South
1/4" = 1'-0"



2 North
1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Elevations

FOR REVIEW ONLY

DATE: 3/27/2024
SCALE: 1/4" = 1'-0"
DRAWN: BOON
JOB: Mercado
SHEET:

A201
OF SHEETS

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Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

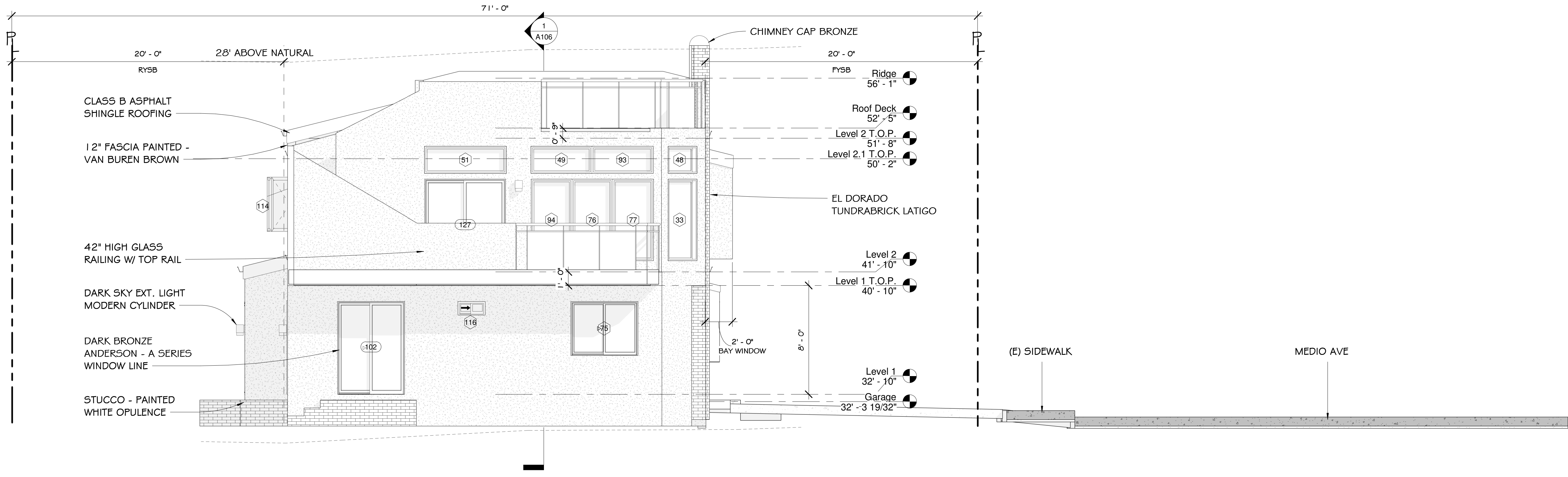
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Javier Mercado
145 Medio Ave HMB CA 94019

Elevations

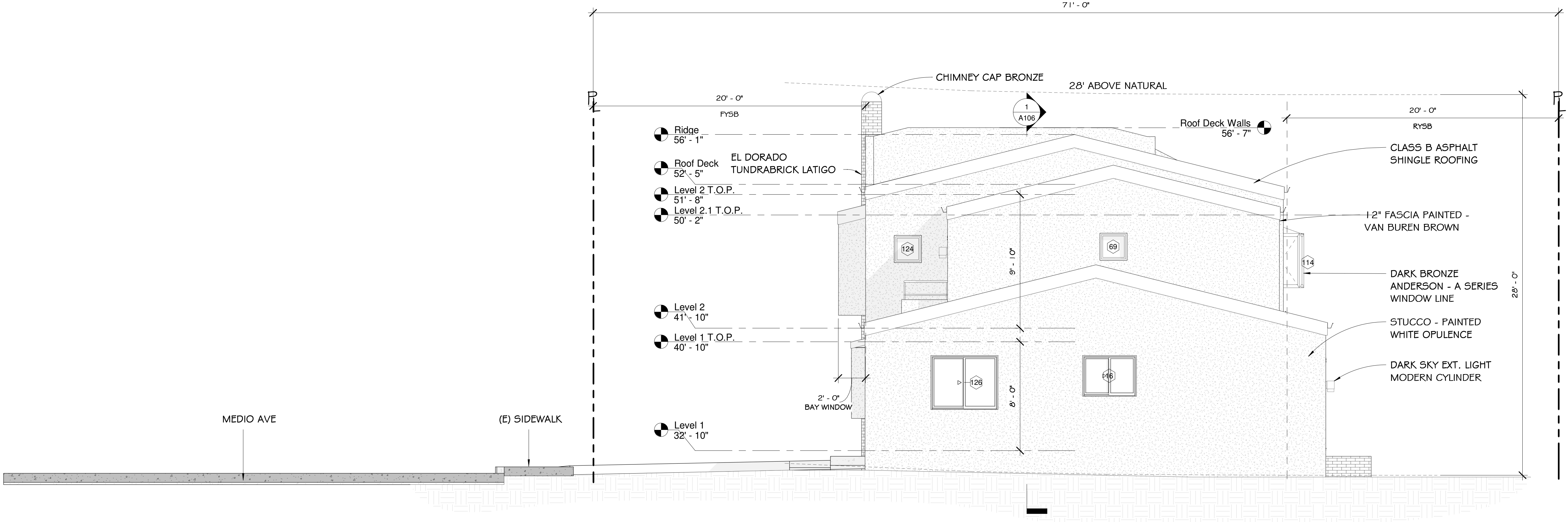
FOR REVIEW ONLY

DATE: 3/27/2024
SCALE: 1/4" = 1'-0"
DRAWN: GMH
JOB: Mercado

SHEET:
A202
OF SHEETS



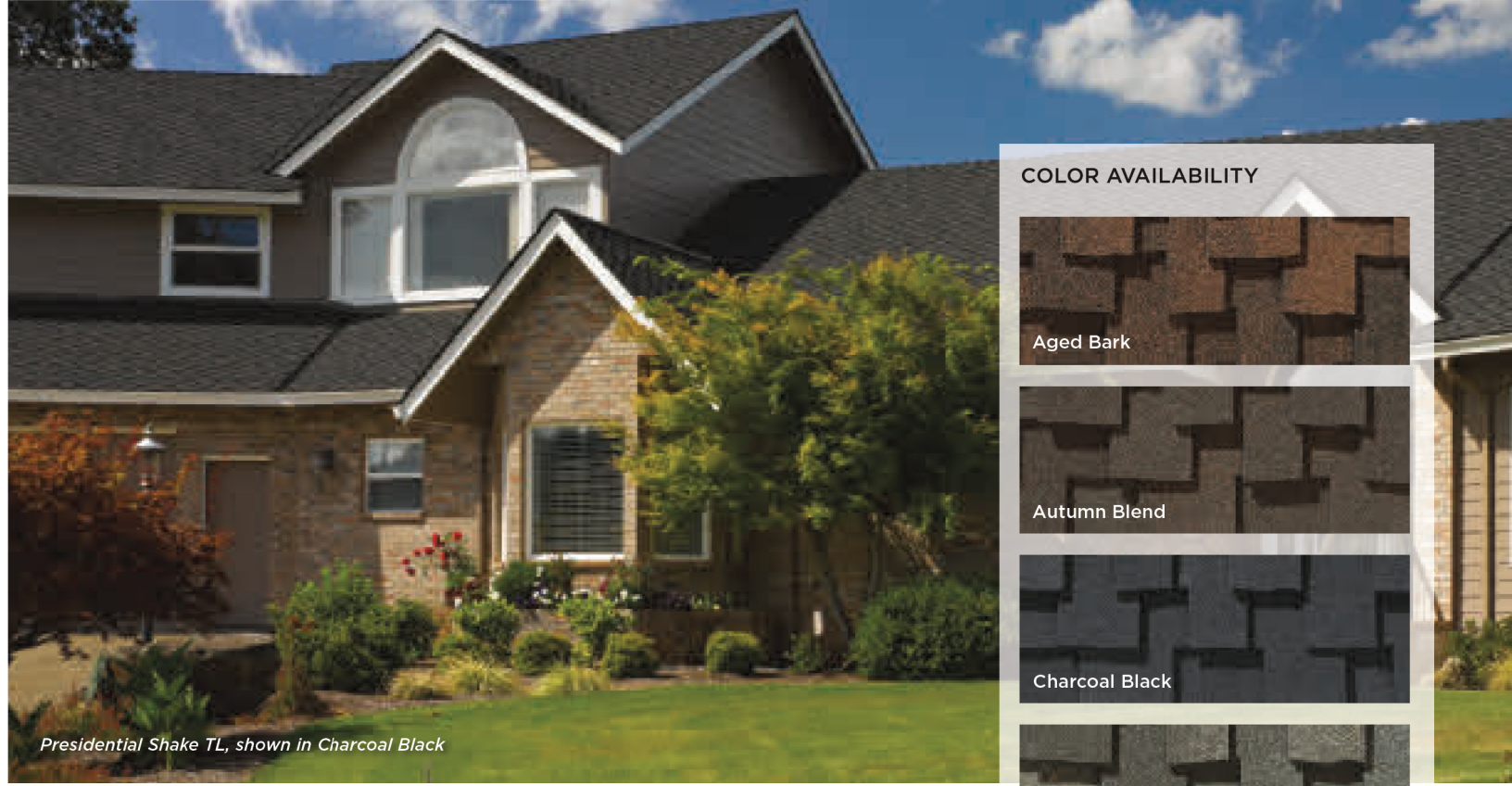
1 West
1/4" = 1'-0"



2 East
1/4" = 1'-0"

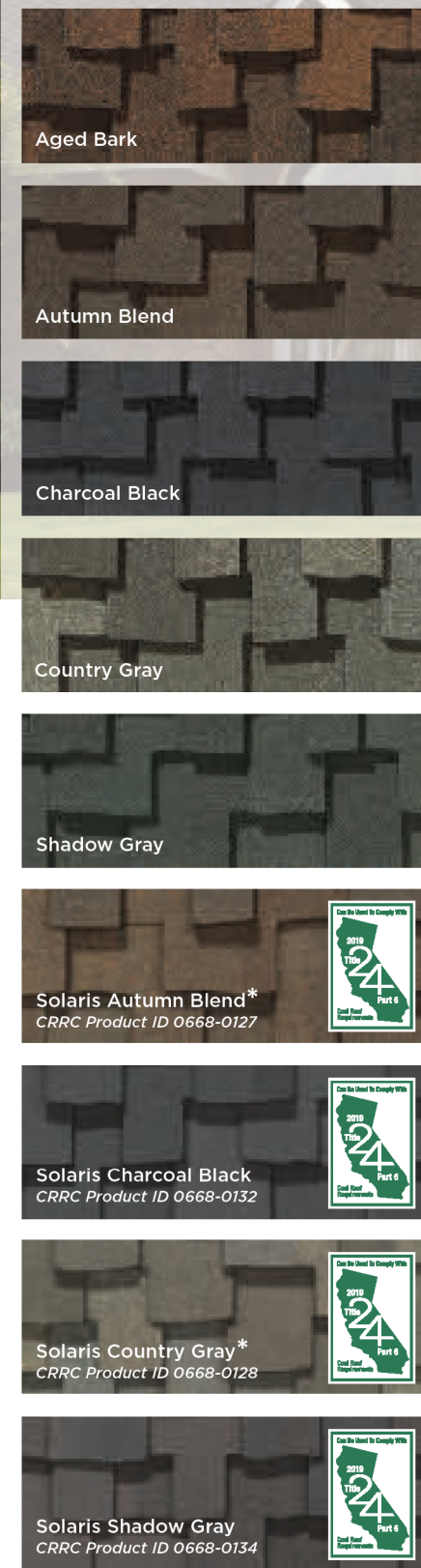
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LUXURY SHINGLES



Presidential Shake TL, shown in Charcoal Black

COLOR AVAILABILITY



PRESIDENTIAL SHAKE® TL

- Three-piece laminated fiberglass construction
- Distinctive sculpted, rustic look
- Lifetime limited transferable warranty - residential*
- 50-year limited transferable warranty - group-owned or commercial*
- 15-year StreakFighter® algae-resistance warranty (where available)
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required
- Presidential Starter (required) and hip and ridge accessory available (see details in back of brochure)
- Select colors can be used to comply with the 2019 California Title 24 Part 6 Cool Roof Requirements
- Colors marked with * can be used to comply with Los Angeles County, California Title 31 cool roof requirements for steep-sloped residential construction.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class A

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance. Please reference www.certainteed.com to determine approved products by manufacturing location.

Quality Standards:

- ICC-ES ESR-1389 & ESR-3537



Product Overview

The outdoor LED wall lantern is uniquely designed with a contemporary feel. Its durable aluminum construction with hand painted black finish and frosted glass gives a sophisticated look.

This uniquely designed fixture is the choice of discriminating yet value conscious homeowners who want to enrich their home.

Darksy certified
Light color is 3000K (bright white)
360 Lumens
80 CRI and uses only 5.5-Watt

Specifications

Dimensions		Product Depth (in.) 5.91		Product Height (in.) 8.01	
		Product Length (in.) 8.01		Product Width (in.) 4.49	
Details		Actual Color Temperature (K) 3000		Color Rendering Index 80	
		Color Temperature Bright White			
Exterior Lighting Product Type		Cylinder Lights		Fixture Color/Finish Black	
Fixture Material		Aluminum		Glass/Lens Type Frosted	
Light Bulb Type Included		Integrated LED		Light Output (lumens) 360	
Maximum Wattage (watts)		0		Number of Bulbs Required 0	
Watt Equivalence		60			
Outdoor Lighting Features		Dark Sky, Weather Resistant, Weather Resistant			
Power Type		Hardwired			
Product Weight (lb.)		2.29lb			
Style		Modern			

* See warranty for specific details and limitations.

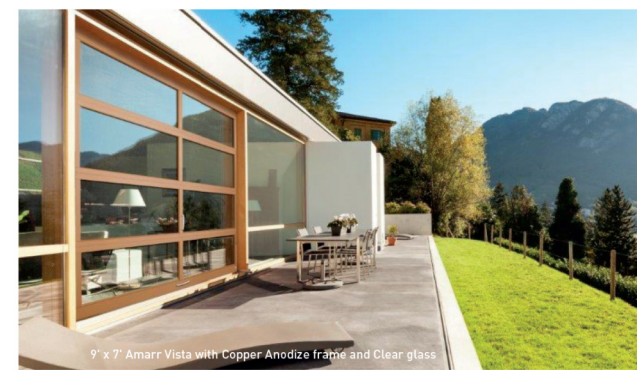
ENTRE/MATIC

Amarr Vista V1000

Contemporary Aluminum Full View Garage Doors



It's the perfect reflection of your style. The modern industrial look goes residential with the introduction of the Amarr Vista collection. From the outside, these sleek doors perfectly mirror the clean lines and glass expanses of your home's contemporary design. Inside, they transform your garage into a bright and inviting room.



PANEL CONFIGURATION

8' x 7' WIDE - 3 Panels	10' WIDE - 3 Panels	12' WIDE - 4 Panels	14' WIDE - 5 Panels
-------------------------	---------------------	---------------------	---------------------



Amarr Vista

Construction

- An Amarr Vista V1000 full view door offers strength and beauty to match the stylish design of your home.
- 2" thick extruded commercial-grade aluminum frame provides durability, low maintenance and corrosion resistance
- Tongue and groove section joint with new leading edge gasket seal and the bottom weather seal improve air and water infiltration performance.
- ClearView Aluminum Strut System does not restrict viewing area and adds strength and durability to doors 16 to 24' wide
- Wind load options to meet local building codes
- Attractive, modern exterior handles (2) included
- Available in 1" width increments up to 24'

Specifications

AMARR VISTA V1000	
FRAME CONSTRUCTION	2" Thick Aluminum
SECTION HEIGHTS	21" and 24", 18" for odd height doors
WIND LOAD AVAILABLE	•
FINISH WARRANTY*	5 Years
WORKMANSHIP WARRANTY*	5 Years
HARDWARE WARRANTY	5 Years

Glass

TRANSPARENT	GLASS	INSULATED LOW-E
INDUSTRIAL	GREEN	BRONZE
	GRAY	GREYLITE
INT	FROST	SNOW
	WHITEOUT*	BLACK ICE*
STANDARD		

Glazing Options

	SINGLE FRAME				DUAL FRAME				SINGLE FRAME			
	Annealed	Tempered	Laminated	Polycarbonate	Annealed	Tempered	Laminated	Polycarbonate	Annealed	Tempered	Laminated	Polycarbonate
CLEAR	+	+	+	+	+	+	+	+	+	+	+	+
OBSCURE	+	+	+	+	+	+	+	+	+	+	+	+
GREEN TINT	+	+	+	+	+	+	+	+	+	+	+	+
BRONZE TINT	+	+	+	+	+	+	+	+	+	+	+	+
GRAY TINT	+	+	+	+	+	+	+	+	+	+	+	+
GREYLITE	+	+	+	+	+	+	+	+	+	+	+	+
FROST	+	+	+	+	+	+	+	+	+	+	+	+
SNOW	+	+	+	+	+	+	+	+	+	+	+	+
WHITEOUT	+	+	+	+	+	+	+	+	+	+	+	+
BLACK ICE	+	+	+	+	+	+	+	+	+	+	+	+

ENTRE/MATIC
Extramatric
1301 Carriage Court
Winston-Salem, NC 27105
800.563.0200
www.amarr.com

Colors

Actual color may vary from samples shown.

IN STOCK

ANODIZED: CLEAR ANE, DARK BRONZE MET, BLACK BAK, WHITE Powder Coat BAK

PAINT: WHITE Powder Coat BAK

SPECIAL ORDER

ANODIZED: Charcoal (AK), Copper (AK), Medium Bronze (AK)

PAINT: PPG (Hydramit & Powder Coat)

Longer lead time and price upcharge apply.

WHITE (P), BONE WHITE, IVORY, SANDSTONE, BURNING SUN, TERRA NOVA, BEIGE

LONGER LEAD TIME

Light (L), Dark (D), SLATE (S), CHARCOAL (C), PISTACHIO (P), DARK (D)

MILK CHOCOLATE, BURGUNDY, COLONIAL RED, ROSEBERRY, SAGE BROWN, SMOKE BLACK

CLASSIC COPPER, PPG (Hydramit & Powder Coat), PPG (Hydramit & Powder Coat), PPG (Hydramit & Powder Coat)

FADE RESISTANT: ++, +, -

CORROSION RESISTANT: ++, +, -

UV RESISTANT: ++, +, -

ABRASION RESISTANT: ++, +, -

STANDARD COLORS: 26, 21

RAL & CUSTOM PAINT FINISH COLORS AVAILABLE (Larger lead time and price upcharge apply)

TOUCH-UP PAINT: Included, NOT INCLUDED

Optional Panels

ALUMINUM & INSULATED ALUMINUM, PERFORATED ALUMINUM, LOUVERED ALUMINUM

Shown in Clear Anodize. 0.375" glass performance on 1" centers. Also available in 1/2" centers.

6 columns of 1/2" x 10" louvers. 4" x 12" panel. Shown in White Powder Coat.

Optional Panels

	ALUMINUM & INSULATED ALUMINUM				PERFORATED ALUMINUM				LOUVERED ALUMINUM			
	1/2"	1"	1 1/2"	2"	1/2"	1"	1 1/2"	2"	1/2"	1"	1 1/2"	2"
CLEAR	+	+	+	+	+	+	+	+	+	+	+	+
OBSCURE	+	+	+	+	+	+	+	+	+	+	+	+
GREEN TINT	+	+	+	+	+	+	+	+	+	+	+	+
BRONZE TINT	+	+	+	+	+	+	+	+	+	+	+	+
GRAY TINT	+	+	+	+	+	+	+	+	+	+	+	+
GREYLITE	+	+	+	+	+	+	+	+	+	+	+	+
FROST	+	+	+	+	+	+	+	+	+	+	+	+
SNOW	+	+	+	+	+	+	+	+	+	+	+	+
WHITEOUT	+	+	+	+	+	+	+	+	+	+	+	+
BLACK ICE	+	+	+	+	+	+	+	+	+	+	+	+

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REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Spec Sheets



DATE: 3/27/2024

SCALE:

DRAWN: GMH

JOB: Mercado

SHEET:

A501

OF SHEETS

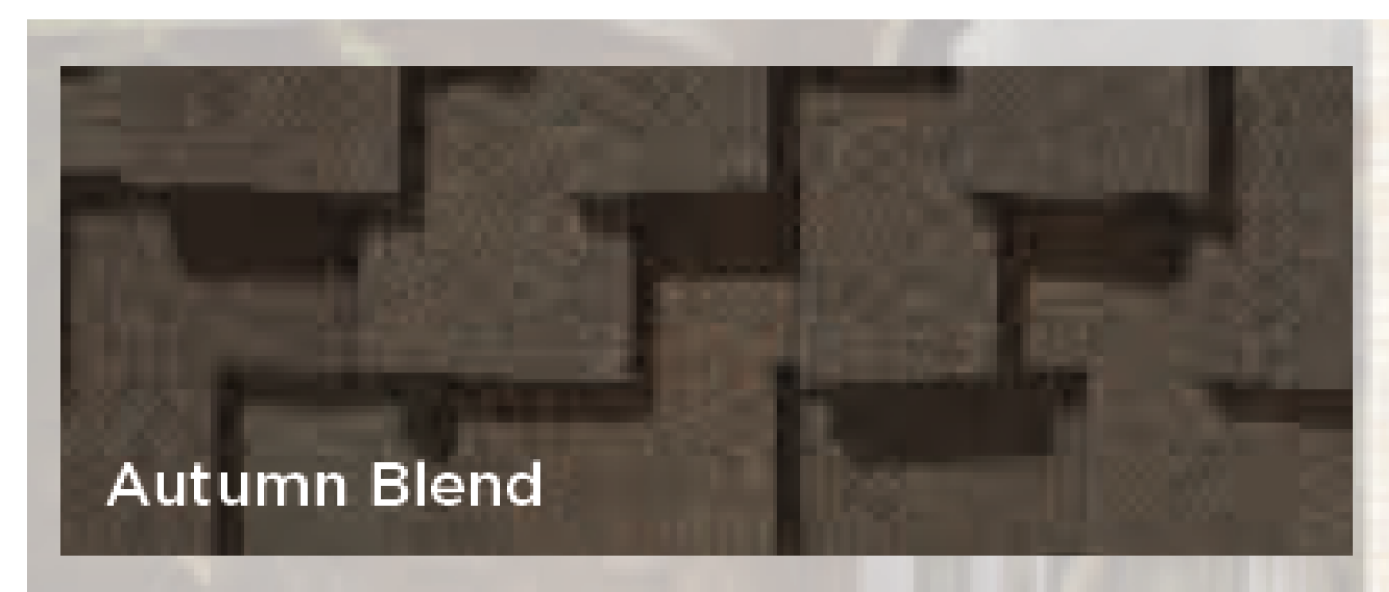
SEE STRUCTURAL PLANS FOR MATERIALS, DIMENSIONS & DETAILS



① Material Sheet
1/4" = 1'-0"



EL DORADO BRICK -
LATIGO



CERTAIN TEED SAINT-GOBAIN
LUXURY SHINGLES - PRESIDENTIAL
SHAKE TL AUTUMN BLEND



BENJAMIN MOORE
STUCCO PAINTED
WHITE OPULENCE OC-69



BENJAMIN MOORE
STUCCO PAINTED
VAN BUREN BROWN HC-70

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Material Sheet

FOR
REVIEW
ONLY

DATE: 3/27/2024

SCALE: 1/4" = 1'-0"

DRAWN: AKB

JOB: Mercado

SHEET:

A502

OF SHEETS

REVISIONS

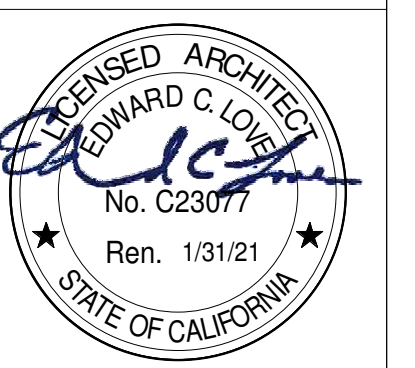


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(650) 728-7615
edwardclovearch@gmail.com

New Residence
Javier Mercado
145 Medio Ave HMB CA 94019

Landscape Plan



DATE: 3/27/2024
SCALE: As indicated
DRAWN: Author
JOB: Mercado
SHEET:
L101
OF SHEETS

MWEL Applicant: Jerry Alan Whiting
FLORA FARM
340 PURISSIMA ST
HALF MOON BAY, CA 94019
LIC: #549103
650-678-5801
florafarmhmb@yahoo.com

PROJECT: JAVIER MERCADO
MEDIO AVE, HALF MOON
BAY, CA
NEW 5FD

THIS PROJECT DOES INCORPORATE LANDSCAPING EQUAL TO OR LESS THAN 2500 SQFT. AND WILL BE USING THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPES PROJECT.

TOTAL AREA: 2,250 SQFT
TURF AREA: NA
WATER TYPE: POTABLE
NAME OF WATER PURVEYOR: CCWD

I CERTIFY THE ABOVE INFORMATION IS CORRECT AND AGREE TO COMPLY WITH THE REQUIREMENTS OF MWEL.

SIGNATURE: *J. Whiting* DATE: 2/29/2024

MWEL Applicant
1/4" = 1'-0"

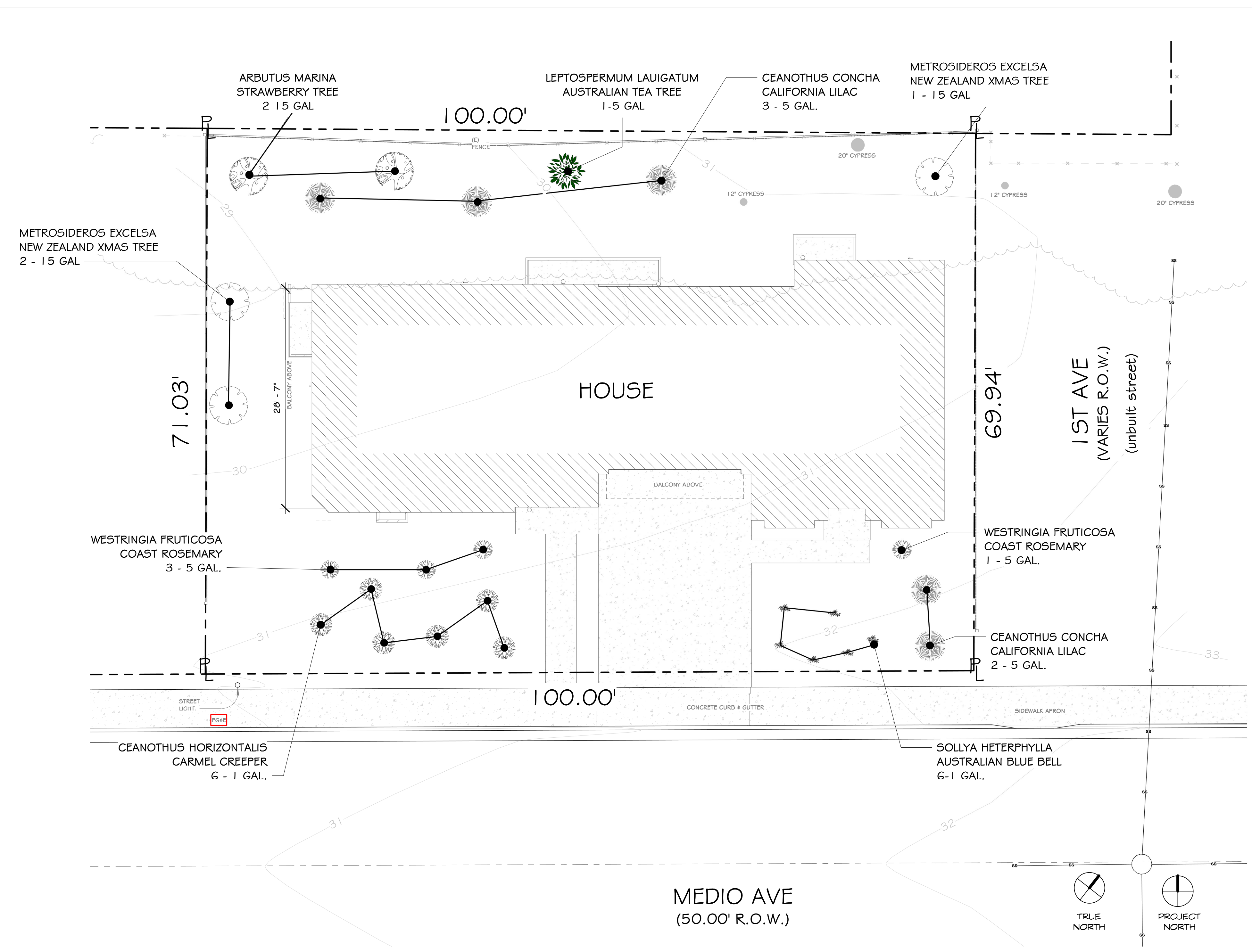
PLANTING NOTES

1. INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUFT PER 1000 SQFT TO DEPTH OF 6" INTO THE LANDSCAPE AREA
2. A MINIMUM OF A 3" LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SURFACES OF PLANTING, EXCEPT IN AREAS OF CREEPING GROUND COVER.
3. ALL PLANTING WILL BE HAND WATERED

I AGREE TO COMPLY WITH THE REQUIREMENTS OF PRESCRIPTIVE COMPLIANCE OPTION OF MWEL PER APPENDIX D

SIGNATURE: *J. Whiting* DATE: 2/29/2024

Planting Notes
1/4" = 1'-0"



Landscape Plan
1/8" = 1'-0"

BOTINICAL NAME	COMMON NAME	QTY.	SIZE	TYPE	WI
ARBUTUS MARINA	STRAWBERRY TREE	3	15 GAL	TREE	L
METROSIDEROS EXCELSA	NEW ZEALAND XMAS TREE	3	15 GAL	TREE	L
CEANOTHUS HORIZONTALIS	CARMEL CREEPER	6	1 GAL	GR. COVER	L
WESTRINGIA FRUTICOSA	COAST ROSEMARY	4	5 GAL	SHRUB	L
LEPTOSPERMUM LAUIGATUM	AUSTRALIAN TEA TREE	1	5 GAL	SHRUB	L
SOLLYA HETEROPHYLLA	AUSTRALIAN BLUE BELL	6	1 GAL	GR. COVER	L
CEANOTHUS CONCHA	CALIFORNIA LILAC	6	5 GAL	SHRUB	L

Plant List
1/4" = 1'-0"

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