



County of San Mateo Planning & Building Department

Agricultural Advisory Committee

Virginia Bolshakova Brenda Bonner
BJ Burns Robert Cevasco Fred Crowder
Louie Figone William Gass Jim Howard
Teresa Kurtak Peter Marchi Doniga Markegard
Robert Marsh Steven Rosen April Vargas

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161
Fax: 650/363-4849

MEETING PACKET

Date: Monday, April 14, 2014
Time: 7:30 p.m.
Place: San Mateo County Farm Bureau Office
765 Main Street, Half Moon Bay, California

AGENDA

1. **Call to Order**
2. **Member Roll Call**
3. **Guest Roll Call**
4. **Action Item:** Consideration of an application for an Agritourism Event at 185 Verde Road. The event will be held on June 21st, 2014. It will entail a charity bicycle ride that begins and ends at the farm, one food truck, and parking. **3**
5. **Action Item:** Consideration of a Coastal Development Permit, a Planned Agricultural Permit, and a Grading Permit for additions to an existing organized camp facility that include one ADA bathroom (300 sq. ft.); five tent platforms (364 sq. ft. each); one open cooking shelter (385 sq. ft.); one camping dormitory (2,031 sq. ft.); and demolition of one camping dormitory (2,536 sq. ft.); along with the construction of a 280-linear ft. debris flow wall ranging in height from 6-8 ft.; 709 cubic yards of grading; 20,000 sq. ft. of land clearing; removal of 19 significant sized trees; expansion of the septic system and fire access improvements located at 1400 Canyon Road in the unincorporated Pescadero area of San Mateo County. The project is appealable to the California Coastal Commission. **8**
6. Consideration of the Action Minutes for the November 12, 2013, regular meeting **47**
7. Public Announcements/Comments
8. **Adjournment**

Agricultural Advisory Committee meetings are accessible to people with disabilities. Individuals who need special assistance or a disability-related modification or accommodation (including auxiliary aids or services) to participate in this meeting; or who have a disability and wish to request an alternative format for the agenda, meeting notice, agenda packet or other writings that may be distributed at the meeting, should contact the County Representative at least five (5) working days before the meeting at (650) 363-1814, or by fax at (650) 363-4849, or e-mail srosen@co.sanmateo.ca.us. Notification in advance of the meeting will enable the Committee to make reasonable arrangements to ensure accessibility to this meeting and the materials related to it.

ROLL SHEET – April 14, 2014

Agricultural Advisory Committee Attendance 2013-2014

	2013									2014			
	Apr	May	June	July	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr
VOTING MEMBERS													
Brenda Bonner	M	E	X	X	X	M	X	X	M	M	M	M	
BJ Burns	E	X	X	X	X	E	X	X	E	E	E	E	
Robert Cevasco	E			X	E	E		X	E	E	E	E	
Louie Figone	T	X	X	X	X	T	X	X	T	T	T	T	
Marilyn Johnson	I			X	X	I	X		I	I	I	I	
Teresa Kurtak	N	X	E		X	N			N	N	N	N	
Peter Marchi	G	X	X	X	X	G	X	X	G	G	G	G	
Doniga Markegard		X	X		X		X						
Robert Marsh	C	X	X	X	X	C	X	X	C	C	C	C	
April Vargas	A	X	X	X	X	A	X		A	A	A	A	
Vacant	N					N			N	N	N	N	
Natural Resource Conservation Staff	C					C			C	C	C	C	
San Mateo County Agricultural Commissioner	E	X	X	X	X	E	X	X	E	E	E	E	
Farm Bureau Executive Director	L	X	X	E	X	L	X	X	L	L	L	L	
San Mateo County Planning Staff	E	X	X	X	X	E	X	X	E	E	E	E	
UC Co-Op Extension Representative	D					D		X	D	D	D	D	

San Mateo County Environmental Services Agency
Planning and Building Department

Application for Agritourism Event

455 County Center, 2nd Floor
Redwood City, CA 94063 • Mail Drop PLN 122
Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form, Environmental Information Form, and this form when applying for a Agritourism use.

2. Project Information

Parcel/Lot Size: 8.3 ACRES

If less than 40 Acres, project not to exceed 1 gross Acre)
If more than 40 Acres project not to exceed 2 gross Acres)

We will be using a str. of an acre

Please describe all elements and activities associated with your agritourism activities:

Cycle For Life is a bicycle ride that departs from the Arata Pumpkin Farm at 185 VERDE ROAD. Cyclists enjoy routes that feature coastal riding as well as back country riding next to the beautiful farms of Half Moon Bay and Pescadero. Riders are educated at the ride and in pre-ride communications about Half Moon Bay's Agricultural history and economy.

Please describe hours, number of employees and statement of conformance with agritourism guidelines:

Cycle For Life will start with Registration at 7:00 AM and will start the ride at 8. Riders will leave the Farm at 9 and return between 11:00 AM and 4:00 PM. The Cystic Fibrosis Foundation will have 4-6 employees on site. No agricultural land will be used as event space. The Arata Pumpkin Farm will be displaying in season fruits and sampling them for cyclists.

Please describe the agricultural uses on the land:

~~land occupied~~ is parking lot and non-agricultural land (selling area).

Applicant's Name: Cystic Fibrosis Foundation
Address: 455 MARKET STREET
SAN FRANCISCO, CA 94105

3. Site Description

Please describe any on-site parking areas:

Parking will be in designated non-agricultural areas that the Arata Pumpkin Farm maintains for an event held for pumpkin season

Please describe any on-site eating establishments:

~~Arata~~ Sam's Chewler Mobile is a mobile truck that will be providing food for the event. It will be parked on non-agricultural land.

4. Qualification Requirements

Please initial next to the category which qualifies your project for an agritourism use.

- Event will not occur for more than 45 days.
- Total acreage does not exceed one gross acre.
- Total acreage does not exceed two gross acres.
- Does not interfere with agricultural uses of the land.

5. Williamson Act Contract

Is the parcel currently under a Williamson Act Contract?

YES NO

If Yes, please provide contract number:

AP67-39

6. Materials Required

- a. Three (3) sets of plans that include a scaled site plan, elevations, and floor plans
 - b. One (1) set of reduced plans (8 1/2" x 11" or 11" x 17")
 - c. All applicable applications forms
 - d. Environmental Information Form
 - e. Photographs (if requested)
 - f. Fees as set by Resolution of the Board of Supervisors
- Additional Information may be required during review of your application.

7. Approval

Planner: _____

Date: _____

8. Processing

- Fee Collected
- Referral to Agricultural Advisory Committee
- Update Permit Plan

9. Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's Signature (1):

[Signature]

Owner's Signature (2):

[Signature]

Applicant's Signature:

[Signature]

Lauren Bedenbaugh

Senior Operations Coordinator

on behalf of Cystic Fibrosis Foundation.

County of San Mateo

Planning and Building Department

Environmental Information Disclosure Form

PLN _____
 BLD _____

* Project Address: 185 VERDE RD.
HALF MOON BAY, CA

Assessor's Parcel No.: _____

* Zoning District: Ag Land

Name of Owner: Chris Gounalakis
 Address: 185 Verde rd. Half Moon Bay
Ca 94019 Phone: 650-726-7548
 Name of Applicant: Cystic Fibrosis Foundation
 Address: 455 MARKET STREET
San Francisco, Ca Phone: 415-989-6500
94105

Existing Site Conditions

Parcel size: 8.3 ACRES

* Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).
Home Barn sheds, Corrals, & Ag. Crops in fields.

Environmental Review Checklist

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: _____ c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

National Wetlands and Riparian Area Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

Nonpoint Pollution Discharge Mitigation System (NPDES) Review		
Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Land disturbance of 1 acre or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.

Signed: Lauren Bedenbaugh Date: 3/20/14
 (Applicant may sign) Lauren Bedenbaugh
 Senior Operations Coordinator
 on behalf of Cystic Fibrosis Foundation.

San Mateo County
Planning and Building Department
 425 County Center, 2nd Floor • Redwood City, CA 94063
 Mail Drop #1122 • TEL: (650) 363-4161 • FAX: (650) 363-4899
 www.sanmateocalifornia.gov/planning

Planning Permit Application Form

PLAN: _____
 BLD: _____

Applicant/Owner Information

Applicant: Cystic Fibrosis Foundation
 Mailing Address: 455 MARKET STREET SAN FRANCISCO, CA
94105 Zip: 94105
 Phone, W: 415-999-6500 # 661-7035161
 Email Address: sfostecff.org FAX: 415-999-6501

Name of Owner (I): <u>Chris Goumalakis</u>	Name of Owner (2): _____
Mailing Address: <u>185 Verde rd Half Moon Bay CA 94019</u>	Mailing Address: _____
Phone, W: <u>650-255-6789</u>	Phone, W: _____
H: <u>650-726-7548</u>	H: _____
Email Address: _____	Email Address: _____

Project Information

Project Location (address): 185 VERDE ROAD HALF MOON BAY CA

Assessor's Parcel Number: _____

Parcel/lot size: _____ SF (Gross Area)

List all elements of proposed project (e.g., access, site and location, primary and accessory structures, well, septic tank)

.25' of an acre will be used as a start/finish location for a bicycle ride. Riders will arrive at the farm at 7:00 AM and leave for ride at 8:00 AM. They will return between 11:00 AM and 4:00 PM.

Describe Existing Site Conditions/Features (e.g., topography, water bodies, vegetation): Crops in field and soon to plant Pumpkins & Corn Patch.

Describe Existing Structures and/or Development: Barn, House, Cows, Sheds

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: MCG

Applicant's signature: Lauren Bedenbaugh
 Lauren Bedenbaugh
 Senior Operations Coordinator
 on behalf of Cystic Fibrosis Foundation.

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 14, 2014

TO: Agricultural Advisory Committee

FROM: Summer Burlison, Project Planner

SUBJECT: Consideration of a Coastal Development Permit and Planned Agricultural Permit, pursuant to Sections 6328.4 and 6353, respectively, of the County Zoning Regulations, and a Grading Permit, pursuant to Section 8600 of the County Ordinance Code, for additions to an existing organized camp facility that include one (1) ADA bathroom (300 sq. ft.); five (5) tent platforms (364 sq. ft. each); one (1) open cooking shelter (385 sq. ft.); one (1) camping dormitory (2,031 sq. ft.); and demolition of one camping dormitory (2,536 sq. ft.), along with the construction of a 280-linear ft. debris flow wall ranging in height from 6-8 ft.; 709 cubic yards of grading; 20,000 sq. ft. of land clearing; removal of 19 significant sized trees; expansion of the septic system and fire access improvements located at 1400 Canyon Road in the unincorporated Pescadero area of San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN 1999-00105 (Girl Scouts of Northern California)

PROPOSAL

The applicant has applied for a Coastal Development Permit (CDP), Planned Agricultural Permit, and Grading Permit for modifications to the "North Commons" area of an existing organized Girl Scouts camp facility located at 1400 Canyon Road in unincorporated Pescadero. Proposed modifications include the construction of a freestanding one-story accessible bathroom (300 sq. ft.); five (5) one-story tent platforms (364 sq. ft. each, two of which are disabled accessible); a one-story accessible open cooking shelter (385 sq. ft.); and a one-story accessible camping dormitory with nurse's office and small sleeping mezzanine (2,031 sq. ft.) connected by new decking to an existing dining hall. The project also includes the demolition of one camping dormitory (2,536 sq. ft.), along with the construction of a 280-linear ft. wood lagging with steel post debris flow wall ranging in height from 6-8 ft., a total of 709 cubic yards (cy) of grading (including 645 cy of cut and 64 cy of fill), 20,000 sq. ft. of land clearing, the removal of 19 significant sized trees (i.e., 55-inch circumference or greater at 4.5 ft. above ground) to accommodate the debris flow wall, expansion of the septic system, fire access and parking area improvements, and associated concrete and wood walkways. Additionally, the planting of native plant species and 19 Coast redwood trees are proposed within the North Commons area.

DECISION MAKER

Planning Commission

QUESTIONS FOR THE AGRICULTURAL ADVISORY COMMITTEE

1. Will the proposal have any negative effect on surrounding agricultural uses? If so, can any conditions of approval be recommended to minimize any such impacts?
2. What position do you recommend that the Planning Department staff take with respect to the applications for this project?

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner, 650/363-1815

Location: 1400 Canyon Road, Pescadero

APNs: 089-120-110 and 089-120-120

Existing Zoning: PAD/CD (Planned Agricultural District/Coastal Development)

General Plan Designation: Agriculture

Existing Land Use: Butano Creek Girl Scouts Camp

Setting: The Butano Creek Girl Scouts Camp is located on a 142-acre property in the wooded foothills of the Santa Cruz Mountains, south of the town of Pescadero and just north of Butano State Park. The paved access road, Canyon Road, traverses east from Cloverdale Road through medium to steep forested terrain and continues through the project property, turning into a private road at the Butano Falls (residential) subdivision. Butano Creek runs roughly parallel to Canyon Road on the north side.

County permit records show the Butano Creek Girl Scouts camp was established at the subject property around 1956. The current camp covers approximately 2 of the 142-acres and is organized into two clusters of camping facilities called the South Commons and North Commons; these two areas are connected by hiking trails with some smaller camping facilities located in between. The proposed project is located in the North Commons area of the camp.

According to a recent Biological Resources Reconnaissance Report by Zander Associates, dated January 6, 2014, the North Commons area of the camp is situated within a disturbed redwood forest characterized by roads, trails, buildings, and other features, associated with camp activities. Zander Associates cites "Second growth and younger coast redwood trees (*Sequoia sempervirens*) and some tan oak

(*Notholithocarpus densiflorus*) form a relatively open canopy, but very little native understory vegetation remains in the active camp areas. As a result of ground disturbance and long established camp use of the area, non-native, invasive plants including English ivy (*Hedera helix*), French broom (*Genista monspessulana*) and Pampas grass (*Cortaderia sp.*) have colonized parts of the site.”

Environmental Evaluation: A Mitigated Negative Declaration will be published for review prior to the Planning Commission public hearing on this project.

Williamson Act: The project property is not subject to a Williamson Act contract.

Will the project be visible from a public road?

Although the surrounding dense forest and sloped topography provide significant natural screening of the camp facilities from Canyon Road (a paved public road running through the property), elements of the proposed project will be visible from Canyon Road through the existing tree canopy. No trees along or between Canyon Road and the project are proposed for removal. Furthermore, the proposed structures are designed to blend in with the surrounding natural forest setting and existing structures in the North Commons area, including architectural design, materials, and colors. The proposed structures will include earth-toned fiber cement board and batten siding and composition shingle roofing to match the existing structures, and all proposed decks, stairs, and retaining walls will have a natural wood finish. Furthermore, 19 Coast redwoods will be planted throughout the North Commons area to offset the tree removal necessary to accommodate the proposed debris flow wall.

Will any habitat or vegetation need to be removed for the project?

On-site vegetation in the North Commons area primarily consists of disturbed, non-native, invasive understory vegetation as a result of past ground disturbance and long established camp use of the area. The project, particularly the proposed debris flow wall, will require grading and land clearing east of the proposed common lodge (at existing dining hall) to accommodate the wall and to create a swale to direct seasonal runoff. The proposed clearing and grading will result in the removal of 29 Coast redwood trees (ranging in size from 4.5” to 44” dbh), 19 of which are considered significant sized trees (17.5” dbh) where removal is regulated by the County. According to Zander Associates, the project area is very near the designated critical habitat boundaries for the marbled murrelet; therefore, each tree with a diameter greater than 10-inches proposed for removal was evaluated and determined to have no potential to support nesting habitat for marbled murrelet.

Furthermore, the project site is located within a designated critical habitat for the California red-legged frog (*Rana draytonii*). However, based on reconnaissance, Zander Associates has determined that there is no suitable habitat in the project area for special status species known to occur in the vicinity and that there is no anticipated

adverse effects on wildlife movement corridors, nursery sites or critical habitat for the red-legged frog.

The project includes native plantings on the west side of the debris flow wall and the planting of 19 Coast redwood trees between Canyon Road and the debris flow wall to offset the 19 significant sized Coast redwood trees being removed. Furthermore, the project will be properly mitigated to ensure minimal impacts to any habitat and/or vegetation identified within the Biological Resources Reconnaissance Report prepared by Zander Associates.

Is there prime soil on the project site?

A small area of the 142-acre property contains prime soils; however, the mapped prime soils are located almost 3/10 mile from the project area (North Commons area); see Attachment B.

DISCUSSION

A. KEY ISSUES

Planning staff has reviewed this proposal and has concluded the following:

1. Compliance with Planned Agricultural District (PAD) Regulations

Substantive Criteria for the Issuance of a PAD Permit

The proposed project is located on Other Lands (i.e., any portion of a parcel in the Planned Agricultural District which does not meet the definition of Prime Agricultural Land or Lands Suitable for Agriculture) as designated by the County General Plan and is not located on or near prime soils. According to the PAD regulations, public recreation is a permitted use on Other Lands subject to the issuance of a PAD permit.

Therefore, the project must comply with the applicable criteria for issuance of a PAD Permit, as well as the criteria for the conversion of lands suitable for agriculture and other land, including the following: (1) the project will minimize development on land which is suitable for agricultural use, (2) the project will cluster development, (3) there is existing availability of an adequate and potable well water source, (4) continued or renewed agricultural use of the soils is not capable of being accomplished within a reasonable period of time, (5) clearly defined buffer areas exist between agricultural and non-agricultural uses, (6) the productivity of adjacent agricultural lands is not diminished, and (7) public service and facility expansion and permitted uses do not impair agricultural viability.



The existing camp facilities cover approximately 2 of the 142-acre property and are organized into two primary clusters of camping facilities called the South Commons and the North Commons. The proposed project consists of additions clustered in the North Commons area. Potable water for the camp will continue to be provided from Girl Scout Creek, a tributary of Butano Creek (via State Water Rights Board license) with on-site treatment located southeast and uphill from the North Commons area.

The project property is designated on the County General Plan's Productive Soil Resources Map as consisting of soils with timber capability. The property does not support agricultural uses; therefore, the proposed project will not impair agricultural viability of the land nor adversely impact any surrounding properties that may support agricultural activities due to the projects' location relative to property boundaries. Furthermore, in 2012, the property owner granted a conservation easement over the 142-acre property to Sempervirens Fund to conserve the property's natural, scenic and open space values, including maintaining the existing forest ecology.

Maximum Density of Development

Expanded or additional non-agricultural uses shall only be permitted on a parcel when there are enough density credits available to that parcel to meet the density credit requirements of the PAD Zoning District for both (1) existing uses, and (2) any expanded or additional uses, and only where such development meets all other applicable policies of the Local Coastal Program (LCP). The first density credit is equal to 1.5 times the amount listed in Table 1.5 of the LCP or the amount listed in Table 1.5 plus a residential dwelling unit that is occupied by the facility owner or operator, with each additional density credit equal to the listed amount in Table 1.5.

A density analysis for the subject property was conducted in 2011 (DEN 2011-00001) and yielded 2 density credits for the 142-acre property. The existing camp facility is considered nonconforming relative to density credits pursuant to LCP Table 1.5 (Camps) as the existing camp is calculated to require 7 density credits (7.057 where a fractional unit less than .5 is deleted). However, Planning Department staff has determined that the proposed project will not result in a substantial increase in density credits otherwise needed for camp operations. Specifically, in addition to the new facilities proposed, the project proposes demolition of a 2,536 sq. ft. camping dormitory (i.e., Laurel Cabin) on the northwest side of Butano Creek. Laurel Cabin sleeps 34 campers and its demolition (and the removal of the camper capacity accommodated by the structure) will offset the increase in density credits generated from the proposed project. Therefore, total density credits for the camp facilities before and after implementation of the project will remain at 7 density credits (7.2514 where a fractional unit less than .5 is deleted). See Attachment D for breakdown of density credits.

Development Standards

Applicable development standards of the PAD Zoning Regulations include a maximum height of 3 stories or 36 feet and minimum setbacks of 50 ft. from a front yard property line and 20 ft. from side and rear yard property lines.

All proposed structures will comply with the minimum height and setback requirements required under the PAD Zoning Regulations.

2. Compliance with Local Coastal Program (LCP) Policies

Locating and Planning New Development

Require density credits for all new or expanded non-agricultural land uses in rural areas. Expanded or additional non-agricultural uses shall only be permitted on a parcel when there are enough density credits available to that parcel to meet the density credit requirements of this policy for both (1) existing uses, and (2) any expanded or additional uses, and only where such development meets all other applicable policies of the Local Coastal Program. See Section A.1 above (Maximum Density of Development) for discussion of density credits.

Agriculture

The proposed project is located on Other Lands as designated by the County General Plan. According to the PAD Regulations, public recreation is a permitted use on Other Lands subject to the issuance of a PAD permit. See Section A.1 above for further discussion.

Sensitive Habitat

According to Zander Associates, a search of the California Natural Diversity Database identifies several special status species of plants and animals occurring within three miles of the project site. The project site is located within a designated critical habitat for the California red-legged frog and very near the designated critical habitat boundaries of the marbled murrelet. However, based on reconnaissance, Zander Associates has determined that there is no suitable habitat in the project area for special status species known to occur in the vicinity and that there is no anticipated adverse effects on wildlife movement corridors, nursery sites or critical habitat for the red-legged frog or marbled murrelet. Furthermore, the project will be properly mitigated to ensure minimal impacts to any habitat and/or vegetation identified within the Biological Resources Reconnaissance Report prepared by Zander Associates.

Visual Resources

Elements of the proposed project will be visible from Canyon Road through the existing tree canopy. No trees along or between Canyon Road and the project are proposed for removal. Furthermore, the proposed structures are designed to blend in with the surrounding natural forest setting and existing structures in the North Commons area, including architectural design, materials, and colors. The proposed structures will include earth-toned fiber cement board and batten siding and composition shingle roofing to match the existing structures, and all proposed decks, stairs, and retaining walls will have a natural wood finish.

Clearing and grading associated with the proposed debris flow wall will result in the removal of 29 Coast redwood trees (ranging in size from 4.5" to 44" dbh), 19 of which are considered significant sized trees (17.5" dbh) where removal is regulated by the County. The project includes native plantings on the east side of the debris flow wall and the planting of 19 Coast redwood trees between Canyon Road and the debris flow wall to offset the 19 significant sized Coast redwood trees being removed for the debris flow wall.

Recreation/Visitor Serving Facilities

Public recreation facilities are permitted in the rural areas of the Coastal Zone provided they are designed to enhance public opportunities for coastal recreation, require or benefit from a location surrounded by open land, do not substantially alter the natural environment, and do not subvert the rural character of the community.

The Butano Creek Girl Scouts Camp is open to girls entering grades 4-12. With its rural, coastal location, the camp focuses on outdoor activities such as hiking, cookouts, campfires, as well as science and nature activities, such as tide pooling, kayaking, and beach-related activities.

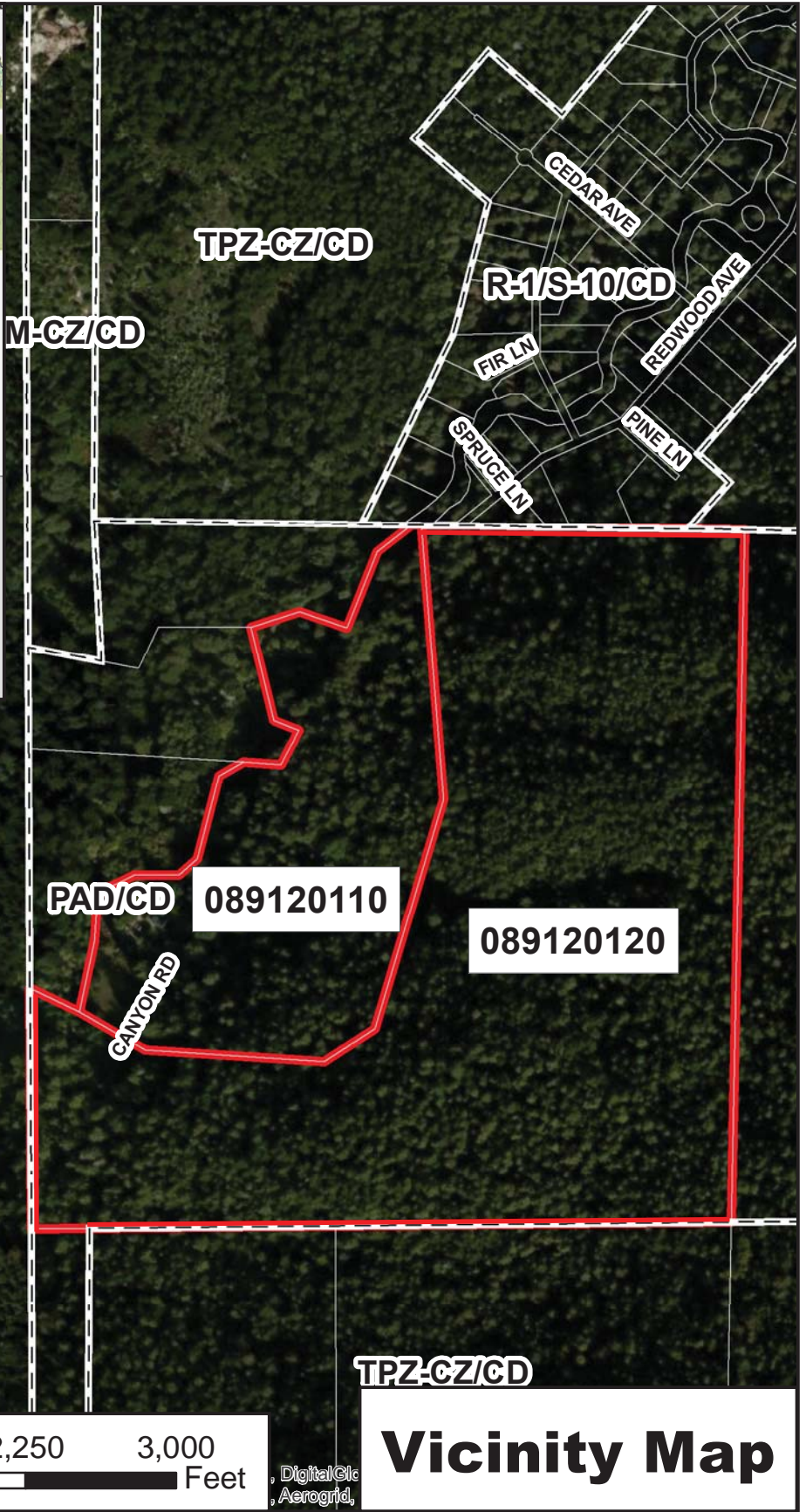
3. Compliance with the Williamson Act


The subject property is not under a Williamson Act contract.

ATTACHMENTS

- A. Vicinity Map
- B. Prime Soils Map
- C. Project Plans
- D. Density Credit Matrix
- E. Site Photos

SSB:jlh – SSBY0124_WJU.DOCX

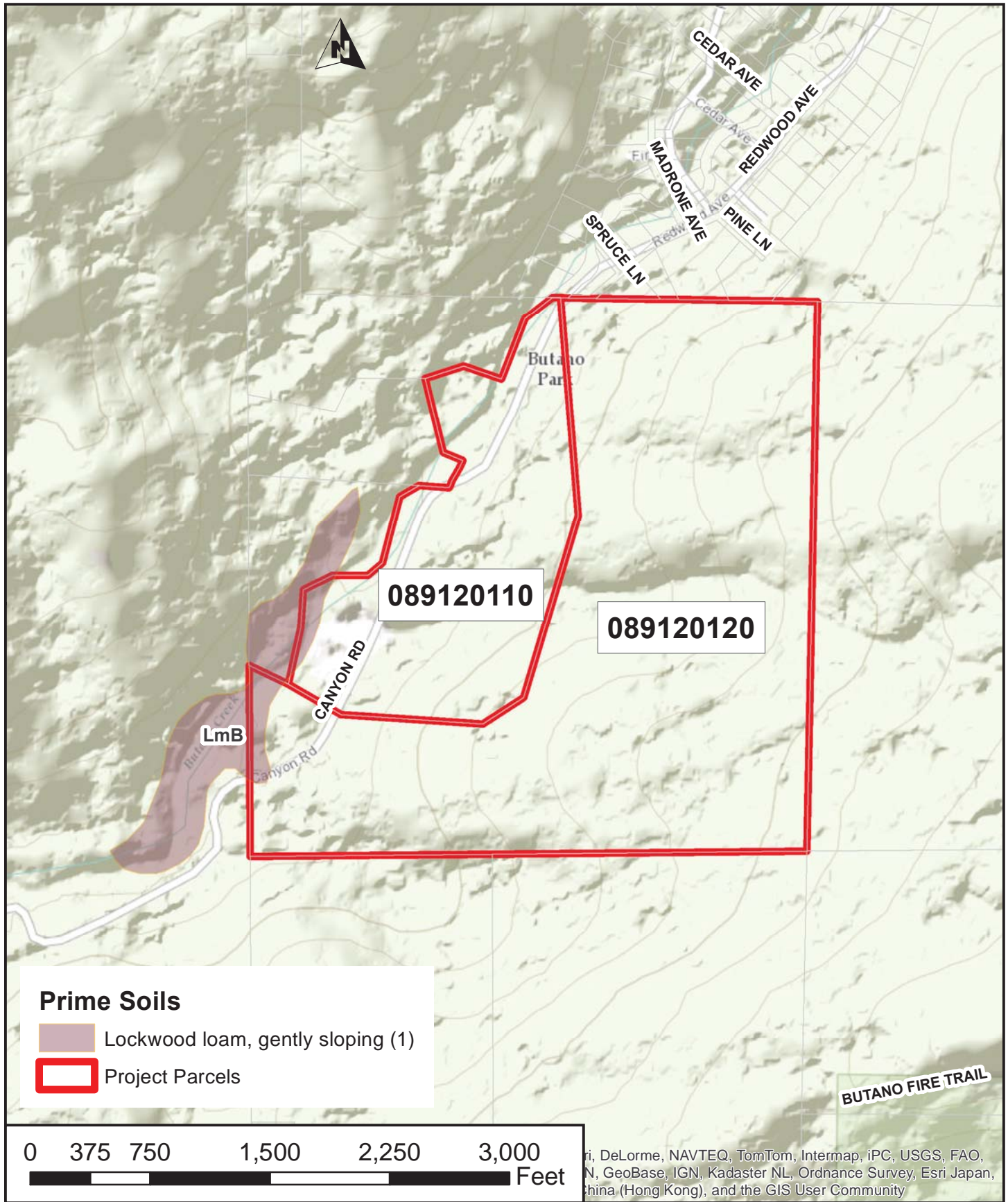


 Project Parcels



DigitalGlobe, Aerogrid

Vicinity Map



BUTANO CREEK NORTH COMMONS PROJECTS

1400 CANYON ROAD
PESCADERO, CA 94060

PREPARED FOR:

GIRL SCOUTS OF NORTHERN CALIFORNIA
7700 EDGEWATER DRIVE, SUITE 340
OAKLAND, CA 94621

CIVIL ENGINEER/SURVEYOR
BESTOR ENGINEERS, INC.
9701 BLUE LARKSPUR LANE, MONTEREY, CA 93940
(831) 373-2941 FAX (831) 648-4118

GEOTECHNICAL ENGINEER
BUTANO GEOTECHNICAL ENGINEERING, INC.
231 GREEN VALLEY ROAD, SUITE E, FREEDOM, CA 95019
(931) 724-2612 FAX (931) 724-2612

DOMOKUR ARCHITECTS

STRUCTURAL ENGINEER
ZFA STRUCTURAL ENGINEERS
100 BUSH STREET, SUITE 1850, SAN FRANCISCO, CA 94104
(415) 243-4091

MECH & ELEC ENGINEER
CB ENGINEERS
449 10TH ST., SAN FRANCISCO, CA 94103
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GIRL SCOUTS OF NORTHERN CALIFORNIA
BUTANO CREEK
NORTH COMMONS PROJECTS
1400 CANYON ROAD
PESCADERO, CA 94060

Prepared For
GIRL SCOUTS OF NORTHERN CALIFORNIA

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PRELIMINARY CODE INFORMATION

CODE REVIEW: CALIFORNIA CODE OF REGULATIONS, TITLE 24, 2015 BUILDING DEPARTMENT JURISDICTION, SAN MATEO COUNTY, ADMINISTRATION BUILDING DEPT. AND SPRUA VIA THE DEPT. OF PUBLIC HEALTH.

CBC 401.1 - USE AND OCCUPANCY CLASSIFICATION, GENERAL ORGANIZED CAMP, GROUP C FOR TENT STRUCTURES, COOKING SHELTER AND RESTROOM BUILDING.

RESIDENTIAL GROUP R-2.1 DINING HALL ADDITION (CBC 310.1) (MOST RESTRICTIVE) AND ASSEMBLY GROUP A-2 (EXISTING DINING HALL (CBC 310.1))

CBC 402 - CONSTRUCTION CLASSIFICATION: TYPE SA FOR DINING HALL ADDITION

CBC TABLE 601 - FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS: TYPE SA, SUBSCRIPT D

CBC 700.5 - EXTERIOR WALLS: WHERE EXTERIOR WALLS SERVE AS PART OF A REQUIRED FIRE-RESISTANCE RATED SEPARATION, SUCH WALLS SHALL COMPLY WITH REQUIREMENTS OF SECTION 706 FOR EXTERIOR WALLS, AND THE FIRE-RESISTANCE RATED SEPARATION REQUIREMENTS SHALL NOT APPLY.

CBC CHAPTER 7A - WILDFIRE EXPOSURE: PROJECT IS LOCATED IN A HIGH-WIND AND WILDFIRE AREA.

CBC 803 - AUTOMATIC SPRINKLER SYSTEMS: AUTOMATIC SPRINKLER SYSTEM PROVIDED IN NEW RESIDENTIAL CONSTRUCTION.

CBC CHAPTER 11B - ACCESSIBILITY: REFER TO SITE ACCESSIBILITY PLAN FOR SITE ACCESSIBLE ROUTE INCLUDING ACCESSIBLE PARKING SPACES FROM PUBLIC STREETS AND PUBLIC SIDEWALKS AND ACCESSIBLE ENTRIES.

ALL NEW CONSTRUCTION PROVIDED WITH ACCESSIBLE TOILET FACILITIES.

CBC TABLE 1106.1 - ACCESSIBLE PARKING SPACES:
TOTAL PARKING SPACES PROVIDED: 4
REQUIRED MIN. NUMBER OF ACCESSIBLE SPACES: 1
NUMBER OF ACCESSIBLE SPACES PROVIDED: 1 MAN

CBC CHAPTER 3403.1 - EXISTING BUILDING ADDITIONS: ADDITIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS TO THE EXISTING BUILDING OR STRUCTURE SHALL BE MADE TO INSURE THAT THE EXISTING BUILDING OR STRUCTURE TOGETHER WITH THE ADDITION ARE AS LEAST CONFORMING WITH THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ADDITION.

CBC TABLE 408.8 - CAMP FIRE ALARM: EVERY ORGANIZED CAMP SHALL PROVIDE AND MAINTAIN A DEVICE OR DEVICES SUITABLE FOR SOUNDING A FIRE ALARM. SUCH DEVICE OR DEVICES MAY BE OF ANY TYPE ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED THEY ARE DISTINCTIVE IN TONE FROM ALL OTHER SOUNDING DEVICES OR SYSTEMS AND SHALL BE AUDIBLE THROUGHOUT THE CAMP PREMISES.

CBC TABLE 903 - ALLOWABLE HEIGHT AND BUILDING AREA:

CBC 903.3 - NONSEPARATED OCCUPANCIES: GROUP R-2.1 CONSTRUCTION TYPE SA, 3 STORIES, 50' 0" / 15.24 M. SEE PLANS FOR PROPOSED AREAS AND HEIGHTS.

VICINITY / SITE MAP



BUTANO CREEK CAMP
SCALE: N.T.S.

ABBREVIATIONS

ACOUS.	ACOUSTICAL	INSUL.	INSULATION
A.F.F.	ABOVE FINISH FLOOR	JT.	JOINT
ALUM.	ALUMINUM	M.F.C.	MANUFACTURER (ALSO M.F.R.)
AT	AT	M.C.	MECHANICAL CONTRACTOR
BD.	BOARD	M.H.	MANHOLE
B.G.	BEARING	M.O.	MASONRY OPENING
BLK.	BLOCK	M.F.S.	MANUFACTURING
BLKG.	BLOCKING	MAX.	MAXIMUM
CLG.	CEILING	MECH.	MECHANICAL
CL.	CENTERLINE	MTL.	METAL
COL.	COLUMN	MIN.	MINIMUM
CONC.	CONCRETE	NOM.	NOMINAL
CONT.	CONTINUOUS	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	N.T.S.	NOT TO SCALE
DET.	DETAIL	OV	ON OR OVER
DA.	DIAMETER	O.C.	ON CENTER
D.S.	DOWNSPOUT	P.C.	PLUMBING CONTRACTOR
DWG.S.	DRAWINGS	PL. LAM.	PLASTIC LAMINATE (ALSO P.L.)
EA.	EACH	PLUMB.	PLUMBING
E.C.	ELECTRICAL CONTRACTOR	PLS OR MINUS	PLUS OR MINUS
ELEC.	ELECTRICAL	PR	PROPERTY LINE
E.T.R.	EXISTING TO REMAIN	REFIN.	REFINISHING
E.W.	EACH WAY	R.	RISER
E.W.C.	ELECTRIC WATER COOLER	R.D.	ROUGH OPENING
ELEV.	ELEVATION (ALSO EL.)	RM.	ROOM
EXIST.	EXISTING (ALSO EX. OR EXG.)	SM.	SIMILAR
EXP.	EXPANSION	SPCS.	SPECIFICATIONS
E.J.	EXPANSION JOINT	S.S.	STAINLESS STEEL
F.F.	FRESH FLOOR	STL.	STRUCT.
F.E.	FIRE EXTINGUISHER ON BRACKET	STRUC.	STRUCTURAL
F.E.C.	FIRE EXTINGUISHER IN CABINET	S.O.G.	SLAB ON GRADE
F.D.	FLOOR DRAIN	SUSP.	SUSPENDED
F.P.C.	FIRE PROTECTION CONTRACTOR	T.	TREAD
FTG.	FOOTING	T.O.F.	TOP OF FOOTING
F.V.	FIELD VERIFY	T.G.S.	TOP OF STEEL
GA.V.	GALVANIZED	TYP.	TYPICAL
G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
G.P.	GYPSSUM	V.T.R.	VENT THRU ROOF
H.M.	HOLLOW METAL	W.	WITH
HORIZ.	HORIZONTAL	WD.	WOOD

SYMBOLS

	ROOM NAME	ROOM NAME & NUMBER
	DOOR NUMBER	DOOR NUMBER
	EXTERIOR WINDOW TYPE	EXTERIOR WINDOW TYPE
	INTERIOR LITE TYPE	INTERIOR LITE TYPE
	WALL TYPE	WALL TYPE
	ROOM NUMBER & CEILING HEIGHT	ROOM NUMBER & CEILING HEIGHT
	ELEVATION REFERENCE	ELEVATION REFERENCE
	4-WAY ELEVATION REFERENCE	4-WAY ELEVATION REFERENCE
	ENLARGED PLAN REFERENCE	ENLARGED PLAN REFERENCE
	DETAIL REFERENCE	DETAIL REFERENCE
	SECTION CUT REFERENCE	SECTION CUT REFERENCE
	BUILDING SECTION REFERENCE	BUILDING SECTION REFERENCE

DRAWING INDEX

G100	TITLE SHEET, VICINITY/SITE MAP, DRAWING INDEX	C301	NORTH COMMONS HORIZONTAL CONTROL PLAN
C000	TOPOGRAPHIC SURVEY	C302	NORTH COMMONS GRADING AND DRAINAGE PLAN
C100	NORTH COMMONS OVERALL SITE PLAN	C303	NORTH COMMONS UTILITY PLAN
C300	NORTH COMMONS SITE PLAN	C304	NORTH COMMONS EROSION CONTROL PLAN
C102	NORTH COMMONS SITE ACCESSIBILITY PLAN	C305	EROSION CONTROL NOTES AND DETAILS
C103	NORTH COMMONS LANDSCAPE PLAN	A100	NORTH COMMONS LODGE PLANS AND ELEVATIONS
C104	TREE REMOVAL AND PRESERVATION MAP	A101	RESTROOM BUILDING PLANS AND ELEVATIONS
C200	DEBRIS DEFLECTION WALL SITE PLAN	A102	TENT PLATFORM PLANS AND ELEVATIONS
C201	DEBRIS DEFLECTION WALL CIVIL NOTES AND DETAILS	A103	COOKING SHELTER FLOOR PLANS AND ELEVATIONS
C300	NORTH COMMONS NOTES AND SPECIFICATIONS		

MATERIALS

	EARTH		CONCRETE		BRICK MASONRY		ROUGH WOOD / LUMBER		GYPSSUM BOARD		GLAZING
	GRAVEL		CONCRETE BLOCK MASONRY		CUT STONE		PLYWOOD		BATT INSULATION		ACOUSTIC TILE
					STRUCTURAL STEEL / METAL		FINISH WOOD		RIGID INSULATION		

**TITLE SHEET, VICINITY/SITE MAP,
DRAWING INDEX**

Project No: 2013036
Drawing Manager: LWK
Drawing Coordinator: LWK

G100

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Attachment C

L:\1508261\05082611\Drawn\Borner\K1\X-Topo\DWG - plan.dwg - NOV 15 2013 - 09:53:26
 ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF BESTOR ENGINEERS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BESTOR ENGINEERS, INC.



LEGEND

AC	ASPHALT CONCRETE	JP	JOINT POLE
CC	CONCRETE	K	RAILROAD
ELEC	ELECTRICAL AND TELEPHONE	PP	POWER POLE
FF	FINISH FLOOR	RWD	REINFORCED CONCRETE
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
FS	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
GB	GRADE BREAK	SSCO	SANITARY SEWER CLEANOUT
FOC	FIRE DEPARTMENT CONNECTION	SMH	SANITARY SEWER MANHOLE
FM	FIRE MANSION	T	TREE
HB	HOSE BIB	UG	UNDERGROUND
HW	INVERT ELEVATION	WV	WATER VALVE

—●—	BENCHMARK
—	EDGE OF PAVEMENT
- - -	GRADE BREAK
—	FLOWLINE
—	100' CONTOUR
—	CONTOUR
—	OVERHEAD UTILITY
—	STORM DRAIN
—	SANITARY SEWER
○ J.P./P.P.	JOINT POLE OR POWER POLE
○ SMH	MANHOLE
○ RWD	REINFORCED CONCRETE
○	TREE
○	SPOT ELEVATION

- ### NOTES
- DISTANCES ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
 - POINTS FOUND OR SET ARE SO NOTED. ALL OTHER POINTS ARE FOR REFERENCE ONLY.
 - THIS IS NOT AN ALTA SURVEY. NOT ALL ENTITLEMENTS OR ENCUMBRANCES ARE NECESSARILY SHOWN.
 - THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.
 - TOPOGRAPHIC INFORMATION SHOWN HEREIN REPRESENTS FIELD DATA COLLECTED IN JUNE 2012, MAY 2013, SEPTEMBER 2013 AND NOVEMBER 2013 BY BESTOR ENGINEERS, INC.
 - THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM VARIOUS SOURCES. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THEIR DELINEATION AS SHOWN ON THIS PLAN.
 - EXISTING FEATURES LOCATED ALONG THE WEST SIDE OF CANYON ROAD ARE SHOWN BASED ON THE TOPOGRAPHIC MAP PREPARED BY JOSEPH BERNIE IN NOVEMBER 1999 AND ARE SHOWN AS SCHEMATIC PURPOSES ONLY.

BENCHMARK

AN ELEVATION OF 200.00' HAS BEEN ASSIGNED TO 1/2" FOUND REBAR #300 LOCATED AT THE SOUTHWEST OF THE DINING HALL ON THE PROPERTY.

BASIS OF BEARING

ASSUMED BASIS OF BEARING.

REVISIONS

DESIGNED BY	STAFF
DATE:	
ENGINEER	

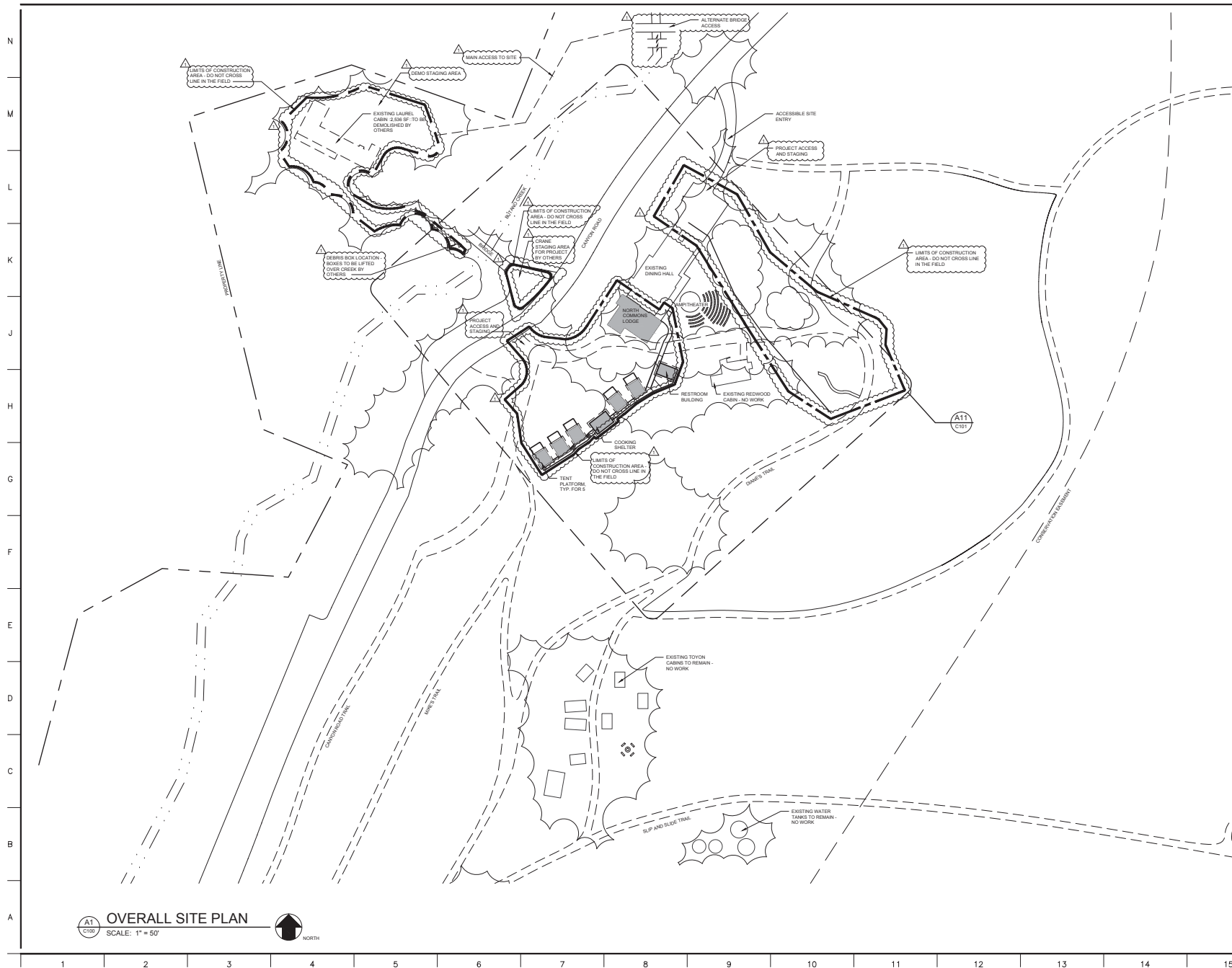
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 8701 BULL LANE SUITE 100
 MONTEREY, CALIFORNIA 95030

PREPARED FOR: GIRL SCOUTS OF NORTHERN CALIFORNIA
TOPOGRAPHIC SURVEY
 CAMP BUTANO CREEK
 SAN MATEO, CALIFORNIA

SCALE:	1" = 20'
DATE:	11/13/13
SHEET:	1 OF 1
NO:	5836.01

Attachment C



GENERAL NOTES
 A. LAUREL CABIN WILL BE DEMOLISHED BY OWNER UNDER SEPARATE CONTRACT. DEMOLITION SHALL BE COORDINATED WITH NEW CONSTRUCTION FOR DENSITY CREDIT.

GIRL SCOUTS OF NORTHERN CALIFORNIA
 BUTANO CREEK
 NORTH COMMONS PROJECTS
 1400 CANYON ROAD
 PESCADERO, CA 94060

Prepared For
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**NORTH COMMONS
 OVERALL SITE PLAN**

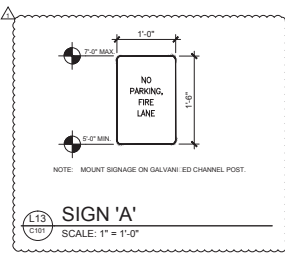
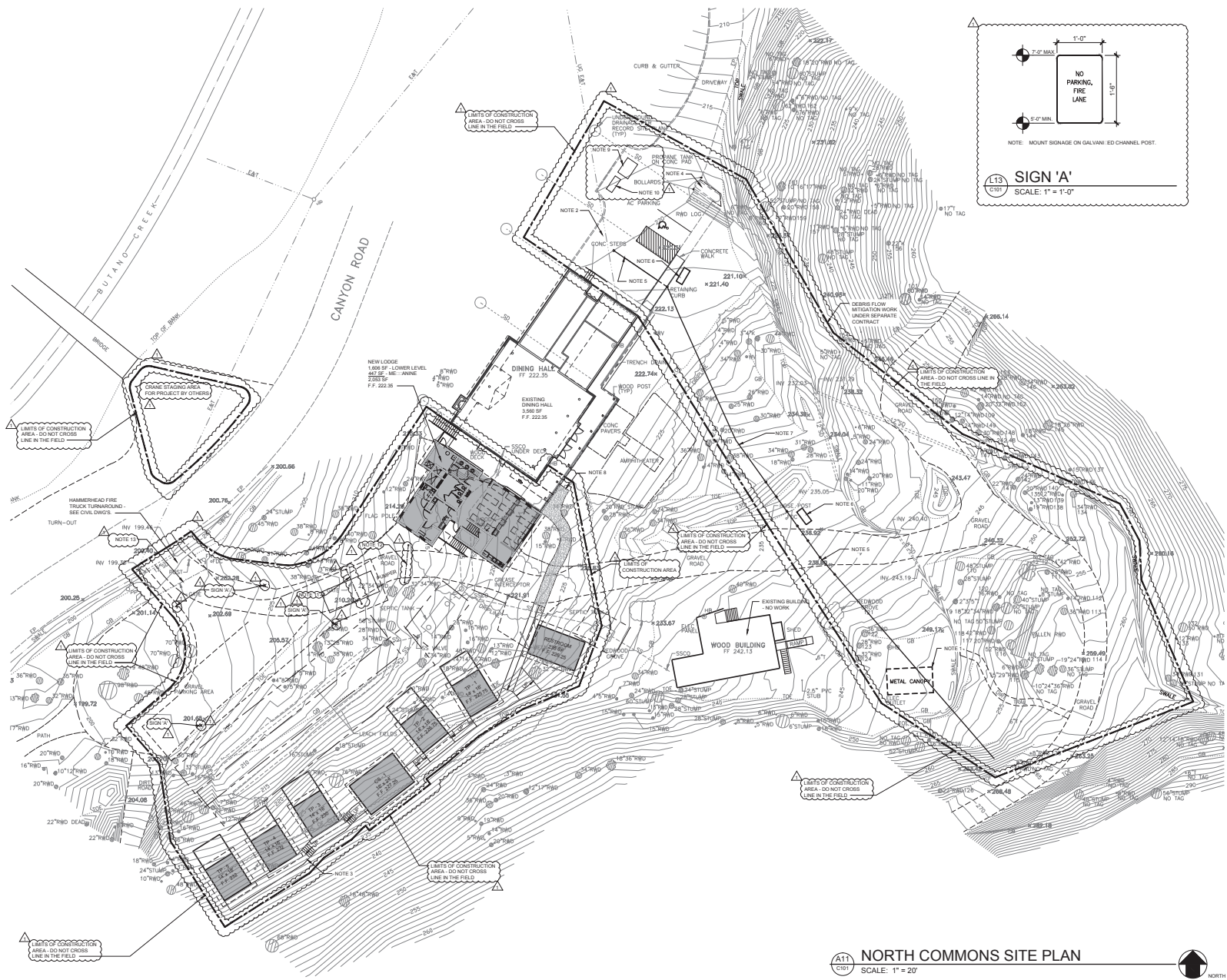
Project No: 2013036
 Project Manager: LWK
 Drawing Coordinator: LWK

C100

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OVERALL SITE PLAN
 SCALE: 1" = 50'

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- GENERAL NOTES**
- LAUREL CABIN WILL BE DEMOLISHED BY OWNER UNDER SEPARATE CONTRACT. DEMOLITION SHALL BE COORDINATED WITH NEW CONSTRUCTION FOR DENSITY CREDIT.
 - DISTURBANCE TO EXIST. LANDSCAPE WILL BE KEPT TO A MINIMUM.
 - PROVIDE NO PARKING SIGNAGE IN FIRE TRUCK TURNAROUND AS SHOWN ON THE PLAN. THE FIRE TRUCK TURNAROUND IS COMPACTED GRAVEL WITH NO CURBS. THE GRAVEL IS TO BE COMPACTED TO SUPPORT 15,000 LBS. TRUCK.
- SHEET SPECIFIC NOTES**
- THE FOLLOWING NOTES APPLY TO THIS SHEET ONLY:
- FREE STANDING METAL CANOPY TO BE RELOCATED BY OTHERS.
 - RESTRIPE EXISTING ASPHALT PARKING LOT.
 - GRAVEL PATH.
 - EXISTING PROPANE TANK TO BE RELOCATED BY OTHERS.
 - DEBRIS WALL WOOD LAGGING THIS SECTION TO BE REMOVED AND STORED ADJACENT WHEN NOT RE-USED.
 - DEBRIS WALL WOOD LAGGING STORAGE.
 - DEBRIS MITIGATION WALL - REFER TO C20'S DRAWINGS.
 - CONCRETE WALKWAY.
 - 2-3000 RECYCLED CONTAINERS WITH PLASTIC LID.
 - 2-YARD GARBAGE DUMPER WITH PLASTIC LID.
 - REMOVE EXISTING GATE AND SALVAGE FOR REINSTALLATION.
 - RELOCATE GATE OUTSIDE OF FIRE TRUCK TURNAROUND.
 - EXISTING GATE TO BE MODIFIED TO BE MINIMUM 2'-0" WIDER THAN FIRE TRUCK TURNAROUND.

GIRL SCOUTS OF NORTHERN CALIFORNIA
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NORTH COMMONS SITE PLAN

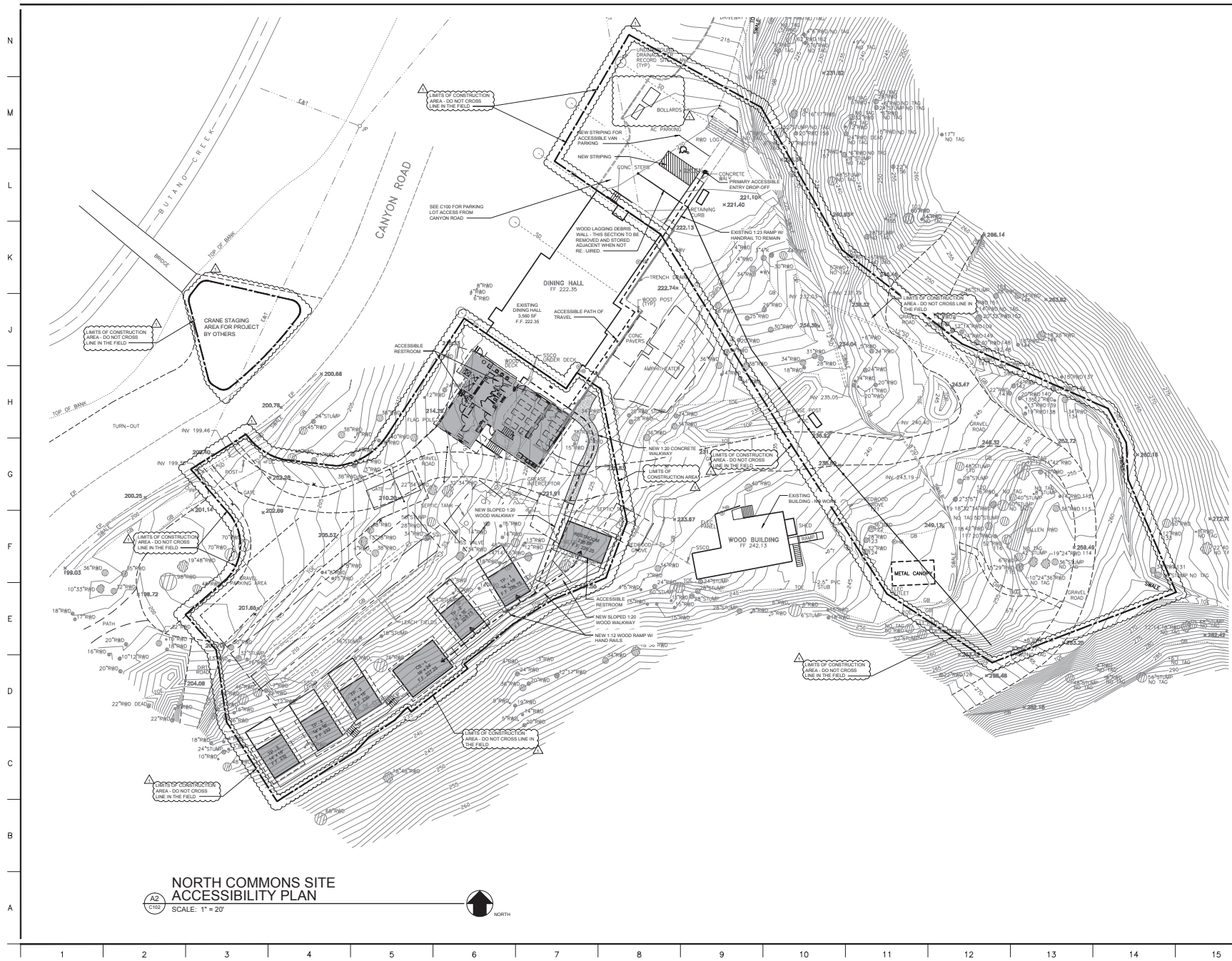
A11 NORTH COMMONS SITE PLAN
SCALE: 1" = 1'-0"



Project No: 2013036
Project Manager: LMK
Drawing Coordinator: LMK

C101

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GENERAL NOTES

A. LABEL CABIN WILL BE DEMOLISHED BY OWNER UNDER SEPARATE CONTRACT. DEMOLITION SHALL BE COORDINATED WITH NEW CONSTRUCTION FOR DENSITY CREDIT.

B. DISTURBANCE TO EXIST. LANDSCAPE WILL BE KEPT TO A MINIMUM.

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NORTH COMMONS SITE
ACCESSIBILITY PLAN
 SCALE: 1" = 20'



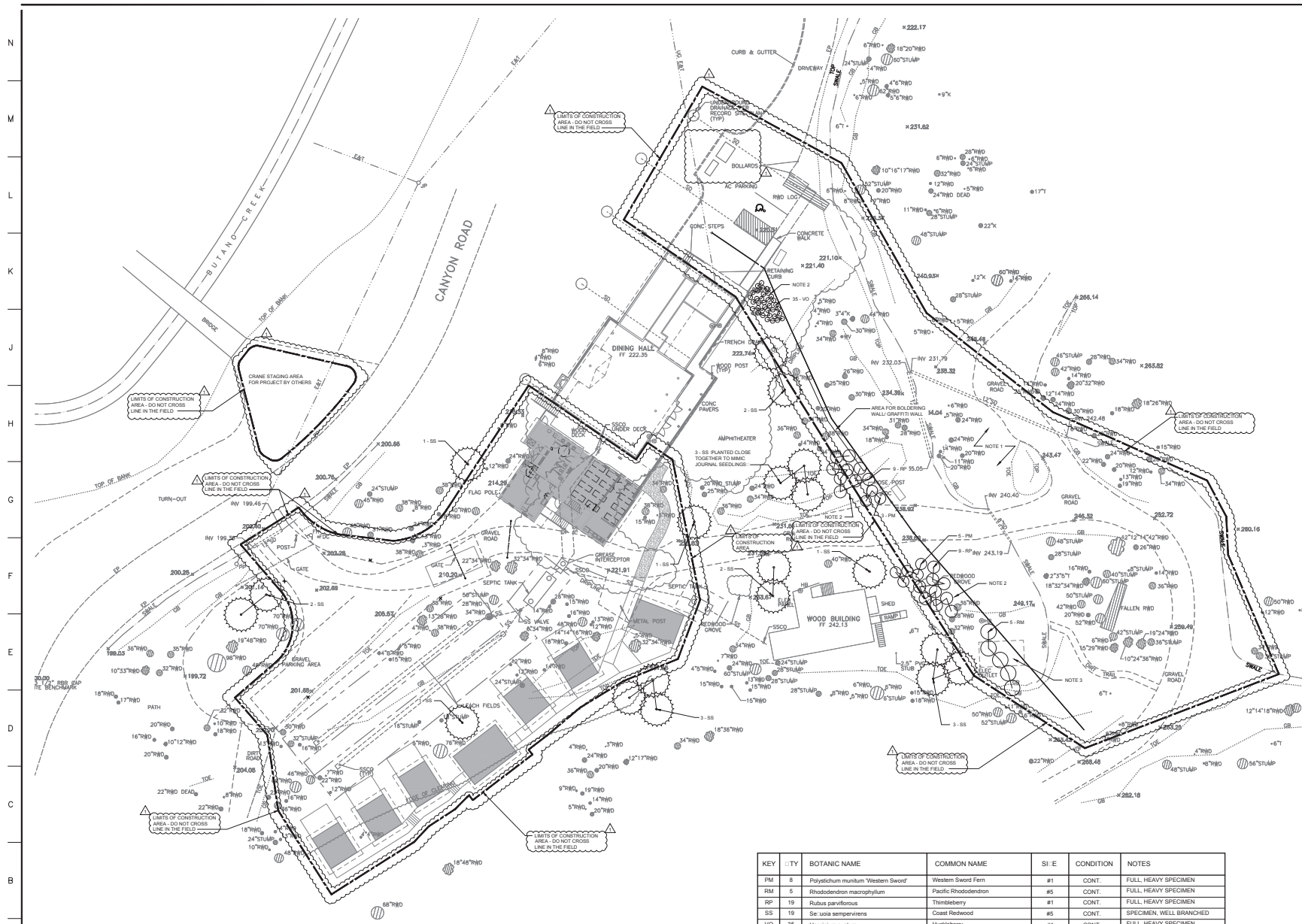
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NORTH COMMONS SITE
ACCESSIBILITY PLAN

Project No: 2013036
 Project Manager: LMK
 Drawing Coordinator: LMK

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GENERAL NOTES

- A. ALL PLANT MATERIAL SELECTED IS NATIVE.
- B. CONTRACTOR WILL OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND CHARGES REQUIRED BY THE WORK OF THIS PROJECT.
- C. PLANT LIST IS PROVIDED AS CONFORMANCE ONLY. IN THE CASE OF ANY DISCREPANCIES IN QUANTITIES OR ERRORS BETWEEN PLANTS AND PLANT LIST, QUANTITIES NOTED ON PLAN TAKE PRECEDENCE. CONTRACTOR IS TO BID PLAN.
- D. ALL PLANT MATERIAL SUPPLIED FOR AN INDIVIDUAL ITEM ON THE PLANT LIST SHALL MATCH IN S.I.E. SHAPE AND FORM AND SHALL CONFORM TO THE SPECIFICATIONS AND SUPPLEMENTARY REQUIREMENTS LISTED UNDER THE PLANT LIST NOTES. NO SUBSTITUTIONS WILL BE ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- E. LANDSCAPE ARCHITECT OWNER SHALL REVIEW PLANT MATERIAL PRIOR TO INSTALLATION AND RESERVES THE RIGHT TO SELECT ANY MATERIAL THAT DOES NOT MEET THE SPECIFICATIONS OR DESIGN REQUIREMENTS OF THE PROJECT.
- F. LANDSCAPE ARCHITECT OWNER SHALL REVIEW PLACEMENT OF PLANT MATERIAL PRIOR TO AND AFTER INSTALLATION AND RESERVES THE RIGHT TO ACQUIRE LANDSCAPE TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT.
- G. ALL PLANTS SHALL BE SPECIMEN QUALITY AS DEFINED BY AMERICAN ASSOCIATION OF NURSERMEN.
- H. ALL INDIVIDUALLY PLANTED TREES AND SHRUBS AND PLANT BEDS SHALL BE COVERED BY A 4" UNIFORM MINIMUM COVER OF HARDWOOD SHREDED BARK MULCH. KEEP MULCH 4" FROM TREE TRUNKS, SHRUBS, ORNAMENTAL GRASS AND PERENNIAL GROUNDING.
- I. PLANTING LAYOUT SHALL FOLLOW ARCHITECT'S DESIGN INTENT. MASS PLANTINGS SHALL OCCUR IN ROWS.
- J. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING PLANT MATERIAL AND/OR RESEEDING AND IT SHALL PROTECT ALL GRASS AREAS DAMAGED BY WORK PROVIDED IN THESE DOCUMENTS.
- K. TREE PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS WITH THE SAME DEPTH OF THE ROOT BALL. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING BACK FILL MIXTURE: PREMIUM PLANTING SOIL.
- L. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL, TAMING IN 4" LIFTS. THOROUGHLY SATURATE WITH WATER AFTER PLANTING.
- M. CONTAINS GROWN PLANTS SHALL HAVE EXCESSIVE ROOTS CUT FROM BOTTOM OF BALL AND ROOTS SLICED WITH SHARP KNIFE ALONG SIDES OF BALL.
- N. ALL PLANTS SHALL BE SET SO THAT, WHEN SETTLED, THEY ARE AT THE SAME GRADE OR BANK. PRIOR TO THE ELEVATION THEY WERE GROWN AT THE NURSERY. ANY PLANTS INSTALLED LOWER THAN SURROUNDING GRADE WILL BE SHRE REPAIRING.
- O. AFTER THE TREE IS PLANTED, REMOVE ALL TAGS, STRINGS, STRAPS, WIRES, SCOPES OR OTHER MATERIAL THAT MAY INHIBIT PLANT GROWTH BOTH BELOW AND ABOVE THE SURFACE OF THE SOIL. REMOVE THE TOP OF THE BURLAP AND TWINE AROUND THE TRUNK SO THAT NO BURLAP IS EXPOSED TO THE AIR SO MOISTURE IS NOT WICKED AWAY FROM THE ROOT BALL.

SHEET SPECIFIC NOTES

- 1. ALL AREAS GRADED FOR DEBRIS FLOW MITIGATION SHALL BE PLANTED WITH NATIVE SPECIES GRASS.
- 2. PROPOSED BERM - SEE CIVIL DRAWINGS.
- 3. PROPOSED LOCATION OF BERM IF DEBRIS WALL MODIFICATION PRODUCE EXCESS SOIL SPOT.

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KEY	TY	BOTANICAL NAME	COMMON NAME	S.I.E.	CONDITION	NOTES
PM	8	<i>Polygonatum multiflorum</i> "Western Sword"	Western Sword Fern	#1	CONT.	FULL, HEAVY SPECIMEN
RM	5	<i>Rhodiola macrophyllum</i>	Pacific Rhodiola	#5	CONT.	FULL, HEAVY SPECIMEN
RP	19	<i>Rubus parviflorus</i>	Thimbleberry	#1	CONT.	FULL, HEAVY SPECIMEN
SS	19	<i>Sesuvium portulacastrum</i>	Coast Redwood	#5	CONT.	SPECIMEN, WELL BRANCHED
VO	35	<i>Vaccinium ovatum</i>	Huckleberry	#1	CONT.	FULL, HEAVY SPECIMEN

PLANTING SCHEDULE

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A	12/20/13	ENTITLEMENT PACKAGE
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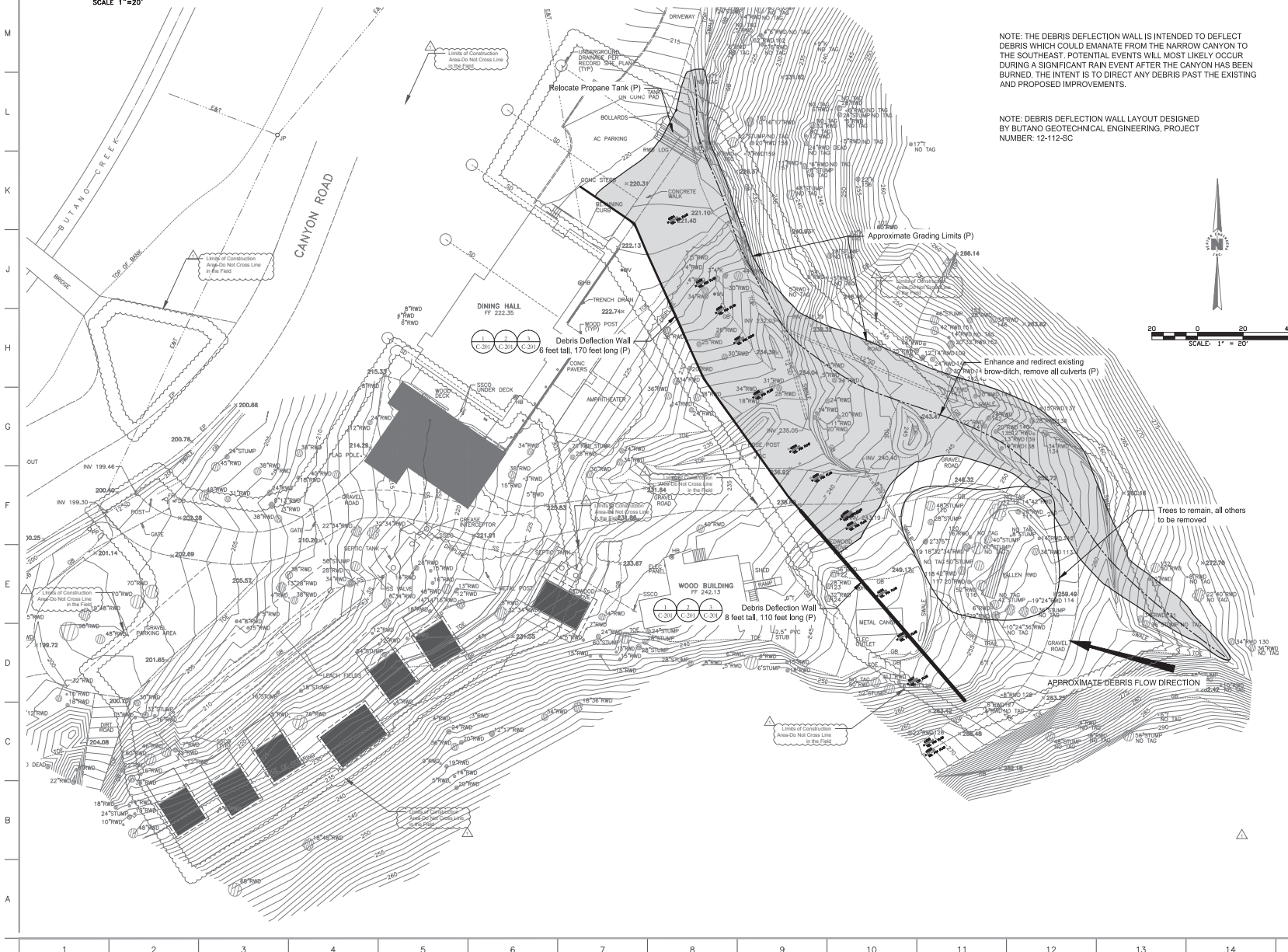
NORTH COMMONS LANDSCAPE PLAN

Project No: 2013036
Project Manager: LMK
Drawing Coordinator: LMK

LANDSCAPE PLAN
SCALE: 1" = 20'

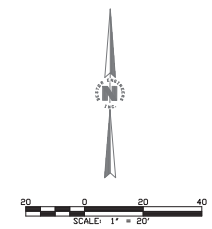
DEBRIS DEFLECTION WALL SITE PLAN

SCALE 1"=20'



NOTE: THE DEBRIS DEFLECTION WALL IS INTENDED TO DEFLECT DEBRIS WHICH COULD EMANATE FROM THE NARROW CANYON TO THE SOUTHEAST. POTENTIAL EVENTS WILL MOST LIKELY OCCUR DURING A SIGNIFICANT RAIN EVENT AFTER THE CANYON HAS BEEN BURNED. THE INTENT IS TO DIRECT ANY DEBRIS PAST THE EXISTING AND PROPOSED IMPROVEMENTS.

NOTE: DEBRIS DEFLECTION WALL LAYOUT DESIGNED BY BUTANO GEOTECHNICAL ENGINEERING, PROJECT NUMBER: 12-112-SC



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DEBRIS DEFLECTION WALL SITE PLAN

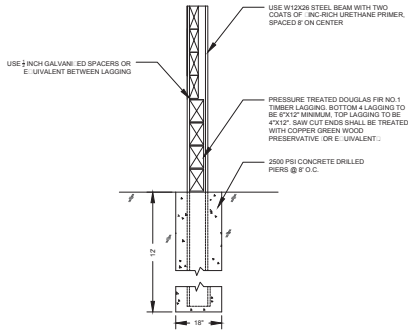
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DEFLECTION WALL DETAIL FOR BEAM SPACING OF 8 FEET ON CENTER

SCALE N.T.S.

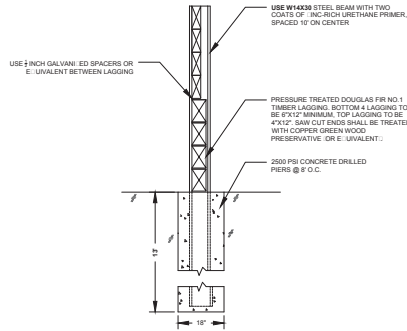
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DEFLECTION WALL DETAIL FOR BEAM SPACING OF 10 FEET ON CENTER

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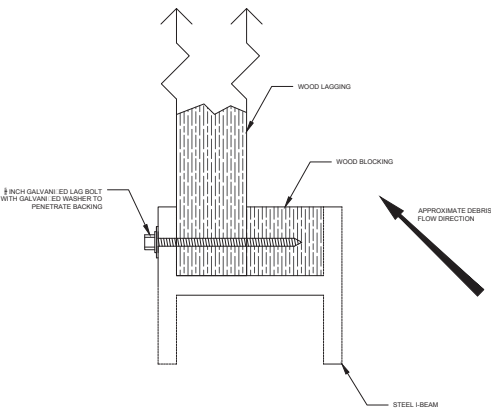
NOTES

- EXCAVATION AND BACKFILL**
1. All earthwork shall be inspected per the Geotechnical Investigation dated March, 2013 and the addendum Geotechnical Investigation dated December 2013 for the proposed deflection wall and erosion control, 1400 Canyon Road, Pescadero, California, Project No. 12-112-GM, prepared by Blake Geotechnical Engineering, Inc. (dated December, 2013).
 2. The Geotechnical Engineer should be notified at least 4 working days prior to any grading or foundation occurring on the work in the field can be coordinated with the grading contractor, and arrangements for testing and observation can be made. The recommendations of this report are based on the assumption that the geotechnical engineer will perform the required testing and observation during grading and construction. It is the contractor and siteowner's responsibility to make the necessary arrangements for these services.
 3. The contractor shall verify all dimensions and elevations in the field. Exact layout shall be flagged in the field with the design engineer. Any variances from the design are to be immediately brought to the attention of the design engineer.
 4. Review by the geotechnical engineer or his authorized representative, is not used prior to the placing of any concrete.
 5. As an option, a soil berm may be constructed on the west side of the wall. The berm should be placed on deeper than 2:1 H:V. The location of the berm must be approved by the project architect.
 6. After the earthwork operations have been completed and the soil engineer has finished their observation of the work, no further earthwork operations shall be performed except with the approval of and under the observation of the geotechnical engineer.
- BEAMS AND LAGGING**
7. The steel beams shall be plumb, lagging shall be horizontal, and aligned across beams.
 8. The wood lagging should have a minimum of 1/2 inch of air space between the lagging and I-beam. Use spacers or fasteners to accomplish this.
 9. All steel beams shall comply with the requirements of AISI 300. Documentation shall be provided to the building official.
 10. All fasteners, spacers, and connectors shall be hot-dipped zinc-coated galvanized steel in accordance with ASTM A-153.
 11. The wood lagging shall conform to the requirements of the applicable ANSAP Standard U1 and M4 for the species, product, preservation, and end use. Preservative treated wood shall bear the visible mark of an inspection agency that certifies continuing inspection, testing and inspection over the safety of the preservative treated wood. Inspection agencies for preservative treated wood shall be listed by an accreditation body that complies with the requirements of the American Lumber Standard Treated Wood Program, or a successor. The visible mark shall be a stamp or label affixed to the preservative treated wood, and shall include the following information: Identification of treating manufacturer, Type of preservative used, Minimum preservative retention (pcf), Dose rate for which the product is treated, ANSAP standard to which the product was treated, and identify the accredited inspection agency.
 12. All field and cuts shall be treated to meet ANSAP U-1. All field cuts are to be observed or approved by Special Inspector prior to being placed in the soldier beams.

CONNECTION DETAIL

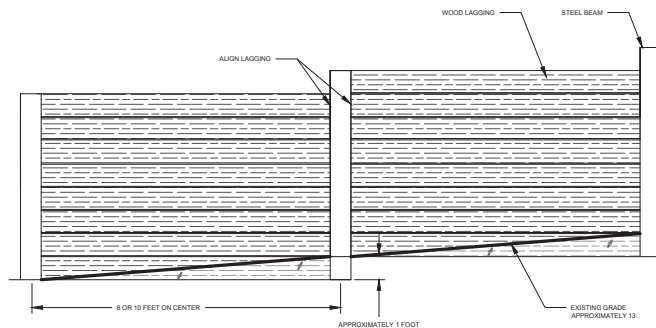
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TYPICAL WALL SECTION

SCALE N.T.S.



GIRL SCOUTS OF NORTHERN CALIFORNIA
BUTANO CREEK
NORTH COMMONS PROJECTS
1400 CANYON ROAD
PESCADERO, CA 94060

Prepared For
GIRL SCOUTS OF NORTHERN CALIFORNIA

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DEBRIS DEFLECTION WALL CIVIL NOTES AND DETAILS

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CIVIL SPECIFICATIONS

SECTION 1. PLANS
 ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING PLANS AND SPECIFICATIONS INsofar AS THEY MAY APPLY:

- (1) BESTOR ENGINEER'S PLAN CONSISTING OF THE FOLLOWING SHEETS: C300, C301, C302, C303, C304, C305 AND C306.
- (2) STANDARD PLANS AND SPECIFICATIONS OF THE DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STATE OF CALIFORNIA, MAY 2010, REFERRED TO AS THE STANDARD PLANS AND SPECIFICATIONS.

IN CASE OF CONFLICT BETWEEN THE STANDARD PLANS AND SPECIFICATIONS AND THESE TECHNICAL SPECIFICATIONS, THE TECHNICAL SPECIFICATIONS SHALL TAKE PRECEDENCE OVER AND BE USED IN LIEU OF SUCH CONFLICTING PORTIONS OF THE STANDARD SPECIFICATIONS.

SECTION 1.6. CLEARING AND GRUBBING
 THIS WORK SHALL CONSIST OF ALL CLEARING AND GRUBBING NECESSARY FOR THE PERFORMANCE OF THE WORK COVERED BY THE CONTRACT IN ACCORDANCE WITH THIS SPECIFICATION AND SECTION 16 OF THE STANDARD SPECIFICATIONS.

CLEARING AND GRUBBING SHALL CONSIST OF REMOVING ALL OBJECTIONABLE MATERIAL BETWEEN THE LIMITS OF THE GRADING OPERATION.

SECTION 1.7. WATERING
 FURNISHING AND APPLYING WATER SHALL BE PERFORMED IN GENERAL CONFORMANCE WITH SECTION 17 OF THE STANDARD SPECIFICATIONS.

SECTION 1.8. EARTHWORK
 ALL EARTHWORK SHALL BE PERFORMED IN GENERAL CONFORMANCE WITH SECTION 19 OF THE STANDARD SPECIFICATIONS, EXCEPT AS MODIFIED HEREIN. WORK SHALL COMPLY WITH RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT PROJECT NUMBER 12-112-SM, BY BUTANO GEOTECHNICAL ENGINEERING, INC., DATED MARCH 2013.

SECTION 20. LANDSCAPE, IRRIGATION AND EROSION CONTROL
 ALL DISTURBED AREAS EXPOSED TO THE ELEMENTS SHALL RECEIVE EROSION CONTROL. EROSION PROTECTION SHALL CONSIST OF HYDRO-SEEDING WITH A MIXTURE OF PERENNIAL RYEGRASS AND CALIFORNIA WILD FLOWERS FOR THE SHOULDER AND CUT AND FILL SLOPE AREAS ALONG ALL ROADS. THE HYDRO-SEEDER SHALL BE LOADED WITH THIS MIXTURE PER 1,000 S.F. OF APPLICATION.

25 GAL. WATER
 25 LBS OF CONWEB HYDRO MULCH (OR APPROVED EQUAL)
 5 LBS OF AMMONIUM NITRATE (34-0-0)
 3 LBS OF DIAMMONIUM PHOSPHATE (18-46-0)
 2-1.2 LBS OF PERENNIAL RYEGRASS SEED
 1 OZ. CALIFORNIA WILDFLOWER MIX (CALIF. POPPIES AND LUPINS)
 1 GAL. OF AEROSPRAY 70 MULCH BINDER (OR APPROVED EQUAL)

SECTION 26. AGGREGATE BASES
 THE WORK SHALL CONSIST OF FURNISHING, SPREADING AND COMPACTING CLASS II AGGREGATE BASES IN CONFORMANCE WITH SECTION 26 OF THE STANDARD SPECIFICATIONS.

SECTION 40. PORTLAND CEMENT CONCRETE PAVEMENT
 PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE IN CONFORMANCE WITH SECTION 40 OF THE STANDARD SPECIFICATIONS.

SECTION 64. PLASTIC PIPE
 STORM DRAIN PIPE SHALL CONFORM TO SECTION 64 OF THE STANDARD SPECIFICATIONS. STORM DRAIN PIPING SHALL BE PVC SDR 35.

SECTION 71. SEWERS
 SEWERS SHALL BE PVC SEWER PIPE SDR 35 IN ACCORDANCE WITH SECTION 71 OF THE STANDARD SPECIFICATIONS.

SECTION 72. SLOPE PROTECTION
 SLOPE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 72 OF THE STANDARD SPECIFICATIONS.

SECTION 73. MISCELLANEOUS CONCRETE CONSTRUCTION
 CURBS, GUTTERS, SIDEWALKS, AND ACCESS RAMPS SHALL CONFORM TO THE PROVISIONS IN SECTION 73, "CONCRETE CURBS, GUTTERS AND SIDEWALKS" OF THE STANDARD SPECIFICATIONS.

SECTION 75. WATER PIPE
 WATER MAIN SHALL BE CLASS 150 PVC IN ACCORDANCE WITH AWWA STANDARD C900. ALL FITTINGS SHALL BE CLASS 150 DUCTILE IRON PIPE. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION. TESTING SHALL INCLUDE ON HOUR OF SUSTAINED PRESSURE AT 200 P.S.I. STERILIZATION SHALL BE IN ACCORDANCE WITH CURRENT AWWA STANDARDS.

SECTION 88. ENGINEERING FABRIC
 ENGINEERING FABRICS SHALL BE IN ACCORDANCE WITH SECTION 88 OF THE STANDARD SPECIFICATIONS.

GENERAL NOTES:

1. CONTRACTOR SHALL SUPPLY ALL EQUIPMENT, LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK SHOWN ON THESE PLANS. CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
2. CONTRACTOR SHALL COORDINATE ALL WORK, INCLUDING SUB-CONTRACTORS' WORK, SO AS TO ELIMINATE CONFLICTS AND WORK TOWARDS THE GENERAL GOOD AND COMPLETION OF THE ENTIRE PROJECT.
3. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL(S) HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTIONS WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
4. CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UNDER-GROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION, AND SHALL PROTECT ANY AND ALL UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
5. THE CONTRACTOR SHALL VISIT THE SITE, EXAMINE AND NOTE ALL EXISTING SITE CONDITIONS AS TO THE CHARACTER AND EXTENT OF WORK INVOLVED.
6. MINIMAL EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE CONTRACTOR IS CAUTIONED THAT ONLY EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATION AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, BESTOR ENGINEERS, INC. CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OF UTILITIES, NOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH ARE NOT SHOWN ON THESE DRAWINGS.
7. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE GROUND AND UNDERGROUND, EXCEPT AS NOTED IN THESE PLANS, AS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY, FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT THE STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SAN FRANCISCO, CA, PHONE (415) 703-4341. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND CONTROL OF TRAFFIC WITHIN THE CONSTRUCTION AREA, FOR ALL TRENCH EXCAVATION FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 1085 E. HILLSDALE BLVD., SAN MATEO, CA 94404, PHONE (650) 573-3812, PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

CONSTRUCTION NOTES:

1. PRIOR TO START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING WILL BE HELD BETWEEN THE OWNER, ENGINEER AND CONTRACTOR TO DISCUSS SCHEDULING, WORK RESTRAINTS AND CONSTRAINTS, SOIL STOCKPILE AREAS AND SPECIFIC CONCERNS. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER 48 HOURS BEFORE THE STARTING WORK.
2. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR, WHEN HE OR HIS SUB-CONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE, SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE BY WATERING AND/OR TREATING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CONFINE DUST PARTICLES TO THE IMMEDIATE SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY THE DUST FROM HIS OR HER SUBCONTRACTOR'S ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT.
3. CLEARING, GRUBBING AND DEMOLITION SHALL CONSIST OF REMOVING, IN ACCORDANCE WITH SECTION 16 OF THE STANDARD SPECIFICATIONS, ALL OBJECTIONAL MATERIAL FROM WITHIN THE CONSTRUCTION SITE. WHERE PORTIONS OF EXISTING FACILITIES ARE TO REMAIN, REMOVALS SHALL BE DONE SO AS TO LEAVE THE REMAINING PORTION STRUCTURALLY SOUND AND NEAT IN APPEARANCE.
4. EXCAVATION, FILLING, COMPACTION, GRADING AND HAULING NECESSARY TO DEVELOP THE SUBGRADE AND BASE FOR NEW CURBS, PAVING, ETC., SHALL BE DONE IN ACCORDANCE WITH SECTION 19 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIAL NOT REQUIRED FOR CONSTRUCTION OF FILLS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND IT SHALL BE REMOVED FROM THE JOBSITE AND SHALL BE DISPOSED OF IN A MANNER APPROVED BY ALL THE AUTHORITIES HAVING JURISDICTION.
5. COMPACTED SUBGRADE SHALL HAVE A MINIMUM DENSITY OF 95% FOR A DEPTH OF NOT LESS THAN SIX (6) INCHES AS DETERMINED BY ASTM D1557. SUBGRADE SHALL BE REWORKED AS REQUIRED TO OBTAIN THE SPECIFIED COMPACTION. FINISH SUBGRADE SHALL NOT VARY MORE THAN 0.50 FOOT ABOVE OR BELOW THEORETICAL GRADE SHOWN OR ESTABLISHED.

CIVIL SHEET INDEX

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C301	HORIZONTAL CONTROL PLAN
C302	GRADING AND DRAINAGE PLAN
C303	UTILITY PLAN
C304	EROSION CONTROL PLAN
C305	EROSION CONTROL NOTES & DETAILS



GIRL SCOUTS OF NORTHERN CALIFORNIA
 BUTANO CREEK
 NORTH COMMONS PROJECTS
 1400 CANYON ROAD
 PESCADERO, CA 94060
 Prepared For
 GIRL SCOUTS OF NORTHERN CALIFORNIA
 7700 EDGEWATER DRIVE, SUITE 940
 OAKLAND, CA 94612



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**NORTH COMMONS
 NOTES & SPECIFICATION**

Project No. 2012038
 Project Manager: --
 Drafting Coordinator: --

C300
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NORTH COMMONS GRADING PLAN
SCALE: 1/16" = 1'-0"

- NOTES**
1. ALL GRADING PROVISIONS OF THE SOILS REPORT SHALL BE STRICTLY IMPLEMENTED.
 2. RETAINING WALLS SHALL INCORPORATE BACK DRAINAGE PER STRUCTURAL PLANS.
 3. THE FINISHED GRADES AROUND THE EXTERIOR OF THE BUILDINGS SHALL SLOPE AWAY FROM THE FOUNDATIONS AT 2-PERCENT FOR 5- FEET OR MORE SO AS TO PROMOTE RAPID RUNOFF AWAY FROM THE BUILDINGS. SURFACE DRAINAGE ON THE SITE SHALL BE DESIGNED TO PRECLUDE SOILS EROSION.
 4. SEE ARCHITECTURAL PLANS FOR BUILDING, TIMBER LAGGING RETAINING WALL, RAMP AND STAIR DETAILS.
 5. SEE GEOTECHNICAL PLANS FOR SOLDIER PILE DEBRIS WALL DETAILS.
 6. TOP AND BOW OF WALL ELEVATIONS ARE TO FINISH GRADE. SEE STRUCTURAL PLANS FOR ACTUAL TOP AND BOTTOM WALL ELEVATIONS.
 7. SOILS REPORT TITLED "GEOTECHNICAL AND GEOLOGIC INVESTIGATION DESIGN PHASE" HAS BEEN PREPARED BY BUTANO GEOTECHNICAL ENGINEERING, INC. ON MARCH 2013. MODIFICATIONS TO THE REPORT INCLUDE: (1) THE USE OF 0.5% CROSS SLOPE TOWARDS THE DITCH WITHIN THE DEBRIS WALL APPROXIMATELY AND (2) THE HILLSIDE SLOPE MAY BE GRADED AT A 1:1 SLOPE WHERE NECESSARY TO MINIMIZE GRADING AND TREE REMOVAL.

EARTHWORK QUANTITIES

CUT:	645 C.Y.
FILL:	64 C.Y.
NET:	581 C.Y. CUT
ASSUME 20% FILL FACTOR	

EARTHWORK QUANTITIES ARE TO FINISHED GROUND (I.E. NOT SUBGRADE).

OVERCROWDING OF THE SOIL UNDER THE BUILDING PAD, SUBGRADE SECTIONS, RETAINING WALLS, ROWS AND SOIL SCARIFICATION IS NOT INCLUDED IN THE EARTHWORK CALCULATION AND CONTRACTOR TO ESTIMATE THESE VOLUMES. STRIPPINGS ARE NOT INCLUDED IN EARTHWORK CALCULATION.



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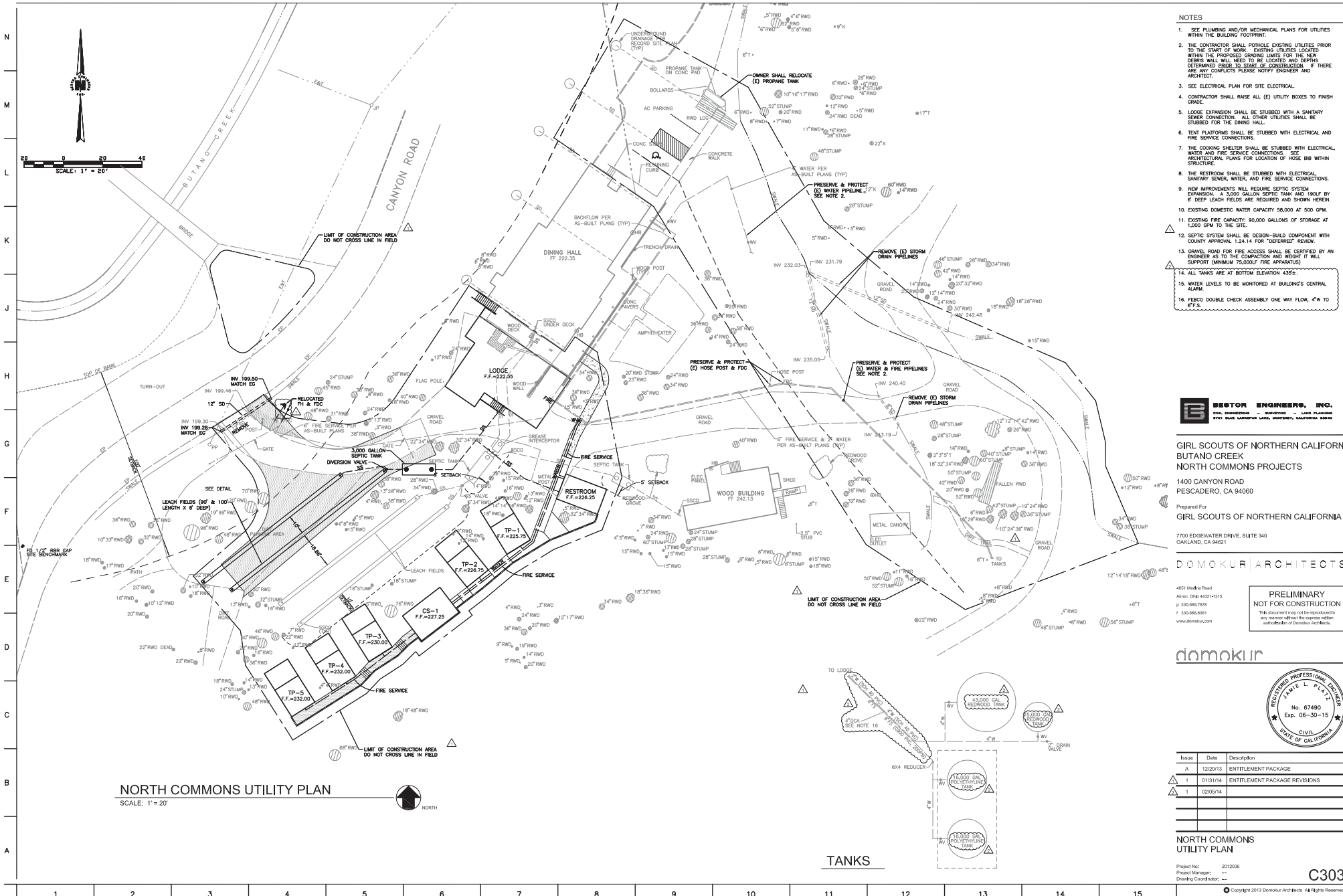
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NORTH COMMONS GRADING AND DRAINAGE PLAN

Project No: 2012036
Project Manager: ---
Drawing Coordinator: ---

C302

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- NOTES**
- SEE PLUMBING AND/OR MECHANICAL PLANS FOR UTILITIES WITHIN THE BUILDING FOOTPRINT.
 - THE CONTRACTOR SHALL PROVIDE EXISTING UTILITIES PRIOR TO THE START OF WORK. EXISTING UTILITIES LOCATED WITHIN THE PROPOSED GRADING LIMITS FOR THE NEW SERIES SHALL NEED TO BE LOCATED AND DEPTHS DETERMINED PRIOR TO START OF CONSTRUCTION. IF THERE ARE ANY CONFLICTS PLEASE NOTIFY ENGINEER AND ARCHITECT.
 - SEE ELECTRICAL PLAN FOR SITE ELECTRICAL.
 - CONTRACTOR SHALL RAISE ALL (E) UTILITY BOXES TO FINISH GRADE.
 - LOGGE EXPANSION SHALL BE STUBBED WITH A SANITARY SEWER CONNECTION. ALL OTHER UTILITIES SHALL BE STUBBED FOR THE DINING HALL.
 - TENT PLATFORMS SHALL BE STUBBED WITH ELECTRICAL AND FIRE SERVICE CONNECTIONS.
 - THE COOKING SHELTER SHALL BE STUBBED WITH ELECTRICAL, WATER AND FIRE SERVICE CONNECTIONS. SEE ARCHITECTURAL PLANS FOR LOCATION OF HOSE BIB WITHIN STRUCTURE.
 - THE RESTROOM SHALL BE STUBBED WITH ELECTRICAL, SANITARY SEWER, WATER, AND FIRE SERVICE CONNECTIONS.
 - NEW IMPROVEMENTS WILL REQUIRE SEPTIC SYSTEM EXPANSION. A 3,000 GALLON SEPTIC TANK AND 1900LF BY 6" DEEP LEACH FIELDS ARE REQUIRED AND SHOWN HEREIN.
 - EXISTING DOMESTIC WATER CAPACITY 58,000 AT 500 GPM.
 - EXISTING FIRE CAPACITY: 90,000 GALLONS OF STORAGE AT 1,000 GPM TO THE SITE.
 - SEPTIC SYSTEM SHALL BE DESIGN-BUILD COMPONENT WITH COUNTY APPROVAL 1.24.14 FOR "DEFERRED" REVIEW.
 - GRAVEL ROAD FOR FIRE ACCESS SHALL BE CERTIFIED BY AN ENGINEER AS TO THE COMPACTON AND HEIGHT IT WILL SUPPORT (MINIMUM 75,000LB FIRE APPARATUS).
 - ALL TANKS ARE AT BOTTOM ELEVATION ABOVE.
 - WATER LEVELS TO BE MONITORED AT BUILDING'S CENTRAL ALARMS.
 - REDO DOUBLE CHECK ASSEMBLY ONE WAY FLOW, 4" W TO F.F.S.



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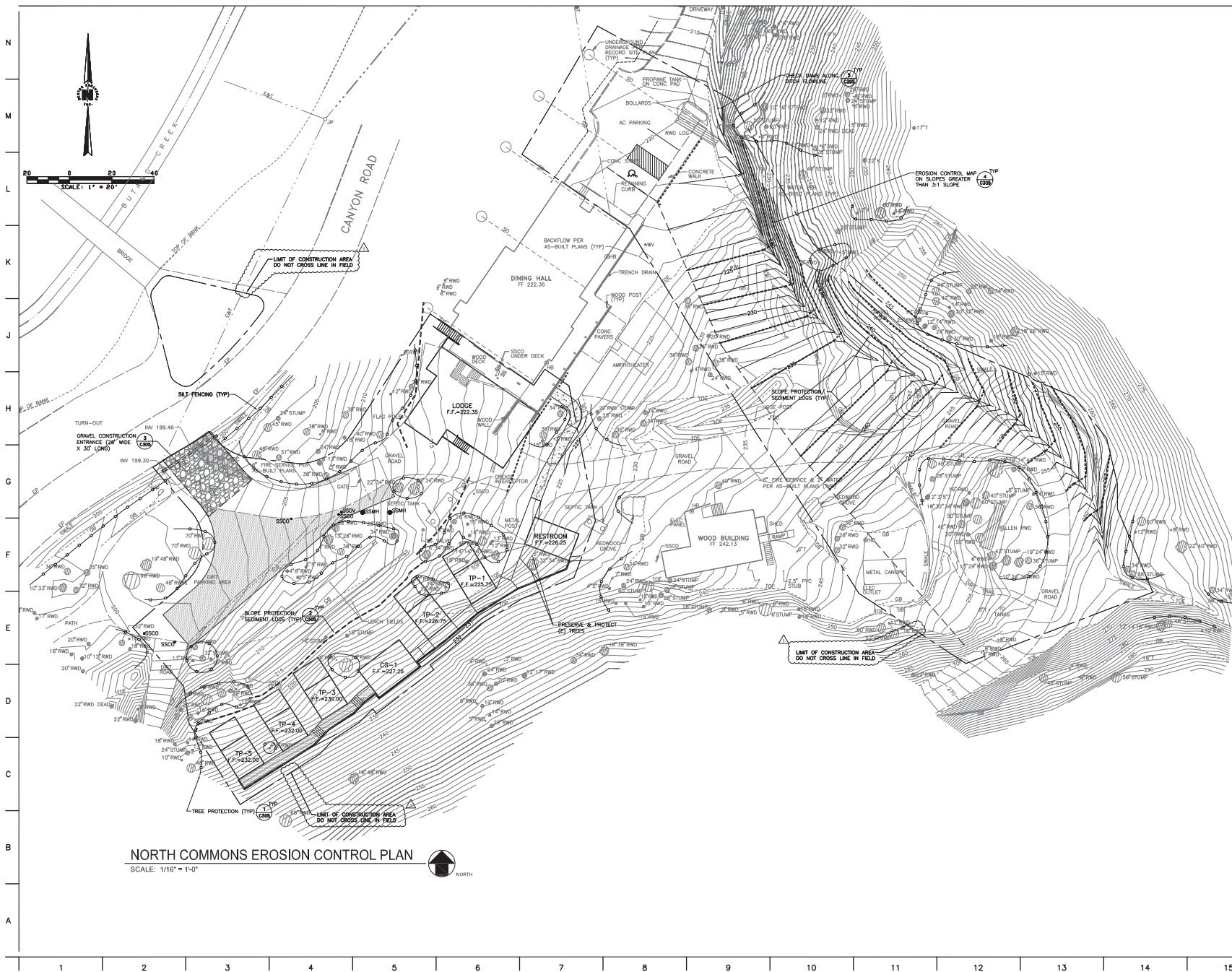


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**NORTH COMMONS
 UTILITY PLAN**
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NORTH COMMONS EROSION CONTROL PLAN

SCALE: 1/16" = 1'-0"



NOTES

1. SEE ARCHITECTURAL PLANS FOR LANDSCAPE IMPROVEMENTS.



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**NORTH COMMONS
 EROSION CONTROL PLAN**

Project No: 2012036
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C304

PREPARED BY BESTOR ENGINEERS, INC.
 9701 BLUE LARKSPUR LANE, MONTEREY, CA 93940
 PHONE (831) 373-2941
 PLANS PREPARED BY: JAMIE PLATZ, P.E.

NARRATIVE DESCRIPTION

I. DESCRIPTION OF WORK

THE WORK IN GENERAL INVOLVES REMOVING EXISTING NATIVE GRASSES AND CONTACT FROM THE SITE, GRADING THE NATIVE MATERIAL TO DESIGN GRADES AND TRENCHING FOR THE INSTALLATION OF UTILITIES. THE SITE IS LOCATED IN THE COUNTY OF SAN MATEO AT 1400 CANYON ROAD, PESCADERO, CALIFORNIA BETWEEN CLOVERDALE ROAD AND REDWOOD AVENUE.

II. PREVIOUS CONSTRUCTION SITE CONTAMINATION

ALL TOXIC MATERIALS THAT HAVE BEEN KNOWN HAVE BEEN TREATED, STORED, DISPOSED OF, SPILLED, OR LEAKED IN SIGNIFICANT QUANTITIES ONTO THE CONSTRUCTION SITE BE DESCRIBED.

III. MANAGEMENT PRACTICES EMPLOYED TO MINIMIZE CONTACT OF CONSTRUCTION MATERIALS, EQUIPMENT AND VEHICLES WITH STORM WATER

THE PURPOSE OF THIS SECTION IS TO PROVIDE MANAGEMENT PRACTICES TO MINIMIZE THE INTRODUCTION OF SEDIMENT AND SOLID MATERIALS INTO THE COUNTY'S STORM DRAIN SYSTEM AND/OR NEARBY WATERWAYS. ANOTHER PURPOSE IS TO MINIMIZE THE POTENTIAL CONTACT OF CONSTRUCTION MATERIALS, EQUIPMENT, AND VEHICLES WITH STORM WATER.

A. CONSTRUCTION MATERIALS

ALL CONSTRUCTION MATERIALS SHALL BE STORED AT HIGHER ELEVATIONS ON THE SITE THAT ARE PROPERLY GRADED TO MINIMIZE CONTACT WITH SURFACE RUNOFF AND STANDING WATER. ANY AND ALL MATERIAL THAT COULD CONTAMINATE WATER RUNOFF WHEN EXPOSED TO RAIN SHALL BE COVERED WITH PLASTIC SHEETING DURING PERIODS OF RAIN, AS WELL AS DURING HIGH WINDS (WINDS EXCEEDING 20 MPH). ANY LIQUID MATERIAL STORED ON SITE SHALL BE STORED PROPERLY WITHIN THEIR CONTAINERS AND NOT USED IN EXPOSED AREAS DURING PERIODS OF RAIN. CARE SHALL BE TAKEN TO AVOID ANY SPILLS OF SOLID MATERIALS THAT WILL DISSOLVE IN WATER, OR LIQUID MATERIAL THAT WILL BE CARRIED AWAY WITH STORM RUNOFF. ACCIDENTAL SPILLS SHALL BE PROPERLY MITIGATED, IMMEDIATELY, TO THE POINT WHERE WATER CONTAMINATION IS MINIMIZED, IF NOT ELIMINATED.

B. CONSTRUCTION EQUIPMENT

ALL CONSTRUCTION EQUIPMENT UTILIZED ON THE SITE SHALL BE PROPERLY MAINTAINED. PETROLEUM FUELS AND LUBRICATED EQUIPMENT SHALL BE PROPERLY MAINTAINED TO PREVENT LEAKAGE OF SAID MATERIALS. EQUIPMENT SHALL BE SERVICED AND MAINTAINED SO PETROLEUM DISTILLATES DO NOT COME INTO CONTACT WITH THE GROUND AND SHALL BE DISPOSED OF PROPERLY OFFSITE. SOILS OR OTHER EXPOSED MATERIALS ACCIDENTALLY CONTAMINATED DURING EQUIPMENT FAILURES, SERVICING AND REPAIR SHALL BE REMOVED IMMEDIATELY FROM THE SITE AND PROPERLY DISPOSED OF OFF SITE. IF REMOVAL OF CONTAMINATED SOILS OR OTHER MATERIALS IS NOT POSSIBLE DUE TO THE PRESENCE OF A 6" DEEP TRENCH SHALL BE EXCAVATED AROUND THE CONTAMINATED AREA AND THE TRENCH DRAINED IN SUCH A MANNER THAT STORM WATER WILL NOT COME IN CONTACT WITH THE AREA AND THE ENTIRE AREA WILL BE COVERED WITH PLASTIC SHEETING DURING PERIODS OF RAIN. AFTER THE RAINS CEASE, CONTAMINATED MATERIAL SHALL BE REMOVED AND PROPERLY DISPOSED OF OFFSITE. EQUIPMENT SHALL BE STORED IN AN AREA SURROUNDED BY BERMS TO CONTAIN THE COMBINED FUEL STORAGE CAPACITY CONTAINED THEREIN WITH ONE FOOT OF FREEBOARD BETWEEN THE TOP OF THE BERM AND THE ANTICIPATED LEVEL OF THE FUEL IF ALL VEHICLE TANKS WERE RUPTURED.

TOXIC MATERIALS INCLUDING, BUT NOT LIMITED TO, PAINTS AND SOLVENTS, SHALL BE HANDLED WITH CARE SO AS NOT TO CONTAMINATE EXPOSED SOILS OR OTHER CONSTRUCTION MATERIALS. ACCIDENTAL SPILLS SHALL BE MITIGATED PER THE PROCEDURE OUTLINED IN A. ABOVE.

C. VEHICLES

VEHICLES SHALL BE PROPERLY MAINTAINED TO PREVENT LEAKAGE OF PETROLEUM DISTILLATES, ANTIFREEZE, OR OTHER VEHICULAR FLUIDS. ANY VEHICLES THAT LEAK SUCH MATERIALS SHALL BE IMMEDIATELY REPAIRED AND ALL CONTAMINATED MATERIALS PROTECTED AND REMOVED PER THE PROCEDURE OUTLINED ABOVE. THIS APPLIES NOT ONLY TO PASSENGER VEHICLES, BUT CONSTRUCTION EQUIPMENT SUCH AS SCRAPERS, DUMP TRUCKS, ETC. CARE SHALL BE TAKEN DURING ONSITE REFUELING OF SUCH VEHICLES TO PREVENT SPILLS OF FUEL. ACCIDENTAL SPILLS SHALL BE HANDLED PER THE PROCEDURE OUTLINED ABOVE.

IV. CONSTRUCTION MATERIAL LOADING, UNLOADING, AND ACCESS AREAS

THE SITE CONSTRUCTION STAGING YARD SHALL BE LOCATED ON SITE.

ACCESS TO THE SITE SHALL BE FROM CANYON ROAD.

THE MATERIAL LOADING, UNLOADING, AND ACCESS AREA WILL BE IN THE CONSTRUCTION STAGING YARD. MATERIALS WILL BE STORED IN SAID AREA. ANY MATERIALS THAT CAN CONTAMINATE STORM WATER RUNOFF SHALL BE PROTECTED FROM RAIN WITH PLASTIC SHEETING OR OTHER MEANS TO PREVENT MATERIAL FROM COMING INTO CONTACT WITH STORM WATER RUNOFF. THE LOCATION FOR STORING SAID MATERIAL SHALL BE ON HIGHER GROUND AWAY FROM CATCH BASINS AND/OR SWALES. SIMILAR MATERIALS TEMPORARILY STORED ELSEWHERE ON THE SITE SHALL BE ADJACENT TO THE IMMEDIATE AREA OF WORK SHALL, AND SHALL BE PROTECTED IN A SIMILAR MANNER.

V. PRE-CONSTRUCTION STORM WATER STRUCTURES AND CONTROLS TO REDUCE SEDIMENT AND OTHER POLLUTANTS IN STORM WATER DISCHARGE

THE EXISTING ONSITE DRAINAGE SHALL BE PROTECTED THROUGH THE USE OF SEDIMENT LOGS TO SCREEN THE STORM WATER RUNOFF AND REMOVE SEDIMENTS. THE SITE DOES NOT REQUIRE STREET SWEEPING DUE TO LOCATION AND SITE FEATURES. COUNTY ENGINEER MAY MODIFY THIS REQUIREMENT BASED ON CONSTRUCTION ACTIVITIES AND THE ABILITY FOR THE CONTRACTOR TO KEEP THE SITE AND ADJACENT STREETS CLEAN.

VI. EQUIPMENT STORAGE, CLEANING AND MAINTENANCE AREAS

THE EQUIPMENT STORAGE, CLEANING, AND MAINTENANCE AREA SHALL BE LOCATED IN THE CONSTRUCTION STAGING AREA. THE PROCEDURES OUTLINED IN SECTION III SHALL BE FOLLOWED DURING THESE OPERATIONS. ANY CLEANING WHICH WILL RESULT IN PETROLEUM DISTILLATES, SOLVENTS, OR OTHER TOXIC SUBSTANCES CONTACTING WITH THE GROUND, SHALL NOT BE PERFORMED ON THE SITE. IF MATERIALS DO CONTAMINATE THE SOIL, THE PROCEDURES IN SECTION II SHALL BE FOLLOWED.

VII. METHOD OF ONSITE STORAGE AND DISPOSAL OF CONSTRUCTION MATERIALS

ONSITE STORAGE OF CONSTRUCTION MATERIALS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION II. NO CONSTRUCTION MATERIALS THAT CAN POTENTIALLY CONTAMINATE THE SITE STORM WATER RUNOFF SHALL BE DISPOSED OF ON THE SITE. THIS INCLUDES, BUT IS NOT LIMITED TO, PAINTS, SOLVENTS, AND OTHER SIMILAR MATERIALS. DISPOSAL OF CONSTRUCTION MATERIALS SHALL BE PERFORMED OFFSITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

ALL WASTE CONSTRUCTION MATERIAL SHALL BE REMOVED OFFSITE AND PROPERLY DISPOSED OF. CONSTRUCTION DUMPSTERS OR OTHER CONTAINERS UTILIZED TO STORE WASTE MATERIAL SHALL EITHER BE WATERTIGHT OR COVERED SO THAT RAIN CANNOT MIX WITH POTENTIAL POLLUTANTS AND MIX WITH STORM WATER RUNOFF.

EROSION AND SEDIMENT CONTROL

I. VEGETATIVE PRACTICES

THE EXISTING SITE CONTAINS NATIVE VEGETATION, INCLUDED GRASSES AND NATIVE SOIL.

ALL AREAS THAT WILL NOT BE PROTECTED FROM THE ELEMENTS SHALL BE HYDROSEEDED AND VEGETATION ESTABLISHED IF DISTURBED DURING CONSTRUCTION DURING THE RAINY SEASON. IF AREAS ARE DISTURBED THAT ARE IN THE PROPOSED AREAS BEING LANDSCAPED OR CONSTRUCTED DURING THE RAINY SEASON, THE DOWN SLOPE LIMITS OF THE AREAS SHALL BE BOUNDED WITH SEDIMENT LOGS TO SCREEN THE STORM RUNOFF SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.

II. CONTROL PRACTICES

THE SITE ITSELF WILL BE CONSTRUCTED WITH SLOPES. THE SITE HAS NO ONSITE STORM DRAIN SYSTEM INCLUDING DRAINAGE INLETS.

III. CONTROL PRACTICES TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS

ENTRY AND EXIT FROM THE SITE SHALL BE LIMITED TO THE ACCESS LOCATION DESCRIBED IN SECTION IV. DURING CONSTRUCTION, A MINIMUM LENGTH OF 20 FEET OF 3" TO 4" FRACTURED STONE AGGREGATE, A DEPTH OF 3-INCHES TO 6-INCHES, SHALL BE INSTALLED FROM THE BACK OF ROADWAY EDGE INTO THE SITE FOR THE WIDTH OF A TRAVELED WAY (15- FEET MINIMUM). ALL TRAFFIC SHALL ENTER AND EXIT THE SITE VIA SAID ACCESS POINT(S) OVER THE STONE AGGREGATE. IF THE SURROUNDING STREETS ARE SUBJECTED TO DIRT TRACKING FROM THE CONSTRUCTION SITE, DIRT SHALL BE REMOVED AS STATED ABOVE. DIRT OR OTHER MATERIALS DEPOSITED ON THE STREET SURFACE FROM CONSTRUCTION OPERATIONS SHALL BE SWEEP FROM THE STREET IMMEDIATELY.

IV. CONTROL PRACTICES TO REDUCE WIND EROSION

ANY SOILS OR OTHER MATERIALS WHICH ARE DISTURBED SHALL BE ADEQUATELY WATERED DURING AND AFTER CONSTRUCTION OPERATIONS TO PREVENT DUST FROM BECOMING AIRBORNE IN ACCORDANCE WITH LOCAL DUST CONTROL ORDINANCES.

POST-CONSTRUCTION STORM WATER MANAGEMENT

AFTER CONSTRUCTION IS COMPLETE AND HYDROSEEDING INSTALLED, THE POTENTIAL FOR STORM WATER CONTAMINATION SHOULD BE MINIMAL. HOWEVER, CERTAIN PREVENTATIVE MAINTENANCE PRACTICES SHALL BE EMPLOYED BY THE FACILITY OPERATOR TO PREVENT CONTAMINATION.

ALL POTENTIAL TOXIC MATERIALS UTILIZED ON THE SITE IN THE COURSE OF NORMAL OPERATION SHALL INCLUDE, BUT ARE NOT LIMITED TO; CLEANING MATERIALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER MATERIALS. SAID MATERIALS SHALL BE DISPOSED OF PROPERLY OFFSITE AND NOT ALLOWED TO BE EXPOSED TO RAIN. IF SPILLS OCCUR OF SUCH MATERIALS THEY SHALL BE CLEANED AND REMOVED FROM EXPOSURE TO RAIN, EITHER BY COVERING, PROTECTING, OR DISPOSING OF SAID MATERIAL OFFSITE.

ANY VEHICLE PARKING AREAS SUBJECT TO FLUIDS LEAKING FROM CARS (I.E. GAS, OILS, GREASE, PETROLEUM DISTILLATES, ETC.) SHALL BE CLEANED IMMEDIATELY. THIS MAY BE ACCOMPLISHED BY COATING THE AREA WITH CAT LITTER, SAWDUST, OR OTHER ABSORBENT MATERIALS TO ABSORB THE FOREIGN SUBSTANCE, AND THEN PROPERLY DISPOSING OF THE MATERIAL.

ANY VEGETATION OR LANDSCAPED AREAS THAT BECOME DENUDED DURING THE NORMAL COURSE OF USE OR DURING REPAIR OF OTHER FACILITIES SHALL BE REPAIRED TO PREVENT EROSION OF THE MATERIAL.

INSPECTION OF THE SITE AND CONSTRUCTION OPERATIONS SHALL BE BY THE COUNTY ENGINEER OR HIS DESIGNATED REPRESENTATIVE.

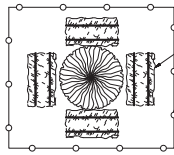
WASTE MANAGEMENT AND DISPOSAL

ALL WASTES (INCLUDING EQUIPMENT MAINTENANCE WASTE) REMOVED FROM THE SITE FOR DISPOSAL SHALL BE DISPOSED OF IN THE APPROPRIATE DISPOSAL FACILITIES. NO MATERIAL WASTES SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE WITHOUT THE APPROVAL OF THE REGIONAL WATER BOARD OR THE APPROPRIATE LOCAL AGENCY.

MAINTENANCE AND INSPECTION

ALL EQUIPMENT AND CONSTRUCTION AREAS, MATERIAL HANDLING AREAS, AND STORM WATER CONTROL MEASURES ON THE SITE SHALL BE INSPECTED AT LEAST ONCE (1) A MONTH DURING THE DRY SEASON, EVERY SEVEN (7) CALENDAR DAYS DURING THE RAINY SEASON. INSPECTIONS SHALL ALSO BE MADE WITHIN 24 HOURS AFTER ANY STORM.

ALL HYDROSEEDED AREAS SHALL BE INSPECTED FOR SUFFICIENT COVER OVER THE EXPOSED SOIL AREAS. ALL GRAVEL SACKS SHALL BE INSPECTED FOR INTEGRITY AND PROPER REPAIR AND OPERATION, AND SHALL BE INSPECTED FOR PROPER PLACEMENT IN ACCORDANCE WITH THE DETAIL INCLUDED HEREIN. SILT IS PRESENT, THE SILT SHALL BE REMOVED TO THE ORIGINAL GRADE. IF ANY DISTURBED LANDSCAPE AREAS OR PREVIOUSLY VEGETATED AREAS HAVE BEEN DISTURBED, THE LANDSCAPING SHALL BE REPAIRED AND THE AREAS SHALL BE EITHER MULCHED, STRAW STABILIZED, OR SEEDED TO PROVIDE PROPER PROTECTION FROM EROSION.



NOTES:

1. FENCING SHALL BE ROGIDLY SUPPORTED AND MAINTAINED DURING ALL CONSTRUCTION PERIODS AT A MINIMUM HEIGHT OF 4' ABOVE GRADE.
2. AT NO TIME SHALL THE FENCING BE LOCATED CLOSER THAT 3' AWAY FROM THE OUTSIDE EDGE OF TRUNK OR FURTHER THAN 3' AWAY FROM THE APPROVED FOUNDATION, RETAINING WALL OR GRADE CUT, WHICHEVER PROVIDES THE GREATER DISTANCE FROM THE TREE TRUNK.

TREE PROTECTION

NTS



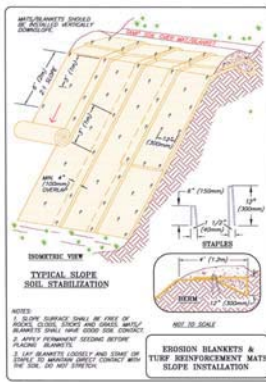
SEDIMENT LOG

NTS



GRAVEL ENTRANCE

NTS



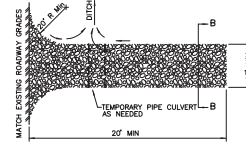
EROSION CONTROL MAT

NTS

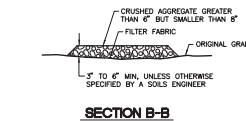


CHECK DAMS

NTS

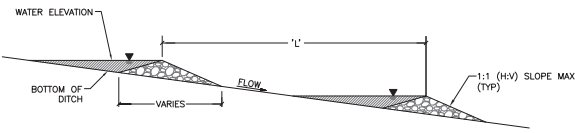


PLAN



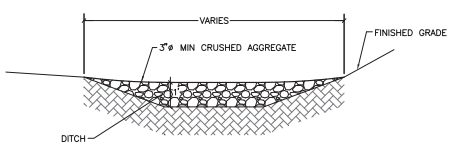
SECTION B-B

NOTE: CONSTRUCT SEDIMENT BARRIER AND CHANNELIZE RUNOFF TO SEDIMENT TRAPPING DEVICE.



CHECK DAM SPACING 'L' = (TOTAL DITCH LENGTH)/(NO. CHECK DAMS + 1)

FLOWLINE SECTION



SECTION



GIRL SCOUTS OF NORTHERN CALIFORNIA
 BUTANO CREEK
 NORTH COMMONS PROJECTS

1400 CANYON ROAD
 PESCADERO, CA 94060

Prepared For
 GIRL SCOUTS OF NORTHERN CALIFORNIA

7700 EDGEWATER DRIVE, SUITE 940
 CUNNINGHAM, CA 94621

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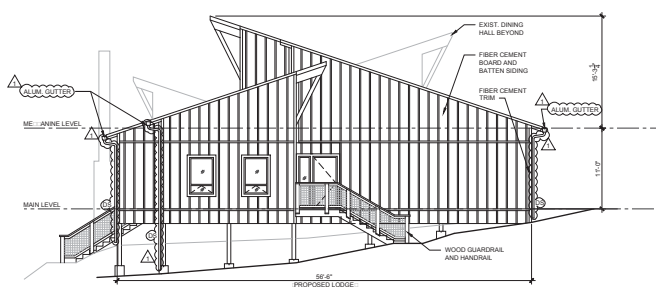
Issue	Date	Description
A	12/20/13	ENTITLEMENT PACKAGE

NORTH COMMONS
 EROSION CONTROL NOTES & DETAILS

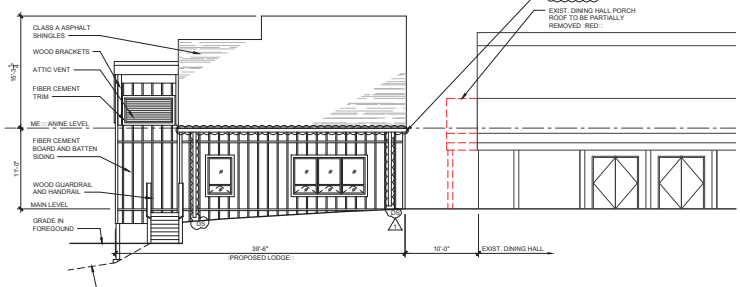
Project No. 2012038
 Project Manager: ...
 Drawing Coordinator: ...

C305

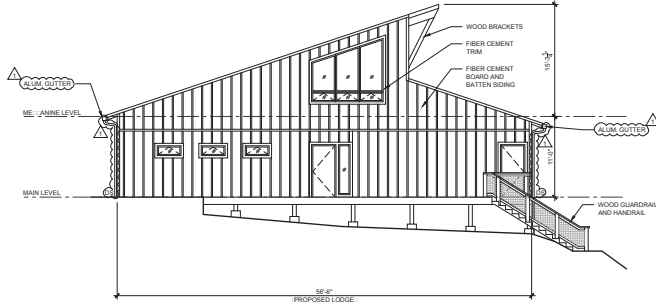
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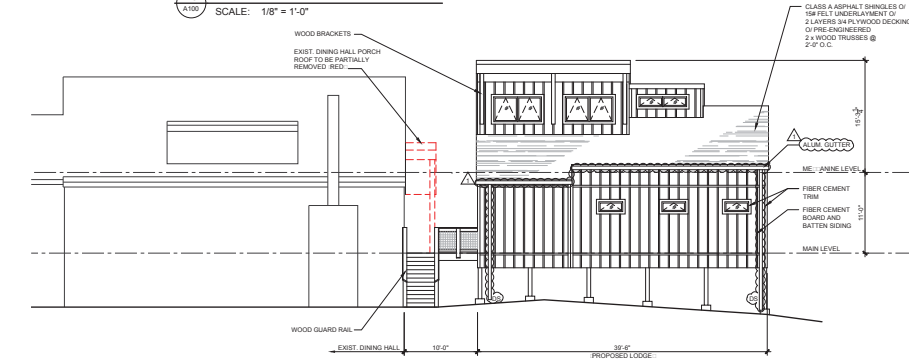
K2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



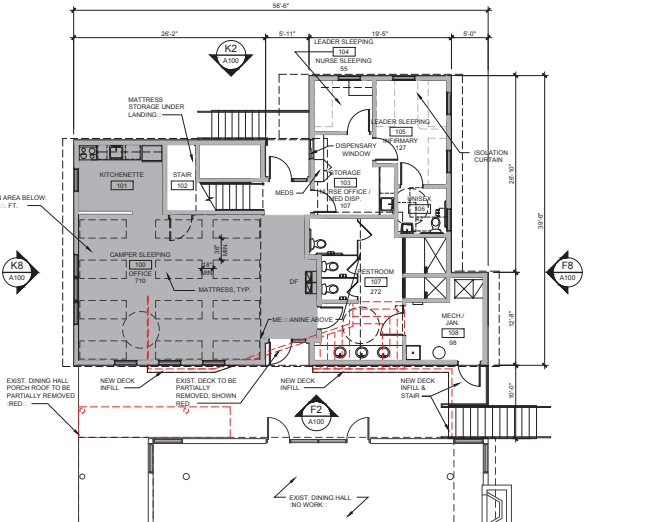
K8 EAST ELEVATION
SCALE: 1/8" = 1'-0"



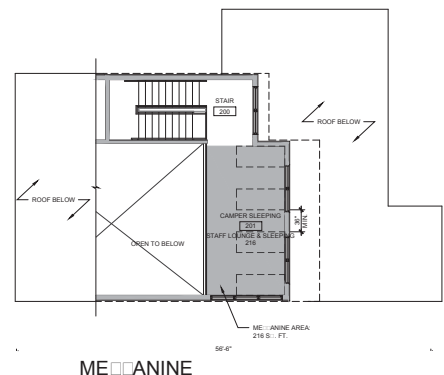
F2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



F8 WEST ELEVATION
SCALE: 1/8" = 1'-0"



A2 FLOOR PLAN
SCALE: 1/8" = 1'-0"



ME - ANNE FLOOR PLAN
SCALE: 1/8" = 1'-0"

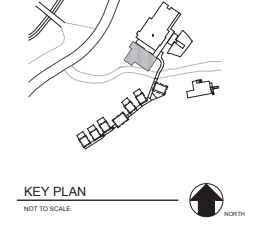
- GENERAL NOTES**
- ALL DEMOLITION OF EXISTING BLOWOUTS IS SHOWN IN DASHED RED LINES
 - ALL NEW BUILDINGS AND STRUCTURES SHALL CONFORM WITH CBC CHAPTER 7A
 - ACCESSIBILITY: SEE C102 TENT PLATFORM 1 AND 2. DINING HALL, ADDITION, COOKING SHELTER, AND RESTROOM BUILDING ARE ACCESSIBLE.
 - ALL WOOD DECKING TO BE REDWOOD OR CEDAR.
 - ALL NEW CONSTRUCTION IS TO BE FIRE SPRINKLERED IN ACCORDANCE WITH SAN MATEO FIRE DEPT. REGULATIONS AND MEETING NOTES DATED 12/17/13. AUTOMATIC SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13.
 - ALL ALUMINUM GUTTERS SHALL BE PROVIDED WITH INTEGRAL SCREEN TO PREVENT ACCUMULATION OF DEBRIS.

ROOM TAG KEY

OFF-SEASON USE: OFF
RESIDENT CAMP USE: CAMP
ROOM AREA: ROOM

AREAS

NET AREA	= 1,943 SF	CBC 440.3.2
GROSS AREA	= 1,633 SF	OCCUPANT LOAD
ME - ANNE	= 298 SF	50 SF/PERSON BED = 39
TOTAL	= 2,031 SF	ACTUAL ANTICIPATED = 20



GIRL SCOUTS OF NORTHERN CALIFORNIA
BUTANO CREEK
NORTH COMMONS PROJECTS
1400 CANYON ROAD
PESCADERO, CA 94060

Prepared For
GIRL SCOUTS OF NORTHERN CALIFORNIA
7700 EDGEWATER DRIVE, SUITE 340
OAKLAND, CA 94621

DOMOKUR ARCHITECTS

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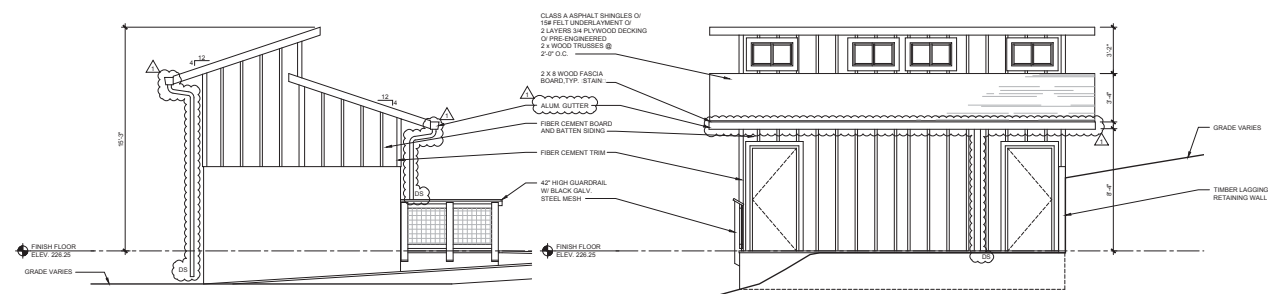
NORTH COMMONS LODGE PLANS AND ELEVATIONS

Project No: 2013036
Project Manager: LWC
Drawing Coordinator: LWC

A100

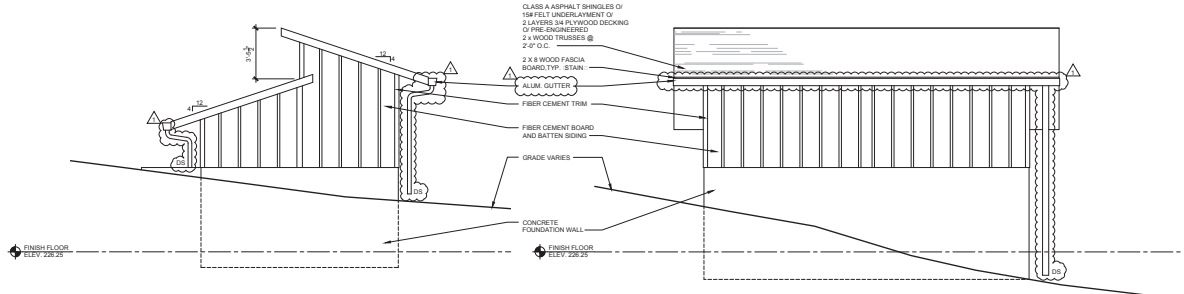
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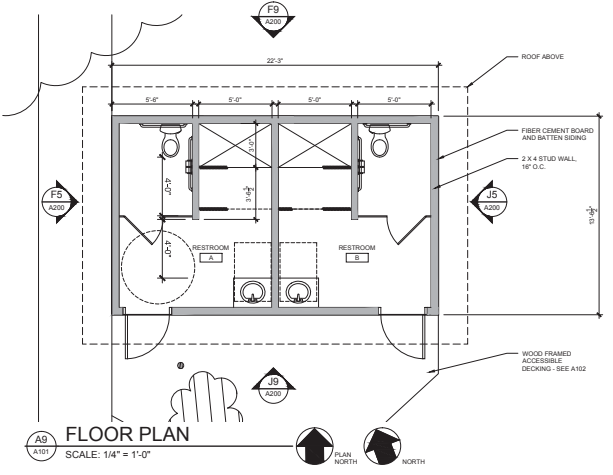
J5 WEST ELEVATION
SCALE: 1/4" = 1'-0"

J9 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



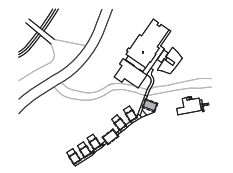
F5 EAST ELEVATION
SCALE: 1/4" = 1'-0"

F9 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



F5/F9 FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- A. ALL DEMOLITION OF EXISTING BLOWOUTS IS SHOWN IN DASHED RED LINES
 - B. ALL NEW BUILDINGS AND STRUCTURES SHALL CONFORM WITH CBC CHAPTER 7A
 - C. ACCESSIBILITY: SEE C102 TENT PLATFORM 1 AND 2, DINING HALL, ADDITION, COOKING SHELTER, AND RESTROOM BUILDING ARE ACCESSIBLE.
 - D. ALL WOOD DECKING TO BE REDWOOD OR CEDAR
 - E. ALL NEW CONSTRUCTION IS TO BE FIRE SPRINKLERED IN ACCORDANCE WITH SAN MATEO FIRE DEPT. REGULATIONS AND MEETING NOTES DATED 12.17.13. AUTOMATIC SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13.
 - F. ALL ALUMINUM GUTTERS SHALL BE PROVIDED W/ INTEGRAL SCREEN TO PREVENT ACCUMULATION OF DEBRIS.



KEY PLAN
NOT TO SCALE

GIRL SCOUTS OF NORTHERN CALIFORNIA
BUTANO CREEK
NORTH COMMONS PROJECTS
1400 CANYON ROAD
PESCADERO, CA 94060

Prepared For
GIRL SCOUTS OF NORTHERN CALIFORNIA
7700 EDGEWATER DRIVE, SUITE 340
OAKLAND, CA 94621

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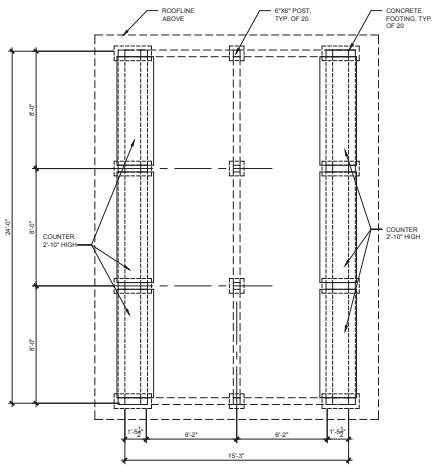
**RESTROOM BUILDING
PLANS AND ELEVATIONS**

Project No: 2013036
Project Manager: LMK
Drawing Coordinator: LMK

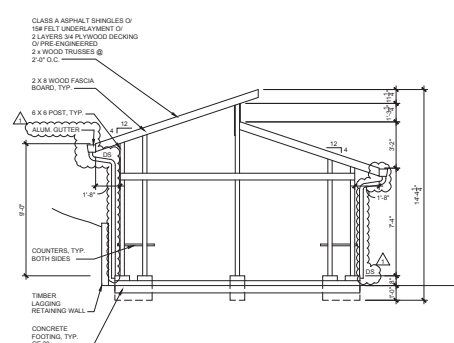
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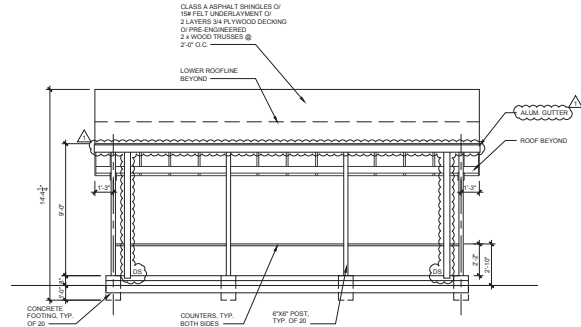
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FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

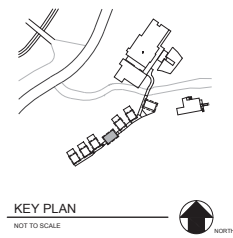


ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- A. ALL DEMOLITION OF EXISTING BLOWOUTS IS SHOWN IN DASHED RED LINES
 - B. ALL NEW BUILDINGS AND STRUCTURES SHALL CONFORM WITH CBC CHAPTER 7A
 - C. ACCESSIBILITY: SEE C102 TENT PLATFORM 1 AND 2, DINING HALL ADDITION, COOKING SHELTER, AND RESTROOM BUILDING ARE ACCESSIBLE.
 - D. ALL WOOD DECKING TO BE REDWOOD OR CEDAR.
 - E. ALL NEW CONSTRUCTION IS TO BE FIRE SPRINKLERED IN ACCORDANCE WITH SAN MATEO FIRE DEPT. REGULATIONS AND MEETING NOTES DATED 12-17-13. AUTOMATIC SPRINKLER SYSTEM SHALL COMPLY WITH NFPA 13.
 - F. ALL ALUMINUM GUTTERS SHALL BE PROVIDED W/ INTEGRAL SCREEN TO PREVENT ACCUMULATION OF DEBRIS.
- AREAS**
- NET AREA = 283 SF
 - GROSS AREA = 385 SF



GIRL SCOUTS OF NORTHERN CALIFORNIA
BUTANO CREEK
NORTH COMMONS PROJECTS
1400 CANYON ROAD
PESCADERO, CA 94060

Prepared For
GIRL SCOUTS OF NORTHERN CALIFORNIA

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COOKING SHELTER
FLOOR PLAN & ELEVATIONS

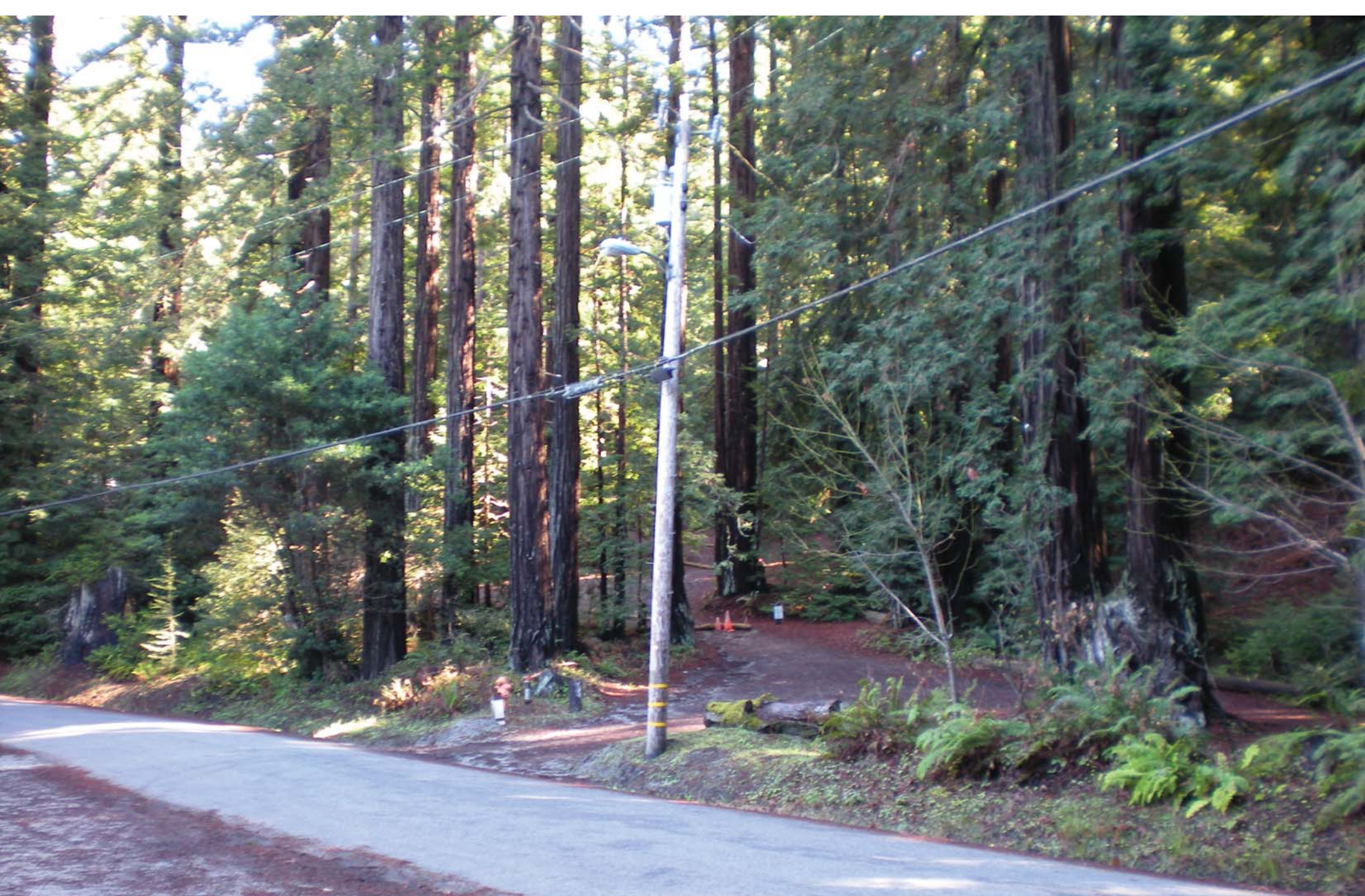
Project No: 2013036
Project Manager: LWK
Drawing Coordinator: LWK

A103

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Existing Buildings		Building Area SF	Capacity				Fixture Counts					Density Analysis			
			assembly	campers	staff	total campers & staff	sinks	toilets	drinking fountains	showers/tubs	Hose Bibs	Measuring Unit (MU)	MU per each DC	Density Credits (DC)	
Existing															
OPERATIONAL FACILITIES AND CAMPER HOUSING															
1	DINING HALL	3,560	x			136	10	6	1	1	4	136	420	0.3238	
2	MAINTENANCE BUILDINGS	1,000					1					NA	NA	0	
3	HUCKLEBERRY TENT PLATFORMS (4)	896		x	x	24			1			24	25.7	0.9339	
3a	HUCKLEBERRY TOILET HOUSE	300					3	3	1						
4	TOYON TENT PLATFORMS (5)	1,120		x	x	30			1			30	25.7	1.1673	
4a	TOYON TOILET HOUSE	300					3	3	1						
5	PENNY ROYAL CABIN	1,123		x	x	25			1			25	25.7	0.9728	
	5 PENNY ROYAL SHELTER (COOKING ONLY)	580													
6	SEQUOIA CABIN	1,123		x	x	25			1			25	25.7	0.9728	
	6 SEQUOIA SHELTER (COOKING ONLY)	580													
5a & 6a	PENNY ROYAL/SEQUOIA SHOWER HOUSE	198								9					
5a & 6a	PENNY ROYAL/SEQUOIA TOILET HOUSE	300					6	6							
7	REDWOOD CABIN	1,245		x	x	25	3	2		1	1	25	25.7	0.9728	
8	SAWMILL CABIN	375		x	x	20	1					20	51.2	0.3906	
9	LAUREL CABIN	2,538		x	x	34	4	3	1	2		34	25.7	1.323	
STAFF HOUSING															
10	CAMP MANAGER'S RESIDENCE (allowed under 1st density credit)	2,000				3	3	2			1			0	
TOTAL EXISTING		17,238	TOTAL CAPACITY				322	34	25	8	13	6			7.057

New Buildings to be Constructed												Density Analysis		
		Building Area	Capacity				Fixture Counts					Measuring Unit (MU)	MU per each DC	Density Credits (DC)
			assembly	campers	staff	total campers & staff	sinks	toilets	drinking fountains	showers/tubs	hose bibs			
Proposed Project	SF													
Proposed														
OPERATIONAL FACILITIES AND CAMPER HOUSING														
1	NEW CAMPING DORMITORY/LODGE	2,031		x	x	19	7	4	1	2		19	25.7	0.7392
2	TENT PLATFORMS (5)	1,820			x	20						20	25.7	0.7782
2a	NEW BATHROOM	300					2	2		2	1			
2b	COOKING SHELTER	385									1			
STAFF HOUSING														
PROPOSED		4,536	TOTAL CAPACITY			39	9	6	1	4	2			1.5174
												Allotted Density Credits for Property		2.0000
												*Density Credits of Existing Legal Camp (rounded up to nearest whole		7.0570
												*Density Credits for Proposed Demolition		-1.3230
												Subtotal of Density Credits		5.7340
												*Denisty Credits for Proposed Camp Improvements		1.5174
												*Density Credits for Existing & Proposed Camp Improvements		7.2514
*Pursuant to LCP Table 1.5														



**Looking towards North Commons Area
from Canyon Road**

02.13.2014

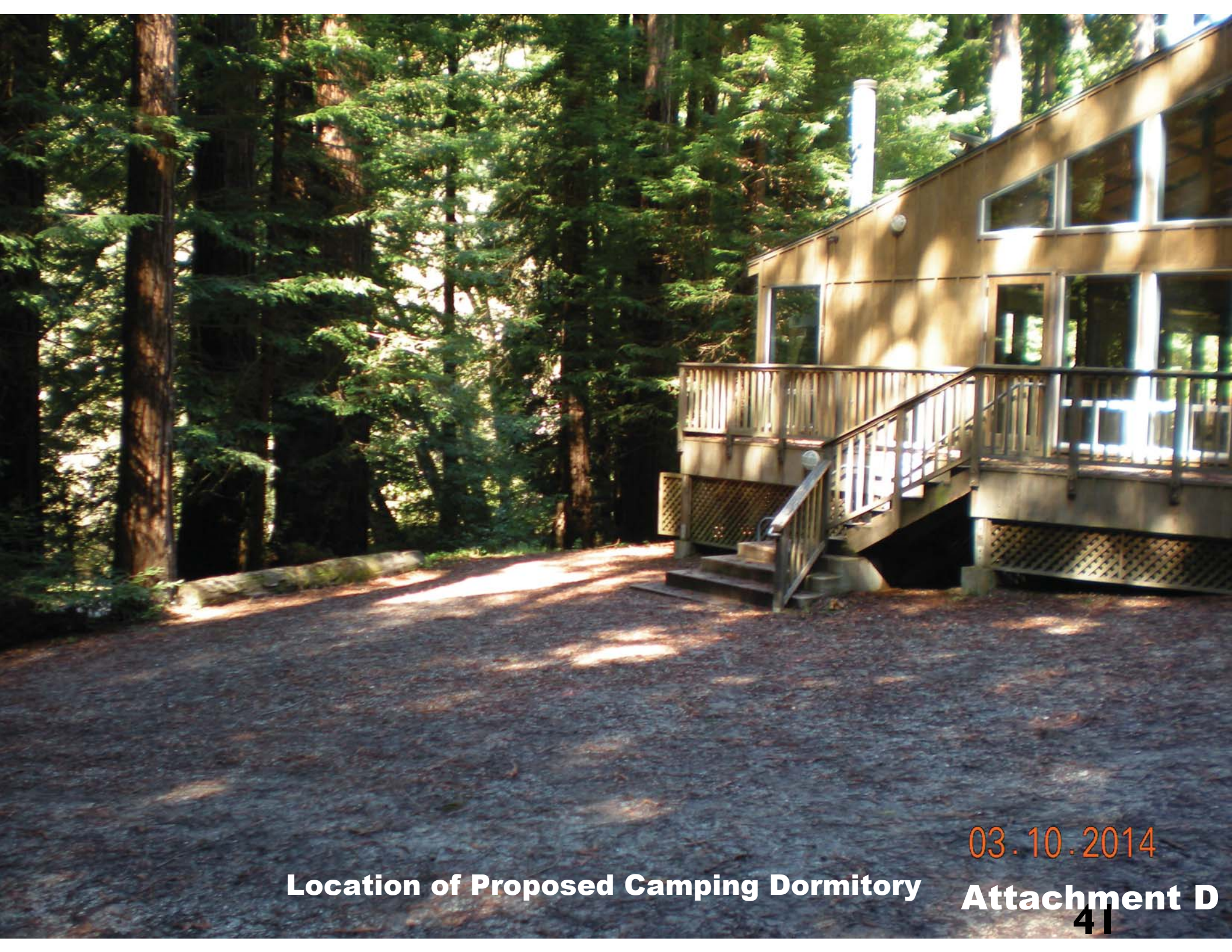
Attachment E



Attachment D

02.13.2014

Existing Dining Hall / Proposed Camping Dormitory Area



03.10.2014

Location of Proposed Camping Dormitory

Attachment D



Existing Dining Hall, View from Canyon Road

02.13.2014

Attachment D



03.10.2014

Looking towards area of proposed debris flow wall

Attachment D



Attachment D

03.10.2014

**View from proposed ADA Bathroom location
looking towards Canyon Road**



Attachment D

03.10.2014

View of proposed tent platform and cooking shelter area



Attachment D

03.10.2014

View of proposed tent platform and cooking shelter area

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County of San Mateo Planning & Building Department
Agricultural Advisory Committee

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Brenda Bonner BJ Burns Robert Cevalasco
Fred Crowder Louie Figone William Gass
Jim Howard Marilyn Johnson Teresa Kurtak
Peter Marchi Doniga Markegard Robert Marsh
Steven Rosen April Vargas

Meeting Minutes Regular Meeting November 12, 2013

- 1. Call to Order**
Robert Marsh, Committee Chairperson, called the Regular Meeting of the Agricultural Advisory Committee (AAC) to order at 7:04 p.m. at the San Mateo County Farm Bureau Conference Room in Half Moon Bay, California.

- 2. Member Roll Call**

Robert Marsh, AAC Chairman, called the roll. A quorum (a majority of the voting members) was present, as follows:

Regular Voting Members Present

Brenda Bonner
BJ Burns
Robert Cevalasco
Louie Figone
Peter Marchi
Robert Marsh

Regular Voting Members Absent

Marilyn Johnson
Teresa Kurtak
Doniga Markegard
April Vargas

Nonvoting Members Present

Virginia Lj Bolshakova
Fred Crowder
Bill Gass
Steven Rosen

- 3. Guest Roll Call**

Guests Present

Kerry Burke
Lorraine Burns
Ron Sturgeon
Jonathan Wittwer

4. Action Item: Granada Sanitary District Parks and Recreation Proposal

- 7:06 Bob Marsh updated the AAC about the state of the proposed Memorandum of Understanding between the San Mateo County Farm Bureau and the Granada Sanitary District.
- 7:10 The AAC discussed whether the GSD could act without the consent of the Farm Bureau.
- 7:17 Jonathan Wittwer joined the meeting and answered the question.
- 7:19 BJ Burns asked what would happen if GSD wanted to turn farmland into a park, and the Farm Bureau were opposed. Jonathan Wittwer answered that the GSD would have to find that farmland were protected, but that GSD could not give away its power to make decisions to the Farm Bureau.
- 7:24 Jonathan Wittwer discussed how Part 1 of the MOU forbids GSD from using eminent domain to take farmland for parks. He then addressed questions that stemmed from the language of the MOU being taken from that between the Farm Bureau and Midpeninsula Regional Open Space District.
- 7:29 Ron Sturgeon asked what the AAC's role in this process is. The AAC discussed this, and what recommendations it could possibly make to LAFCO.
- 7:42 Ron Sturgeon said that the MOU would be better if statements of support for the reorganization of GSD were changed to statements that the Farm Bureau did not oppose the reorganization. The AAC discussed this.
- 8:04 Kerry Burke pointed out that the MOU does not require that measures mitigating the impact of park development on farmland be provided by GSD.
- 8:10. Robert Cevasco said that the portion of the MOU regarding trails crossing cropland should be changed to forbid it.
- 8:19 Discussion of the item ended without the AAC taking action.

5. Consideration of the Minutes of the October 15, 2013, meeting.

- 8:20 BJ Burns moved to approve the minutes. Louie Figone seconded the motion. The motion was unanimously approved.

9:22 **Adjournment.**