

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1: 2,256

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning Permit 0270 Application Form

455 County Center, 2nd Floor • Redwood City CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: 2018-00270

BLE:

Applicant/Owner Information

Applicant: Pat Dalton
Mailing Address: 1414 Harbor Way South, Suite 190
Richmond, CA 94804
Phone, W: 925-818-8072 H:
E-mail Address: patrick.dalton@suppower.com FAX:

RECEIVED

AUG 02 2018
Zip:

San Mateo County
Planning Division

Name of Owner (1): Emily Humphreys
Mailing Address: 1626 Fairview St, Apt A
Berkeley, CA 94705
Zip:
Phone, W: 424-249-1958
H:
E-mail Address: emilyh2@alumai.stanford.edu

Name of Owner (2):
Mailing Address:
Zip:
Phone, W:
H:
E-mail Address:

Project Information

Project Location (address): 0 Vue de Mer Ave
Moss Beach, CA 94038

Assessor's Parcel Numbers: 037-155-090

Zoning: S17

Parcel/lot size: 3363 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

SINGLE FAMILY - TWO STORY HOUSE, ONE CAR GARAGE ON A
SUBSTANDARD SIZED PARCEL (3363 SF) WITH MINIMAL GRADING,
LOCATED ON 0 VUE DE MER AVE, MOSS BEACH - WHICH WILL
BE PRIMARY ACCESS. NO OTHER STRUCTURES ARE PROPOSED
IN ADDITION TO HOUSE/GARAGE.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

EXISTING SITE CONDITIONS CONSIST OF BRUSH VEGETATION,
SOME SMALL TREES AND TOPOGRAPHY THAT SLOPES
AWAY FROM STREET TO REAR OF PARCEL. HOUSE
LOCATION ALLOWS MINIMAL LOT DISTURBANCE AND WANT
TO MAINTAIN ALL EXISTING VEGETATION & GROWTH AT REAR SIDES/FRONT
OF PROPERTY AS MUCH AS POSSIBLE.

Describe Existing Structures and/or Development:

NO - EXISTING STRUCTURES OR DEVELOPMENT

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

Owner's signature:

Applicant's signature:

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2018-00070

Other Permit #: _____

Applicant:

Name: Pat Dalton

Address: 1414 Harbour Way South, Ste 190
Richmond, CA Zip: 94804

Phone, W: 925-818-8072 H: _____

Email: patrick.dalton@sunpower.com

Owner (if different from Applicant):

Name: Emily Humphreys

Address: 1626 Fairview St.
Berkeley CA Zip: 94703

Phone, W: 434-249-1908 H: _____

Email: emilyh2@alumni.stanford.edu

Architect or Designer (if different from Applicant):

Name: Leila Mashhoodi

Address: 945 Brentwood Ave, Vallejo, CA Zip: 94591

Phone, W: 925-658-2116 H: _____ Email: _____

Project Location Information

Project location:

APN: 037-155-080

Address: 0 Vue de Mer Ave
Moss Beach, CA Zip: 94038

Zoning: R-1/S-17/DR/CO

Parcel/lot size: 3,363 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

Project Description

Project:

- New Single Family Residence: 1257 total sq. ft.
- Addition to Residence: _____ sq. ft.
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

Small two story 5x46
Family house - Designed to
fit into natural surroundings
with little impact on natural
surroundings as possible.

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	WOOD SLACKTOWN - SHINGLES	NATURAL	<input type="checkbox"/>
b. Trim	RADIATA PINE	WHITE	<input type="checkbox"/>
c. Windows	VINYL	WHITE	<input type="checkbox"/>
d. Doors	WOOD CLAD / FIBERGLASS	WHITE	<input type="checkbox"/>
e. Roof	COMPOSITE	BLACK	<input type="checkbox"/>
f. Chimneys *	N/A		<input type="checkbox"/>
g. Decks & railings	WOOD / IPE / METAL RAIL	WHITE SKIRT - POSTS BLACK RAIL	<input type="checkbox"/>
h. Stairs	N/A		<input type="checkbox"/>
i. Retaining walls	N/A		<input type="checkbox"/>
j. Fences	N/A		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	WOOD SLACKTOWN - SHINGLES RADIATA TRIM	NATURAL WHITE	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: Andy Walker Applicant: [Signature]

Date: 7/16/18 Date: 7/16/18

Environmental Information Disclosure Form

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PLN 2018-00270

JUL 19 2018 BLD

Project Address: 0 View
Moss Beach
CA 94038

San Mateo County
 Planning and Building Department

Name of Owner: Emily Humphreys
 Address: 1626 Fairview St, Apt A
Berkeley, CA 94703 Phone: 434-249-1908

Assessor's Parcel No.: 037 - 155 - 080

Name of Applicant: Pat Dalton
 Address: 14A Harbour Way South, Ste 101
Richmond, CA 94804 Phone: 925-818-8072

Zoning District: R-1/S17/DR/CO

Existing Site Conditions

Parcel size: 3363

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	X	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

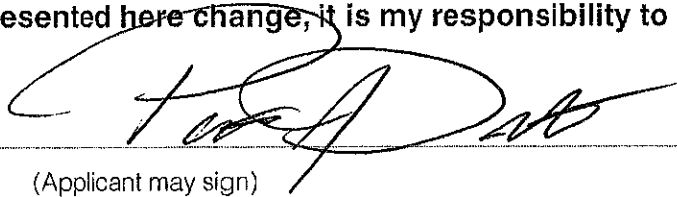
3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	X	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. Land disturbance of 1 acre or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

PERMITTING

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date:

7/16/12

Application for a Coastal Development Permit

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Companion Page

JUL 19 2018

Applicant's Name: Pat Dalton

Primary Permit #: PLN 2018-00270

1. Instructions

San Mateo County
 Planning and Building Department

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	WOOD SHAKE/TOU or SHINGLES	NATURAL	<input type="checkbox"/>
b. Trim	RADIATA PINE	WHITE	<input type="checkbox"/>
c. Roof	COMPOSITE	BLACK	<input type="checkbox"/>
d. Chimneys	N/A		<input type="checkbox"/>
e. Accessory Buildings	N/A		<input type="checkbox"/>
f. Decks/Stairs	WOOD/ IPE / METAL RAIL	WHITE SKIRT BLACK RAIL	<input type="checkbox"/>
g. Retaining Walls	N/A		<input type="checkbox"/>
h. Fences	N/A		<input type="checkbox"/>
i. Storage Tanks	N/A		<input type="checkbox"/>

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

UTILITY = POWER FROM POLE OVERHEAD, SEWER - WATER - GAS UNDERGROUND.

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

Yes No
- Construction or grading within 100 feet of a stream or wetland?

Yes No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

Yes No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

455 County Center, 2nd Floor, Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Zoning Nonconformity Use Permit

RECEIVED

JUL 19 2018

Applicant's Name: TAT DALTON

Primary Permit #: PLN2018-00270

Companion Page **San Mateo County Planning and Building Department**

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: R1/S17/02/10

Existing nonconformity: 315 FT. SET BACKS, 33.5% COVERAGE
(Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: 3363

Proposed nonconformity: GARAGE DEPTH 29'-4" w/ WASH & DRYER - w/4 ENCROACHMENT

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The County must make four additional findings for projects involving substandard parcels:

- | | |
|---|--|
| <ol style="list-style-type: none"> 2. The proposed development is proportioned to the size of the parcel on which it is being built. 3. All opportunities to acquire additional contiguous land have been investigated. | <ol style="list-style-type: none"> 4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. 5. Use permit approval does not constitute a granting of special privileges. |
|---|--|

Write a brief statement in which you present evidence to support the required findings.

THE PROPOSED HOME IS IN PROPORTION TO THE LOT BY PUSHING SECOND STORY TO BACK OF HOUSE AND DETAILING ALTERNATE GABLE LIGHTS & HAS COVERAGE OF 33.5% THE OWNER CONTACTED THE LAND OWNER NEXT TO SAID PROPERTY AND IT IS IN AT LEAST CURRENTLY NOT FOR SALE, THE OTHER SIDE IS OWNED BY ARCHDIOCESE NOT FOR SALE TRIED TO BE IN CONFORMANCE GIVEN THE LOT CONSTRAINTS.

**OWNER/DEVELOPER
DRAWING NOTE**

TYPICAL OWNER/DEVELOPER BUILDING PERMIT SET OF DRAWINGS:

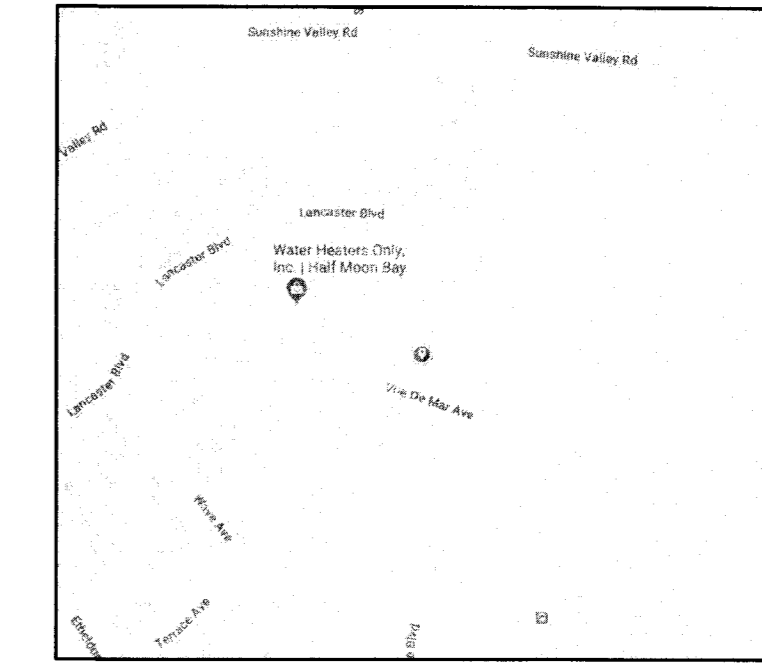
THESE DRAWINGS ARE INTENDED FOR BUILDING PERMIT APPROVAL AND ARE NOT INTENDED TO BE A COMPREHENSIVE SET OF DRAWINGS INDICATING SPECIFIC CABINETRY, PAINT COLORS, SPECIFIC PLUMBING FIXTURES, LIGHTING FIXTURES, INTERIOR FINISHES, DOOR & WINDOW HARDWARE, INTERIOR & EXTERIOR DETAILS OR FINISH CARPENTRY (STAIR RAILS, ETC.) OWNER/DEVELOPER IS RESPONSIBLE FOR THE SELECTION OF THESE ITEMS AND CLARIFICATION AND COORDINATION OF THESE WITH THE CONTRACTOR AS PART OF THE BUILDING CONTRACT AND CONSTRUCTION PROCESS. ADDITIONAL DETAILS, DRAWINGS AND COORDINATION MAY BE PROVIDED BY THE DESIGNER AS AN ADDITIONAL SERVICE AND BE CONSIDERED AN ADDENDUM TO THE BUILDING PERMIT SET OF DRAWINGS IF REQUESTED BY OWNER.

NEW RESIDENCE

0 Vue De Mer Ave, Moss Beach, CA 94038

APN: 037-155-080

VICINITY MAP



SYMBOL LEGEND

- HEIGHT
- SECTION
- DETAIL
- GRID LINE
- DOOR
- WINDOW

GENERAL NOTES

1. REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT ALL WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE DESIGNER OF RECORD FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH ASSOCIATED WORK.
2. IN CASE OF CONFLICT BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS, THE ARCHITECTURAL DOCUMENTS SHALL GOVERN FOR LOCAL PURPOSES. INFORM THE DESIGNER OF RECORD IN WRITING OF ALL DISCREPANCIES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES STATUTES AND REGULATIONS HAVING JURISDICTION OVER THE BUILDING SITE.
4. SECURE AND CONTROL ACCESS TO THE SITE AND ALL AREAS OF CONSTRUCTION AND ENFORCE ALL REQUIRED RULES OF SAFETY.
5. THESE DOCUMENTS ARE COMPLIMENTARY. WHAT IS SHOWN OR REFERRED TO ON ANY DRAWING SHALL BE PROVIDED AS IF SHOWN ON ALL.
6. THOSE MATERIALS IN THESE DOCUMENTS WHICH ARE SPECIFIED BY BRAND NAME ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ALL REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR DESIGNER APPROVAL AND SUCH SUBMISSIONS SHALL NOT BE A CAUSE FOR DELAY OF THE PROJECT.
7. MAINTAIN A COMPLETE AND CURRENT SET OF ALL CONSTRUCTION DOCUMENTS, SUBMITTALS, AND CLARIFICATIONS ON THE JOBSITE AT ALL TIMES.
8. ALL DIMENSIONS ARE GIVEN TO FACE OF STUD UNLESS OTHERWISE NOTED. ELEVATION OF FLOOR DECK AND ROOF LEVELS ARE GIVEN TO FINISH FLOOR U.O.N. ALLOW 3/4" THICKNESS FOR FLOOR FINISH MATERIAL TYPICAL.
9. ALL WORK SHOWN ON THE DRAWINGS IS NEW UNLESS OTHERWISE NOTED.

CODE COMPLIANCE

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA ENERGY CODE (CEES)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA FIRE CODE (CFC)

PROJECT INFORMATION

ZONING: S-17
 LOT SIZE: 3,363 SF
 CONSTRUCTION: TYPE 5 UNPROTECTED WOOD FRAME
 BUILDING OCCUPANCY: SINGLE FAMILY RESIDENCE
 BUILDING TO BE PROTECTED BY AUTOMATIC FIRE SPRINKLER SYSTEM
 PROPOSED HOUSE: 1,257 SF + 260 SF GARAGE + 48 SF DECK
 FOOTPRINT: 1,127 SF
 PARCEL COVERAGE AREA MAX: 1,177 SF (35%)
 PARCEL COVERAGE AREA PROPOSED: 1,175 SF (34.9%)
 BUILDING FLOOR AREA MAX: 1,614 SF (48%)
 BUILDING FLOOR AREA PROPOSED: 1,565 SF (46.5%)

DESCRIPTION OF WORK

NEW 1,288 SF TWO STORY HOUSE WITH 1-CAR GARAGE.

SHEET INDEX

- A1.0 SITE PLAN
- A1.1 GRAPHIC CALCULATIONS
- A2.0 FLOOR PLANS & ROOF PLAN
- A3.0 ELEVATIONS
- A4.0 SECTION, MATERIALS, & WINDOW/DOOR SCHEDULE
- A5.0 TITLE 24 PART 1
- A5.1 TITLE 24 PART 2

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NOV 29 2018

San Mateo County
 Planning Division

NEW RESIDENCE

PROJECT ADDRESS:
 0 Vue De Mer Ave
 Moss Beach, CA 94038

OWNER:
 Emily Humphreys
 (434) 249-1908

PROJECT
 INFORMATION
 & SITE PLAN

REVISION

No.	Description	Date
1	PLAN CHECK	7/1/18
2	PLAN CHECK	7/18/18
3	PLANNING	8/13/18
4	PLANNING	11/5/18
5	PLANNING	11/18/18

PROJECT No.:

DRAWN BY: LPM

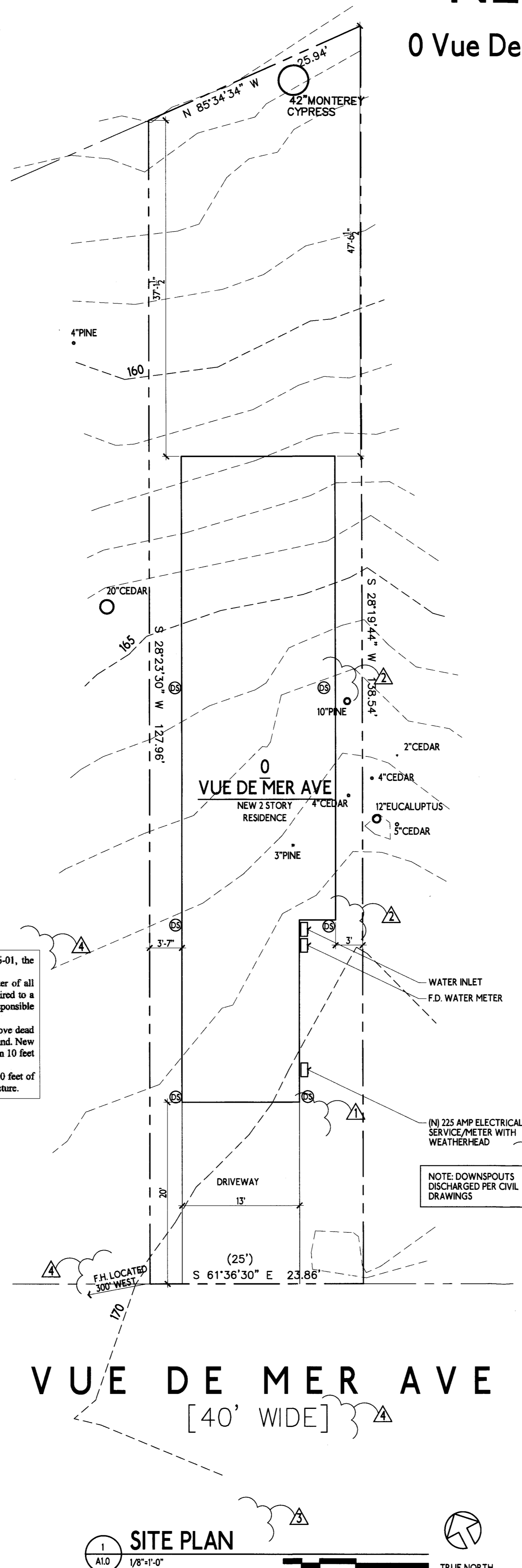
CHECKED BY: LPM

DATE: 11/18/18

A1.0

Vegetation Management: The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code and Public Resources Code 4291.

- o A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line.
- o Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
- o Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.



VUE DE MER AVE
 [40' WIDE]

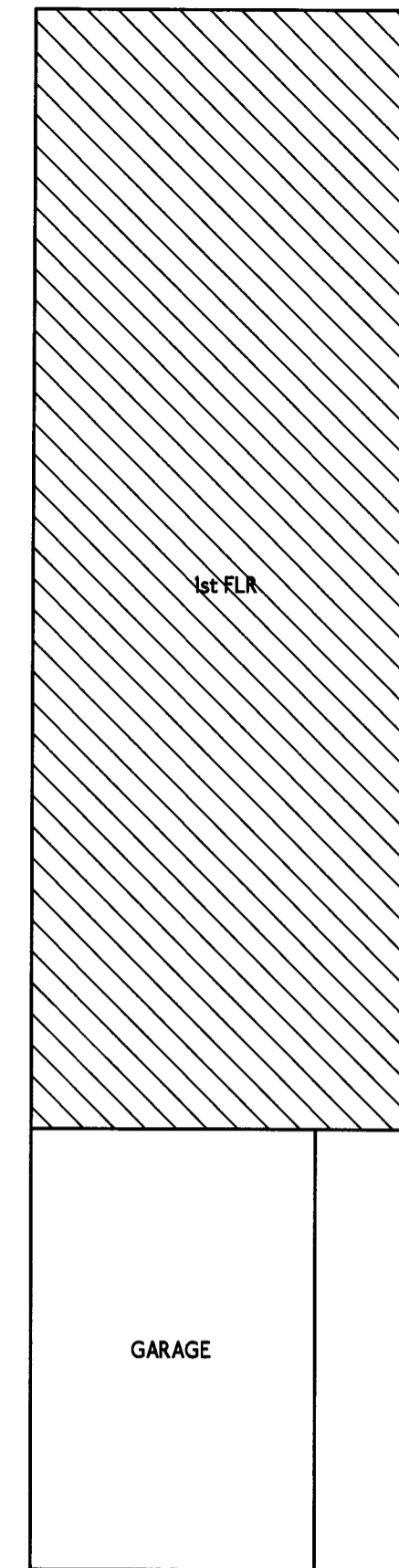
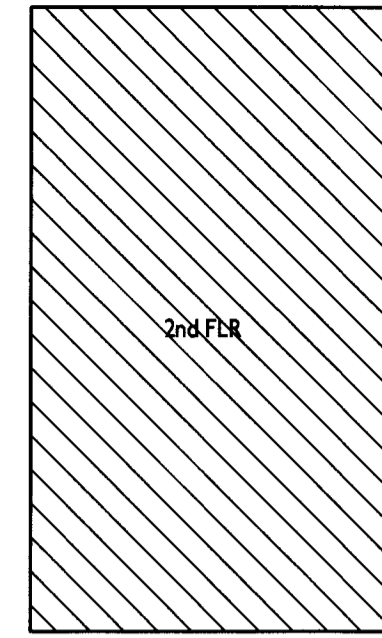
SITE PLAN
 1/8"=1'-0"
 0 2 4 8 16
 TRUE NORTH

NOTE: FACADE ARTICULATION APPROACH APPLIED

PLN2018-00270

PROPOSED FLOOR AREA RATIO

LOT SIZE	3,363 SF
2ND FLOOR	390 SF
1ST FLOOR	867 SF
TOTAL	1,257 SF = 37.3%

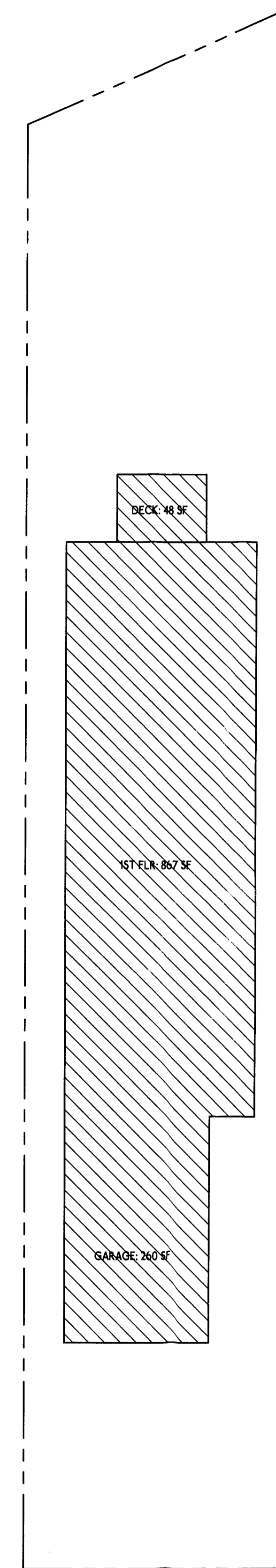


2
A1.1 1/8"=1'-0" 0 2 4 8 16' TRUE NORTH

2
A1.1 1/8"=1'-0" 0 2 4 8 16' TRUE NORTH

LOT COVERAGE

LOT SIZE	3,363 SF
PROPOSED STRUCTURE	
1st FLOOR	867 SF
DECK	48 SF
GARAGE	260 SF
TOTAL	1,175 SF = 34.9%



1
A1.1 1/8"=1'-0" 0 2 4 8 16' TRUE NORTH

Leila Mashhoodi
Design & Development
945 Brentwood Ave
Vallejo, CA 94591
(925) 658-2116

NEW RESIDENCE

PROJECT ADDRESS:
0 Vue De Mer Ave
Moss Beach, CA 94038

OWNER:
Emily Humphreys
(434) 249-1908

GRAPHIC CALCULATIONS

REVISION

No.	Description	Date
△	PLAN CHECK	7/1/18
△	PLAN CHECK	7/18/18
△	PLANNING	8/13/18
△	PLANNING	11/5/18
△	PLANNING	11/18/18

PROJECT No. :
DRAWN BY: LPM
CHECKED BY: LPM
DATE: 11/18/18

A1.1

NOTES:

SMOKE ALARM/DETECTOR TO BE HARD WIRED, INTERCONNECTED, OR WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND NFPA 72

Add Note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.

Occupancy Separation: As per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.

Occupancy Separation: As per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.

STORAGE UNDER STAIRS: Provide 3/4" type X gyp bd under stairs at storage area typ.

Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.

Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.

Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.

Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Roofs and roof edges: CBC 705A / CRC R337.5

A noncombustible (tile or metal) or Class 'A' roofing assembly is required in SRA - Very High Fire Hazard Severity Zones. All other areas in Santa Cruz County require a Class 'B' minimum roofing assembly, including LRA, SRA-Moderate or SRA-High areas.

Where the roof profile allows a space between the roof covering and the roof decking, the spaces shall be constructed to prevent the intrusion of flames and embers; be firestopped with approved materials; or have one layer of No. 72 cap sheet installed over the combustible decking. Where provided, valley flashing must be not less than 26 gauge galvanized sheet metal over a 36-inch wide No. 72 ASTM cap sheet.

Exterior Walls/siding: CBC 707A.3 / CRC R337.7.3

Noncombustible, listed ignition-resistant materials, heavy timber, 5/8" Type X gypsum sheathing behind exterior covering, exterior portion of 1-hr assembly or log wall construction is allowed. The OSFM website (see link above) lists many types of exterior wall coverings that are approved.

Note: Ignition-resistant materials are those tested by a facility recognized by the SFM or ICC-Evaluation Service to have a flame-spread rating not over 25, and comply with accelerated weathering tests.

Eaves and porch ceilings: CBC 707A.4, A.6 / CRC 337.7.4, R337.7.6

The exposed roof deck under unenclosed eaves and underside of porch ceilings shall be noncombustible, listed ignition-resistant materials, or 5/8" Type X gypsum sheathing behind exterior covering.

Solid wood rafter tails on the exposed underside of roof eaves having a minimum 2" nominal dimension may be unprotected.

Vents: CBC 706A / CRC R337.6

Attic vents and underfloor vent openings must resist the intrusion of flame and embers or shall be a minimum of 1/16" and maximum 1/8" corrosion-resistant, noncombustible wire mesh or equivalent. Combustible vents on top of roofs may be covered with this material to comply. Ventilation openings on the underside of eaves are not permitted, unless a SFM approved vent is installed, or eaves are fire sprinklered, or vent is 12 feet above a walking surface or grade below.

Windows and exterior doors: CBC 708A / CRC R337.8

Windows must be insulated glass with a minimum of 1 tempered pane or 20 min rated or glass block. Exterior doors must be noncombustible or ignition resistant material or 1 3/8" solid core, or have a 20 min fire-resistance rating.

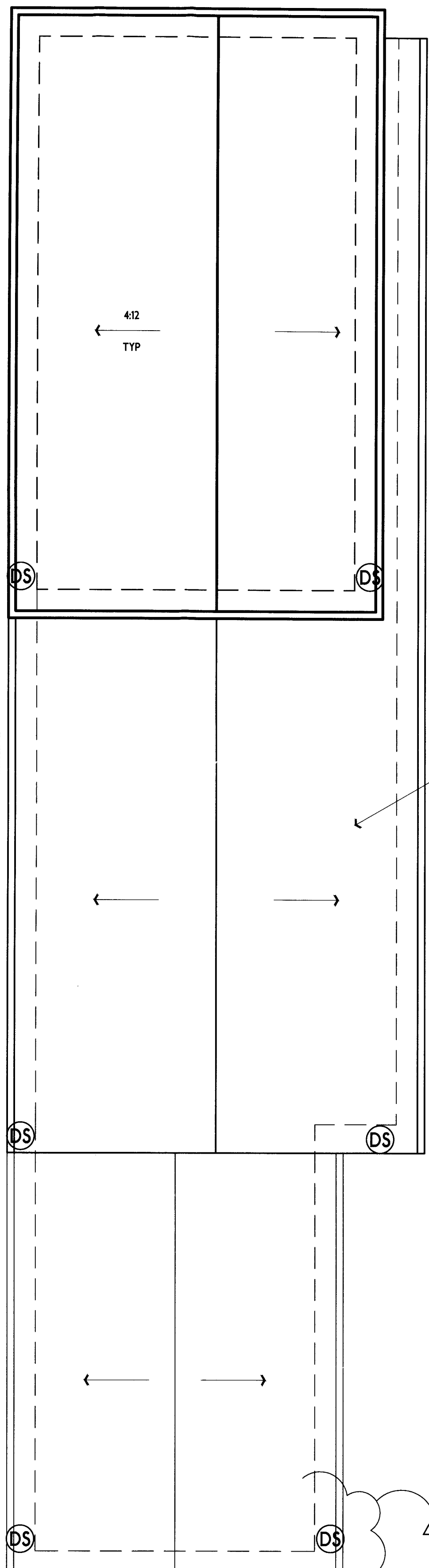
Exterior decking and stairs: CBC 709A / CRC R337.9

Walking surfaces of decks, porches, balconies and stairs within 10 feet of the building must be constructed of noncombustible, fire-retardant treated or heavy-timber construction. Alternate materials can be used if they are ignition-resistant and pass performance requirements specified by the State Fire Marshal.

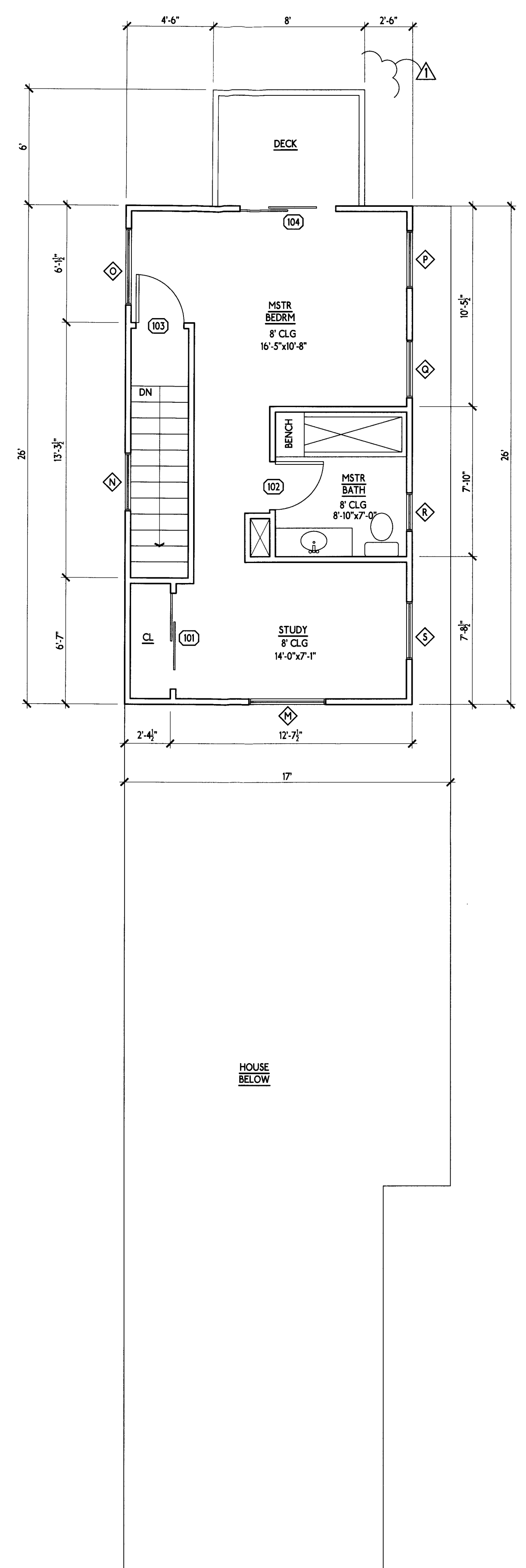
Underfloor and appendages: CBC 707A.8 / CRC R337.7.8

Exposed underfloors, underside of cantilevered and overhanging decks, balconies and similar appendages shall be non-combustible, ignition resistant, 5/8" Type X gypsum sheathing behind exterior covering, exterior portion of 1-hr assembly, meet performance criteria SFM Standard 12-7A-3 or be enclosed to grade.

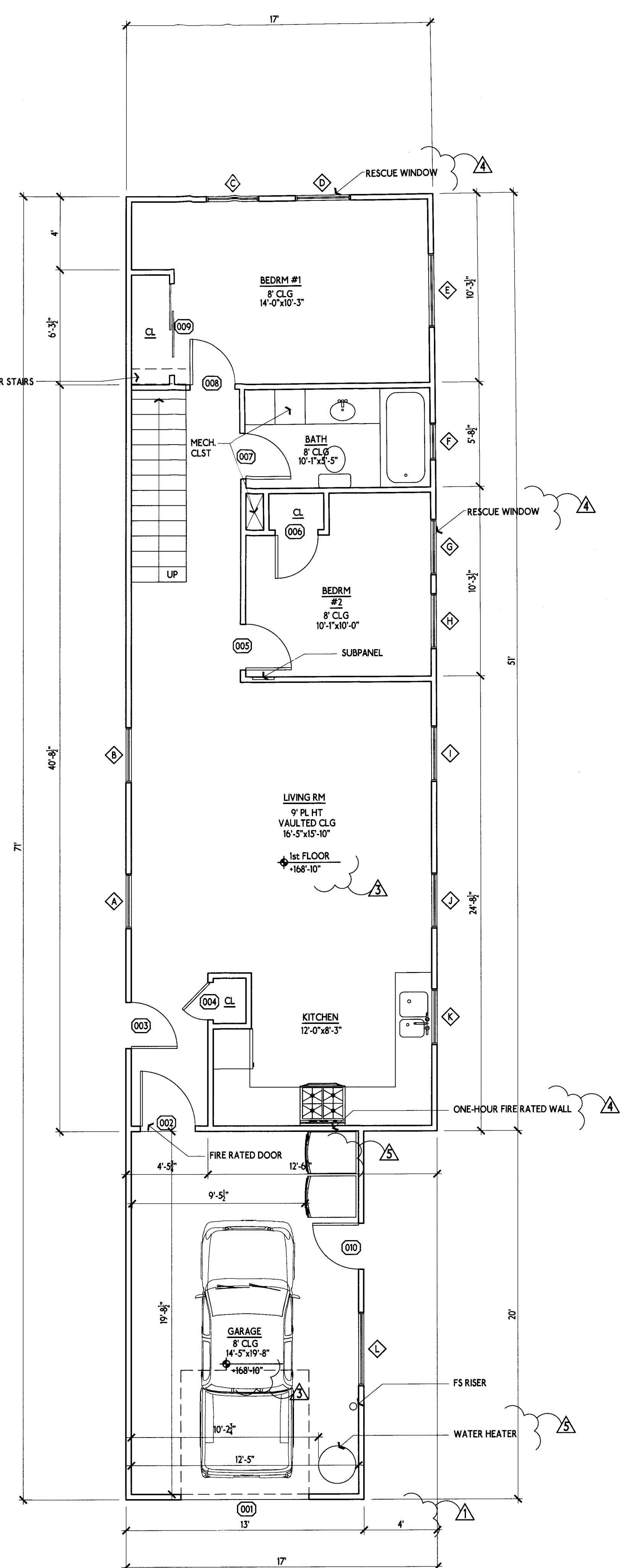
WINDOWS TO BE TUSCANY SERIES WITH TEMPERED PANE - 20 MINUTE RATED
EXTERIOR DOORS-20 MINUTE RATED
ALL VENTS-VULCAN FIRE RATED FOR FOUNDATION AND EAVE VENTS



3 ROOF PLAN
A2.0 1/4"=1'-0"
0 1' 2' 4' 8' TRUE NORTH



2 2nd FLOOR PLAN
A2.0 1/4"=1'-0" 2nd FLOOR: 390 SF
0 1' 2' 4' 8' TRUE NORTH



1 1st FLOOR PLAN
A2.0 1/4"=1'-0" 1st FLOOR: 867 SF
GARAGE: 260 SF
TOTAL HOUSE: 1,257 SF
0 1' 2' 4' 8' TRUE NORTH

Leila Mashhoodi
Design & Development
945 Brentwood Ave
Vallejo, CA 94591
(925) 658-2116

NEW RESIDENCE

PROJECT ADDRESS:
0 Vue De Mer Ave
Moss Beach, CA 94038

OWNER:
Emily Humphreys
(434) 249-1908

FLOOR PLANS & ROOF PLAN

REVISION

No.	Description	Date
△	PLAN CHECK	7/1/18
△	PLAN CHECK	7/18/18
△	PLANNING	8/13/18
△	PLANNING	11/5/18
△	PLANNING	11/18/18

PROJECT No. :
DRAWN BY: LPM
CHECKED BY: LPM
DATE: 11/18/18

A2.0

Leila Mashoodi
Design & Development
945 Brentwood Ave
Vallejo, CA 94591
(925) 658-2116

NEW RESIDENCE

PROJECT ADDRESS:
0 Vue De Mer Ave
Moss Beach, CA 94038

OWNER:
Emily Humphreys
(434) 249-1908

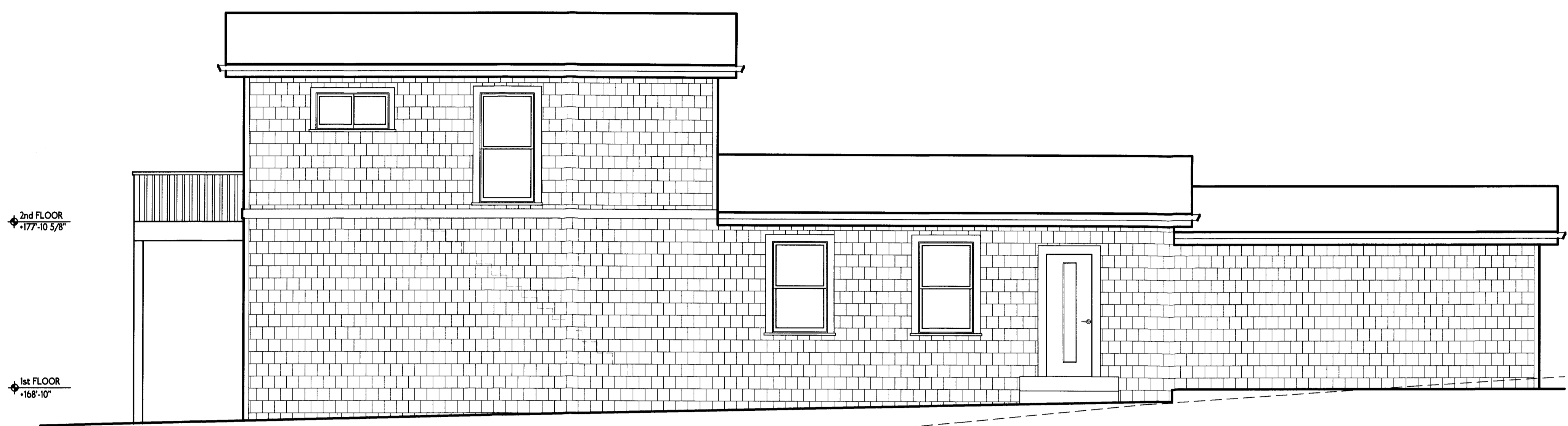
ELEVATIONS

REVISION

No.	Description	Date
△	PLAN CHECK	7/1/18
△	PLAN CHECK	7/18/18
△	PLANNING	8/13/18
△	PLANNING	11/5/18
△	PLANNING	11/18/18

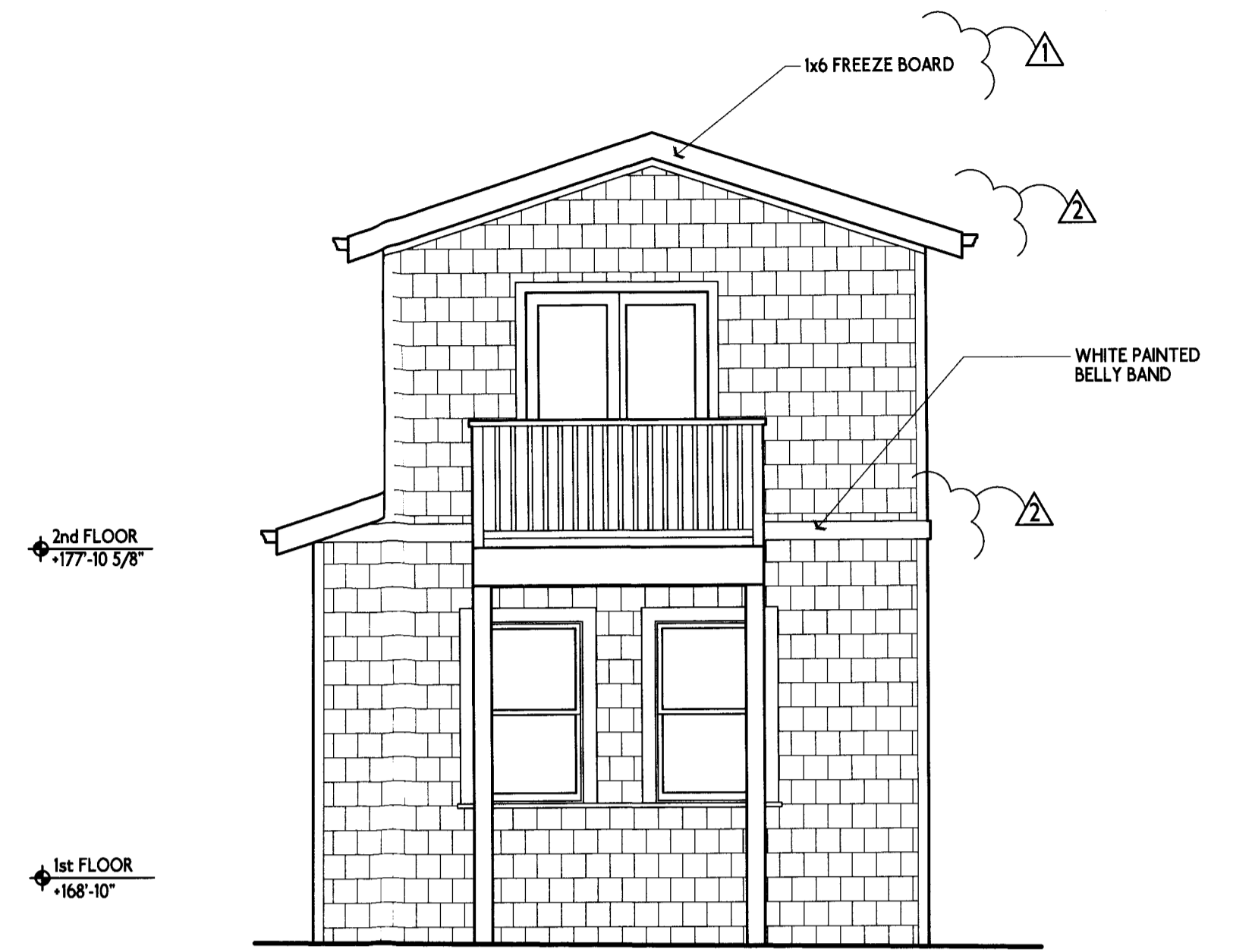
PROJECT No. :
DRAWN BY: LPM
CHECKED BY: LPM
DATE: 11/18/18

A3.0



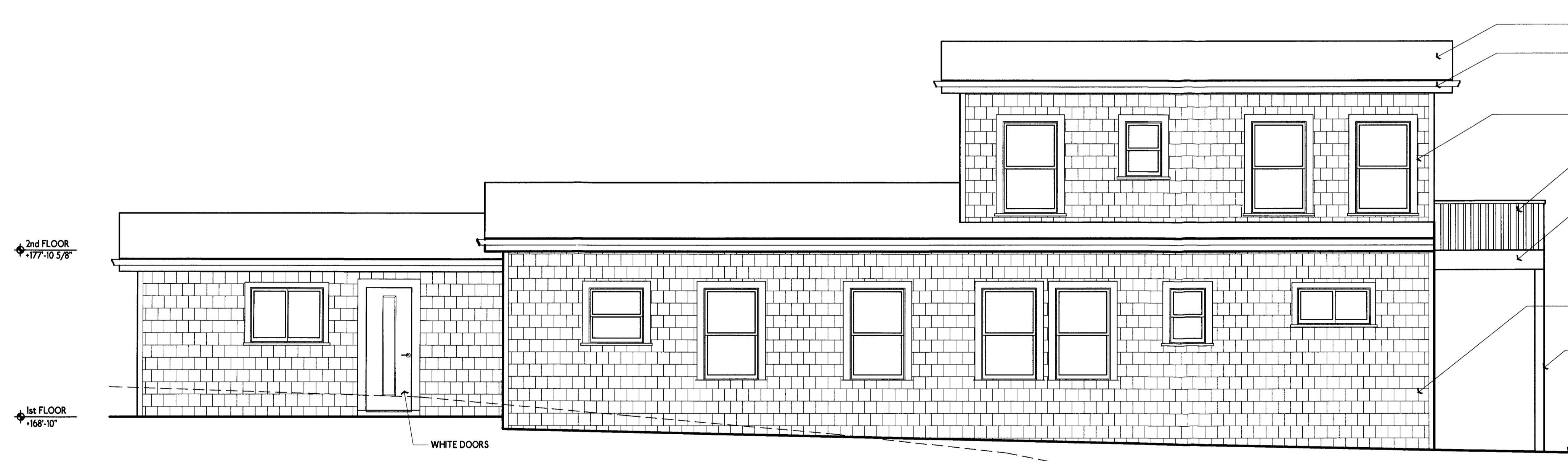
4 LEFT (WEST) ELEVATION
A3.0 1/4"=1'-0"

NOTE: FACADE ARTICULATION APPROACH APPLIED



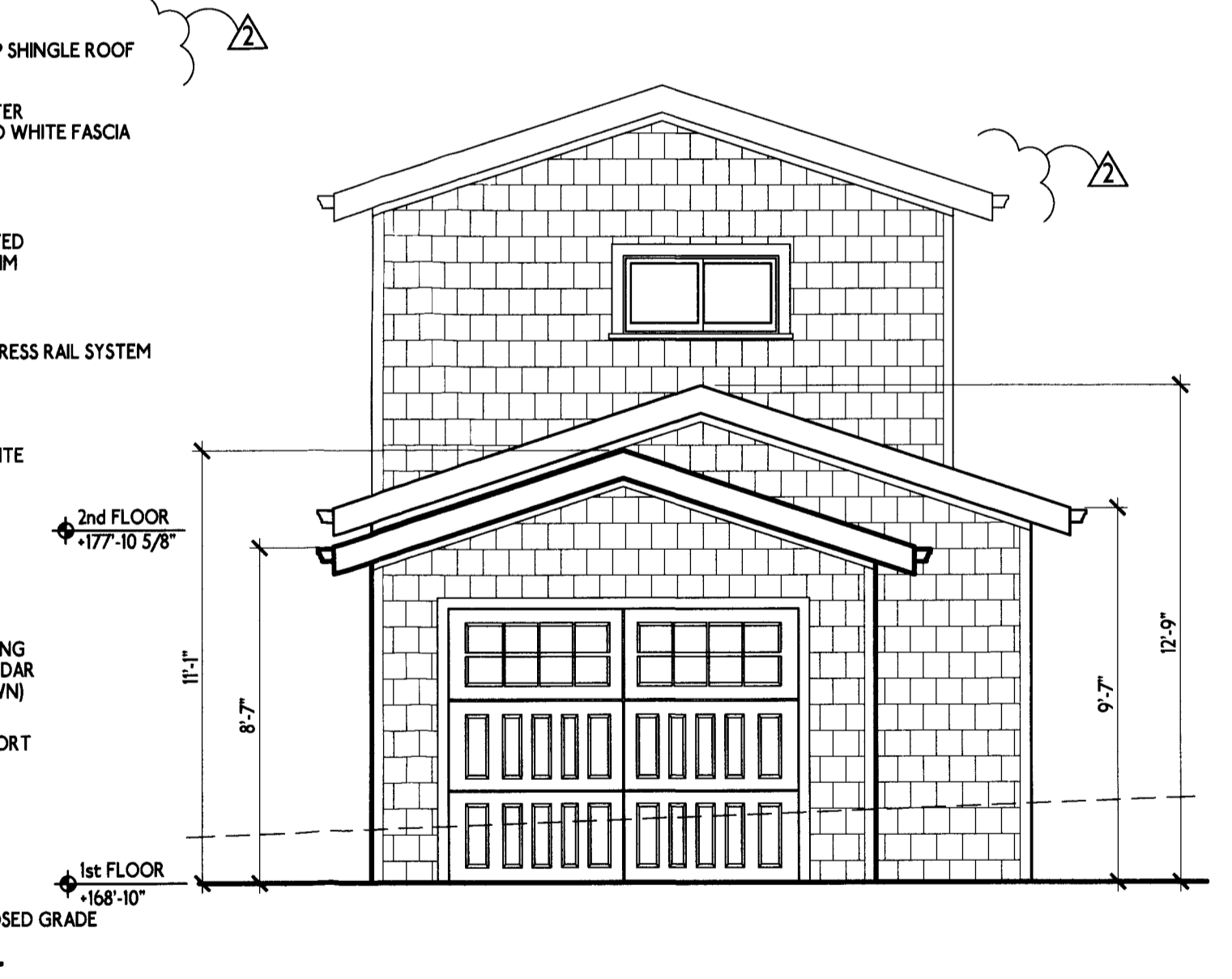
3 REAR (NORTH) ELEVATION
A3.0 1/4"=1'-0"

NOTE: FACADE ARTICULATION APPROACH APPLIED



2 RIGHT (EAST) ELEVATION
A3.0 1/4"=1'-0"


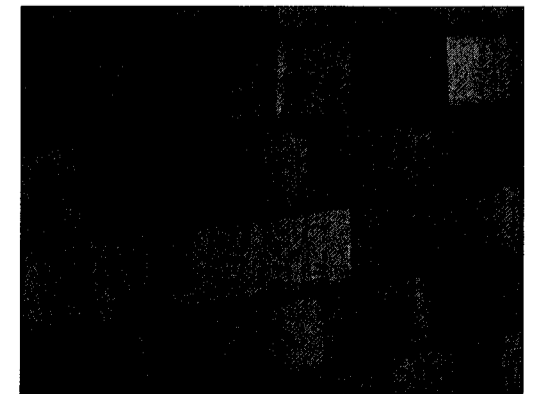
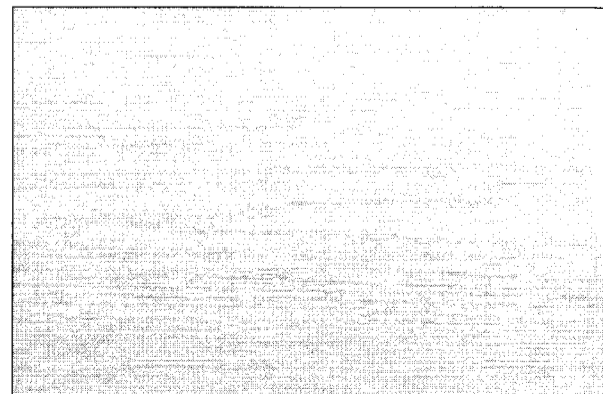
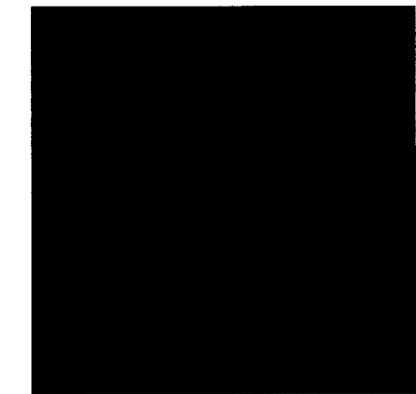
NOTE: FACADE ARTICULATION APPROACH APPLIED



1 FRONT (SOUTH) ELEVATION
A3.0 1/4"=1'-0"

NOTE: FACADE ARTICULATION APPROACH APPLIED

MATERIAL/COLOR SWATCHES

			
BLACK COMP SHINGLE ROOF	SHINGLE SIDING NATURAL CEDAR (SHAKER TOWN)	WHITE PAINTED TRIM NOTE: ALL TRIM TO BE RADIATA PINE	BLACK FORTRESS RAIL SYSTEM RAILING

Leila Mashhoodi
Design & Development
945 Brentwood Ave
Vallejo, CA 94591
(925) 658-2116

NEW RESIDENCE

PROJECT ADDRESS:
0 Vue De Mer Ave
Moss Beach, CA 94038

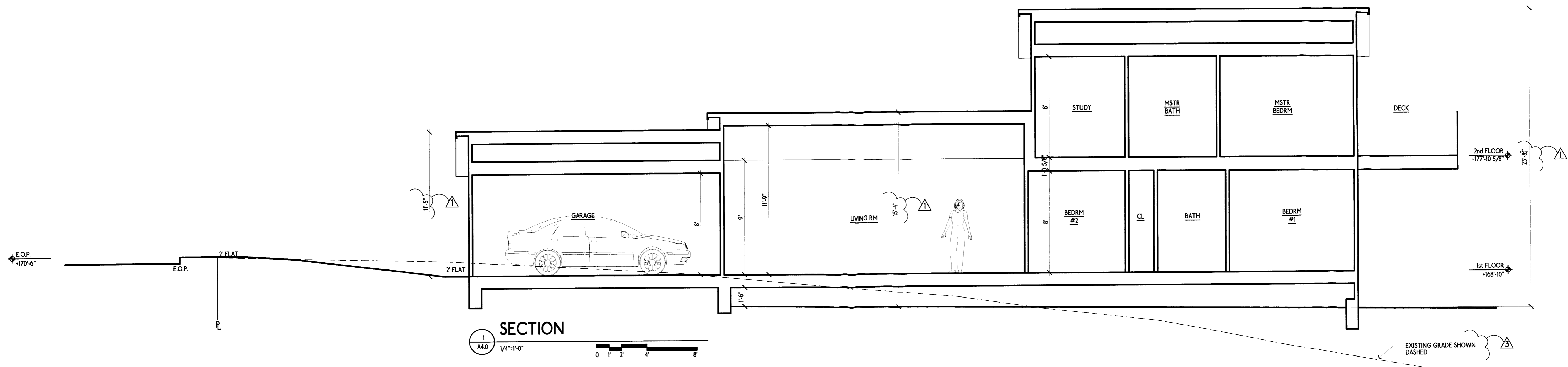
OWNER:
Emily Humphreys
(434) 249-1908

SECTION & MATERIALS

DOOR SCHEDULE				
TAG	SIZE W x H	TYPE	HARDWARE	REMARKS
FIRST FLOOR				
001	9'-0" x 7'-0"	GARAGE DR	REMOTE CONTROL ROLL UP	
002	3'-0" x 6'-8"	HINGED	ENTRY KNOB & DEADBOLT	1 HOUR SELF CLOSING FIRE DOOR
003	2'-6" x 6'-8"	HINGED	ENTRY KNOB & DEADBOLT	
004	2'-0" x 6'-8"	HINGED	CLOS. DUMMY KNOBS w/ ROLLER CATCH	
005	2'-6" x 6'-8"	HINGED	BEDROOM PRIVACY	
006	2'-6" x 6'-8"	HINGED	CLOS. DUMMY KNOBS w/ ROLLER CATCH	
007	2'-6" x 6'-8"	HINGED	BATHRM PRIVACY	
008	2'-6" x 6'-8"	HINGED	BEDROOM PRIVACY	
009	5'-0" x 6'-8"	2-PANEL SLIDING	TRACK	
010	2'-6" x 6'-8"	HINGED	ENTRY KNOB & DEADBOLT	
SECOND FLOOR				
101	5'-0" x 6'-8"	2-PANEL SLIDING	TRACK	
102	2'-6" x 6'-8"	HINGED	BATHRM PRIVACY	
103	2'-6" x 6'-8"	HINGED	BEDRM PRIVACY	
104	5'-0" x 6'-8"	2-PANEL LIFT & SLIDE	ENTRY KNOB	

WINDOW SCHEDULE				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
1	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
2	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
3	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	EGRESS WINDOW
4	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
5	4'-0" x 2'-0"	7'-0"	SLIDER	
6	2'-0" x 3'-0"	7'-0"	SLIDER	
7	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	EGRESS WINDOW
8	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
9	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
10	3'-0" x 3'-0"	7'-0"	SINGLE HUNG	
11	4'-0" x 3'-0"	7'-0"	SLIDER	
12	4'-0" x 2'-0"	7'-0"	SLIDER	
13	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
14	4'-0" x 2'-0"	7'-0"	SLIDER	
15	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	
16	2'-0" x 3'-0"	7'-0"	SINGLE HUNG	
17	3'-0" x 5'-0"	7'-0"	SINGLE HUNG	

TYPICAL MATERIALS:
ROOF: CLASS A ASPHALT COMPOSITION SHINGLE
ROOF
SIDING: SHINGLE SIDING
WINDOWS: DUAL-PANE LOW-E VINYL, PAINTED
WOOD CASING/SILL, TYP
DOORS: WOOD CLAD SLIDER AND FIBERGLASS



REVISION

No.	Description	Date
1	PLAN CHECK	7/1/18
2	PLAN CHECK	7/18/18
3	PLANNING	8/13/18

PROJECT No.:
DRAWN BY: LPM
CHECKED BY: LPM
DATE: 8/13/18

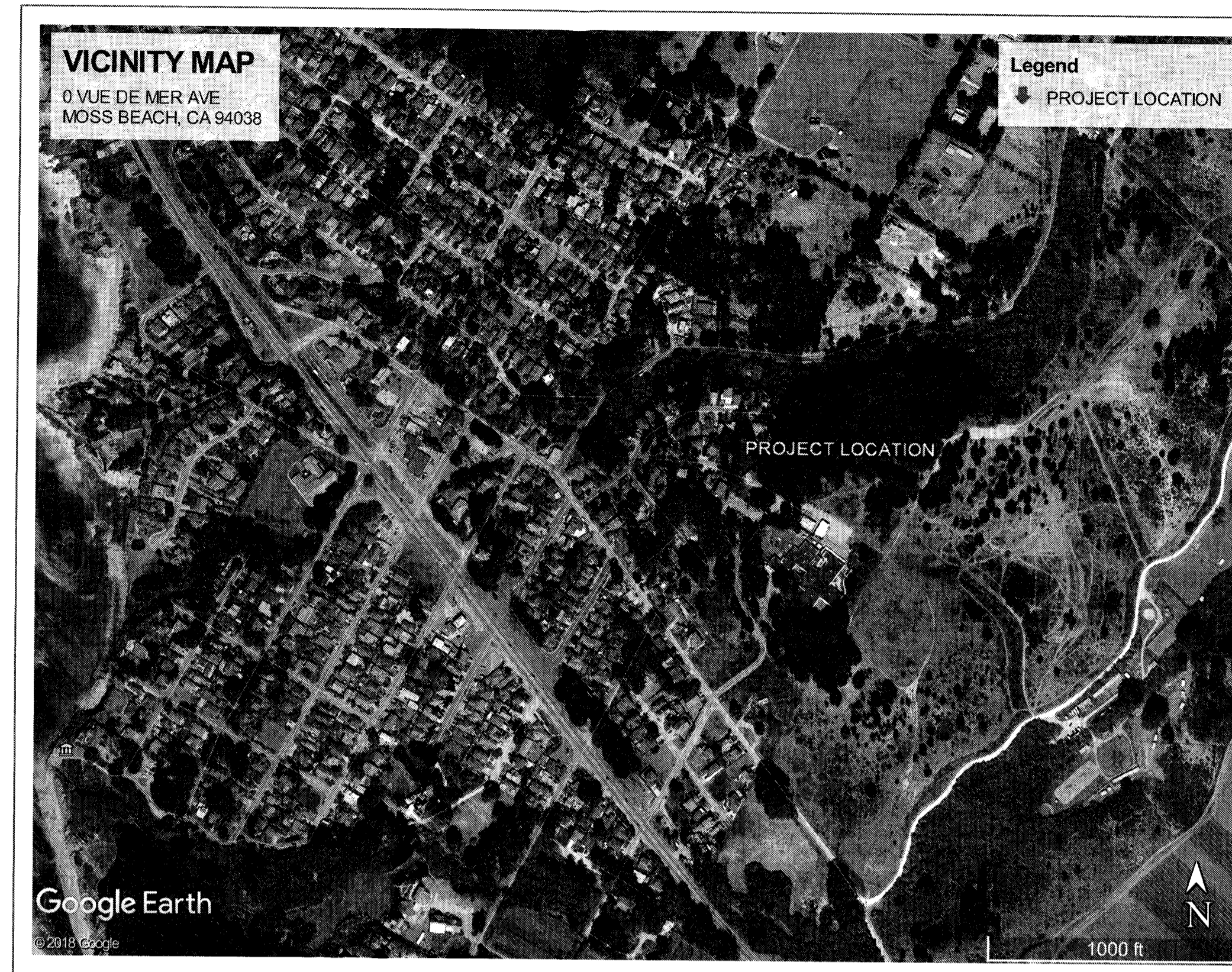
A4.0

GENERAL NOTES TO CONTRACTOR

- NOTES ARE APPLICABLE TO ALL "C" SERIES DRAWINGS
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH PROJECT SURVEY PROVIDED BY SAVIOR P. MICALLEF LAND SURVEYING.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND QUANTITIES AFFECTING THE WORK AT THE JOB SITE.
- CONTRACTOR IS RESPONSIBLE FOR PROJECTING FROM DAMAGE ALL EXISTING SITE FEATURES AND UTILITIES.
- ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO COUNTY OF SAN MATEO STANDARDS.
- ANY QUANTITIES SHOWN ARE APPROXIMATE AND SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR TO VERIFY.
- ALL REFERENCED STANDARDS OR CODES SHALL BE OF LATEST EDITION UNLESS NOTED OTHERWISE.
- ALL DETAILS, SECTIONS, AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 24 HOURS BEFORE COMMENCING WORK WHICH REQUIRES INSPECTION. INSPECTION SHALL BE PER THE LATEST VERSION OF THE CBC.
- ALL OMISSIONS OR CONFLICTS BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING WITH THE WORK INVOLVED. SPECIFICATION REQUIREMENTS SHALL GOVERN UNTIL THE OMISSION OR CONFLICT IS RESOLVED
- THE CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES FOR SAFETY OF PERSONS IN ACCORDANCE WITH GOVERNING CODES AND OSHA.
- WHERE CONFLICTS BETWEEN PLANS, SPECIFICATIONS, OR CODES OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL CONTROL.
- THE CONTRACTOR SHALL COMPLY WITH THE PROJECT STORMWATER POLLUTION PREVENTION PLAN
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWING(S) TO THE CIVIL ENGINEER AT COMPLETION OF CONSTRUCTION PRIOR TO DEMOBILIZATION. AS-BUILT DRAWING(S) SHALL BE CLEARLY AND NEATLY REDLINED WITH ALL CHANGERS MADE, SIGNED, AND DATED.

GRADING NOTES

- NOTES APPLICABLE TO ALL "C" SERIES DRAWINGS
- ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL EVALUATIONS PROVIDED BY MOORE TWINING ASSOCIATES, DATED JULY 16, 2018.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, INCLUDING ROOTS AND OTHER MATERIAL UNSUITABLE FOR STRUCTURAL FILL, AND SCARIFIED TO A MINIMUM DEPTH OF 12".
- NO CHANGES TO THE PROPOSED SOIL COVER SHALL BE COMPLETED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD. AN UPDATE TO THE HYDROLOGY REPORT WILL BE REQUIRED.
- FILL MATERIAL, APPROVED BY THE SUPERVISING SOILS ENGINEER, SHALL BE PLACED IN LIFTS NOT EXCEEDING 8" IN COMPACTED THICKNESS, MOISTENED OR DRIED AS NECESSARY TO NEAR OPTIMUM MOISTURE CONTENT, AND COMPACTED BY AN APPROVED METHOD.
- FILL MATERIAL SHALL BE COMPACTED TO MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557-78. SOILS TEST SHALL BE CONDUCTED AT NOT LESS THAN ONE TEST FOR EACH 18" OF FILL AND FOR EACH 500 CY OF FILL.
- GRADE SHALL SLOPE UNIFORMLY BETWEEN FINISH SPOT ELEVATIONS AND CONTOURS SHOWN ON THE PLANS.
- A SMOOTH VERTICAL TRANSITION SHALL BE PROVIDED AT ROAD INTERSECTIONS.
- SLOPE SHALL BE 2H:1V OR FLATTER, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR TYING FINISHED CONTOURS INTO EXISTING CONTOURS IN AREAS WHERE THERE IS INSUFFICIENT SURVEY DATA OF THE EXISTING GRADE.
- FINISHED GRADE SHOULD SLOPE AWAY FROM BUILDINGS AT A MINIMUM SLOPE OF 1%.
- SPOILS FROM TRENCHING AND EXCAVATION MAY BE SPREAD EVENLY ACROSS THE PROJECT SITE.
- ALL UNSUITABLE SOILS MATERIALS AND RUBBISH AND DEBRIS RESULTING FROM GRADING OPERATIONS SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY.
- PRIOR TO ANY GRADING THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY OF SAN MATEO AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY OF SAN MATEO AT LEAST 48 HOURS PRIOR TO ANY WORK BEING PERFORMED AND ARRANGE FOR INSPECTION.
- A SOILS ENGINEER SHALL SUPERVISE THE GRADING AND CERTIFY THAT ALL GRADING HAS BEEN COMPLETED IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS, CURRENT AND APPLICABLE EDITION OF THE CBC, AND THE RECOMMENDATION OF THE FINAL SOILS REPORT. A FINAL SOILS REPORT SHALL BE PROVIDED IN ACCORDANCE WITH THE CURRENT AND APPLICABLE EDITION OF THE CBC.
- IN-PLACE DENSITY TESTS SHOULD BE DONE IN ACCORDANCE WITH ASTM D6938 AT A FREQUENCY OF AT LEAST:
 - MASS FILLS OR SUBGRADE: 1 TEST PER 2,500 SQUARE FEET PER COMPACTED LIFT
 - UTILITY LINES: 1 TEST PER 50 FEET WHERE SOIL BACKFILL IS USED



VICINITY MAP
NTS

PROJECT QUANTITY ESTIMATES	
RAW CUT	45 CUBIC YARDS
REQUIRED FILL	5 CUBIC YARDS

NOTES: QUANTITIES DO NOT INCLUDE SPOILS FROM FOR FOUNDATION EXCAVATION. QUANTITIES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EARTHWORK QUANTITIES

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C1.0	KEY MAP AND NOTES
C2.0	GRADING AND DRAINAGE PLAN
C3.0	DRIVEWAY PLAN AND PROFILE
C4.0	TYPICAL DETAILS

CIVIL ENGINEER

AE ENGINEERING SERVICES
ADOLFO ESPINO, RCE 88310
P:562.822.2014
1414 HARBOUR WAY SOUTH
RICHMOND, CA 94804

GEOTECHNICAL ENGINEER

MOORE TWINING ASSOCIATES
READ L. ANDERSON, RGE
P:559.268.7021
2527 FRESNO ST
FRESNO, CA 93721

LEGEND

	GRADING LIMITS
	ROAD CENTERLINE
	ROAD EDGE
	CHAINLINK FENCE
	OVERHEAD ELECTRICAL LINE
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	AGGREGATE BASE SURFACE
	CONSTRUCTION NOTE CALLOUT
	SECTION

ABBREVIATIONS

ACRD	ACCESS ROAD
APPROX	APPROXIMATE
AL	ARRAY LAYOUT
BP	BOTTOM OF PIPE
CL	CENTERLINE
CND	CONDUIT
CONST	CONSTRUCTION
DET	DETAIL
DIA	DIAMETER
DBC	DIRECT BURIED CABLE
DWG	DRAWING
E	EASTING
ETW	EDGE OF TRAVEL WAY
EX	EXISTING
EG	EXISTING GRADE
FG	FINISHED GRADE
FL	FLOWLINE
FDN	FOUNDATION
HWY	HIGHWAY
N	NORTHING
O&M	OPERATIONS AND MAINTENANCE
PL	PROPERTY LINE
RC	RELATIVE COMPACTION
TOC	TOP OF CONCRETE
TOP	TOP OF PAVEMENT
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VEH	VEHICLE

AE ENGINEERING SERVICES
1333 POWELL ST UNIT 301
EMERYVILLE, CA 94608
562.822.2014



ENGINEER'S STAMP

NEW RESIDENCE

0 VUE DE MER
MOSS BEACH, CA 94038

KEY MAP AND NOTES

REVISION

REV	DESCRIPTION	DATE
A	ISSUE FOR PERMIT	8-1-18

PROJECT	18001
DATE DRAWN	8-1-18
DRAWN BY	AE

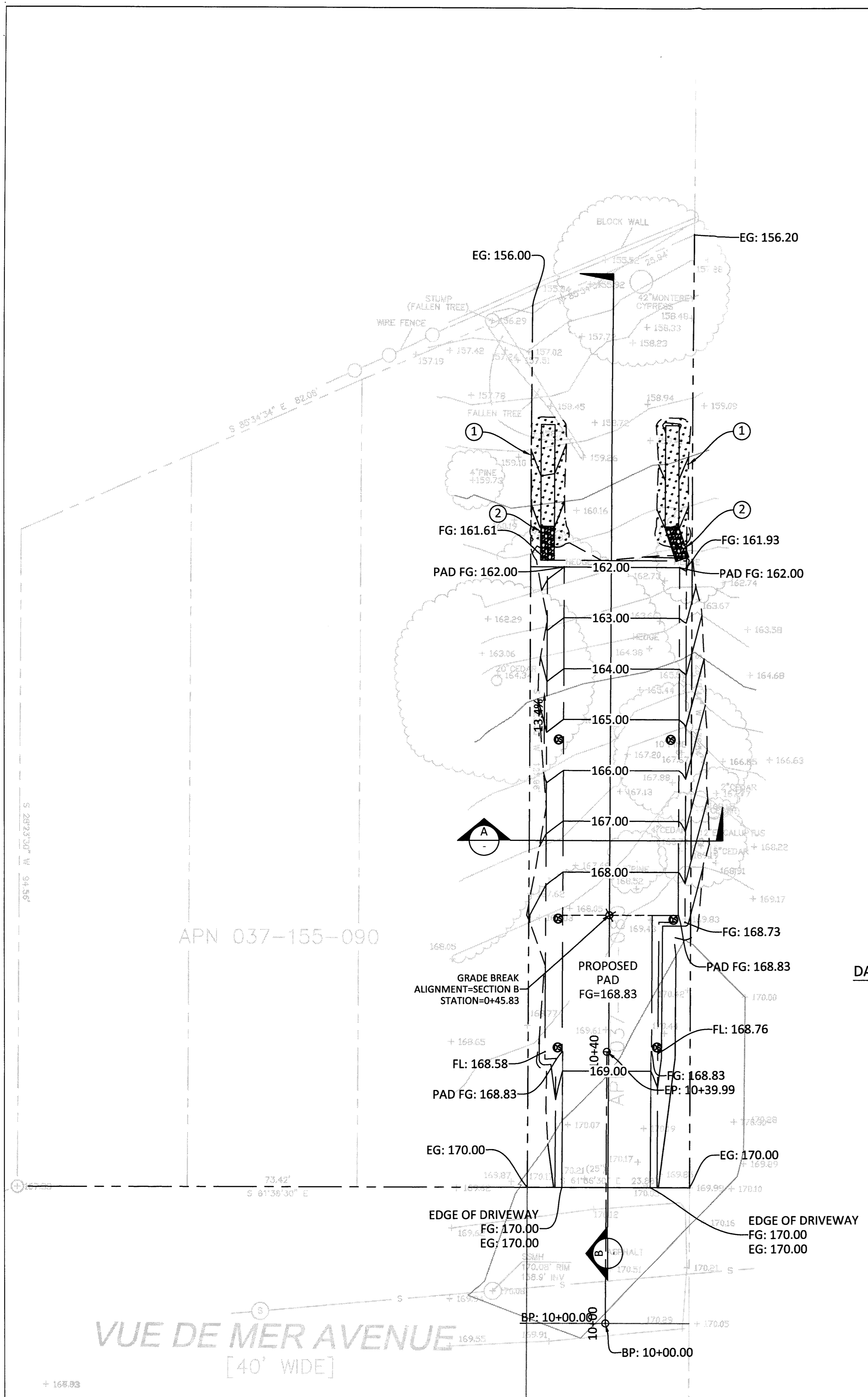
0 1/2" 1"
IF BAR IS NOT ONE INCH, DRAWING IS NOT TO SCALE

SHEET

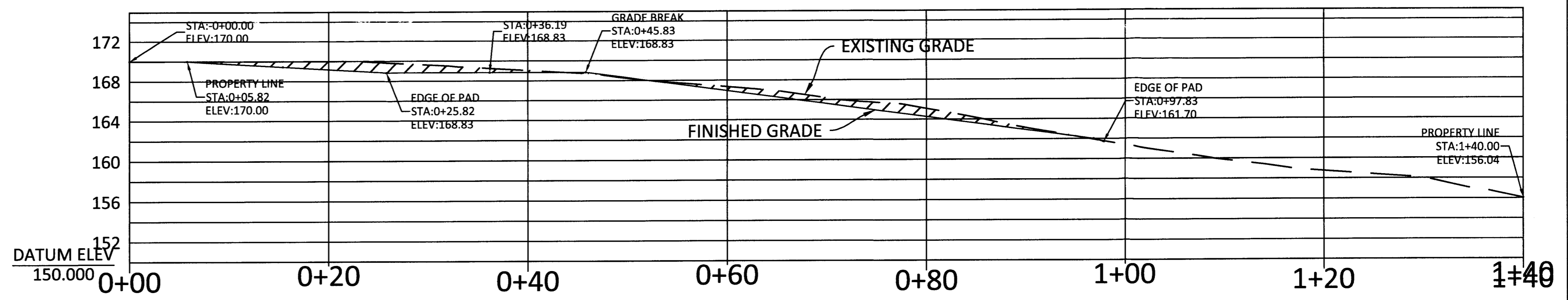
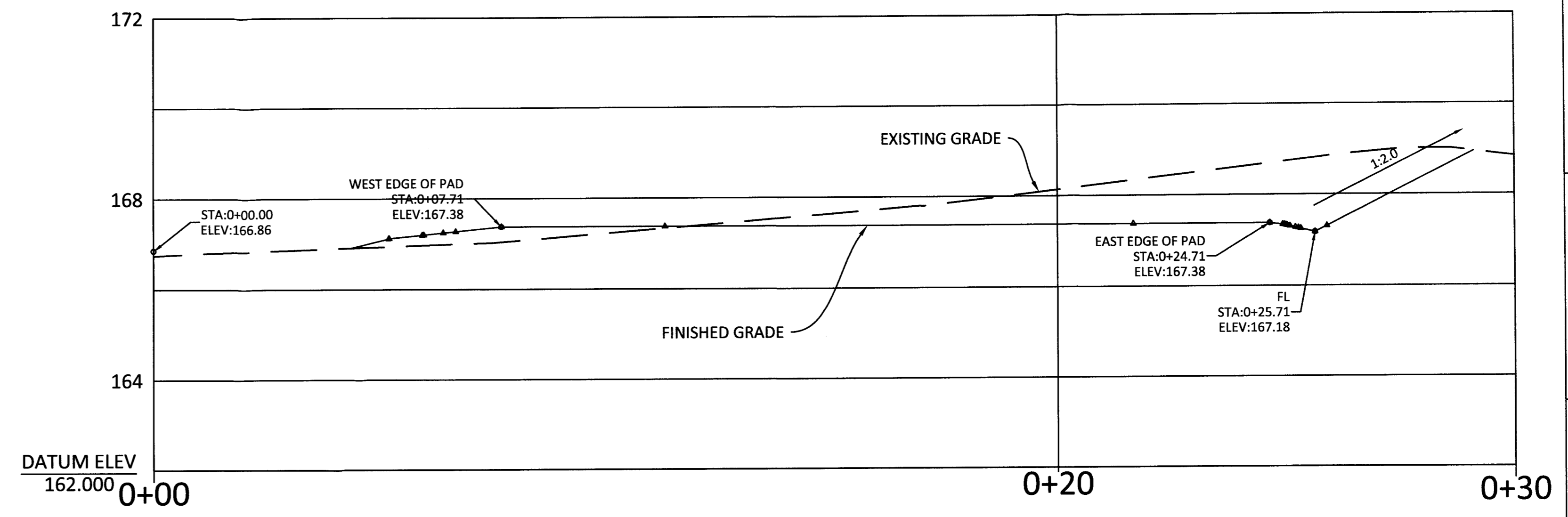
C1.0



Know what's below.
Call 811 before you dig.



PLAN VIEW
SCALE 1" = 10'



CONSTRUCTION NOTES

NO.	DESCRIPTION	QUANTITY
①	CONSTRUCT BIORETENTION AREA PER DETAIL 2 ON SHEET C4.0	60 SQ FT
②	INSTALL GABION RIP RAP ENERGY DISSIPATION, D50 = 6".	10 SQ FT

AE ENGINEERING SERVICES
1333 POWELL ST UNIT 301
EMERYVILLE, CA 94608
562.822.2014

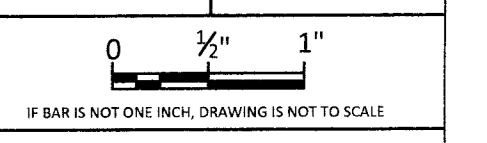


ENGINEER'S STAMP
NEW-RESIDENCE
O VUE DE MER
MOSS BEACH, CA 94038

GRADING AND DRAINAGE PLAN

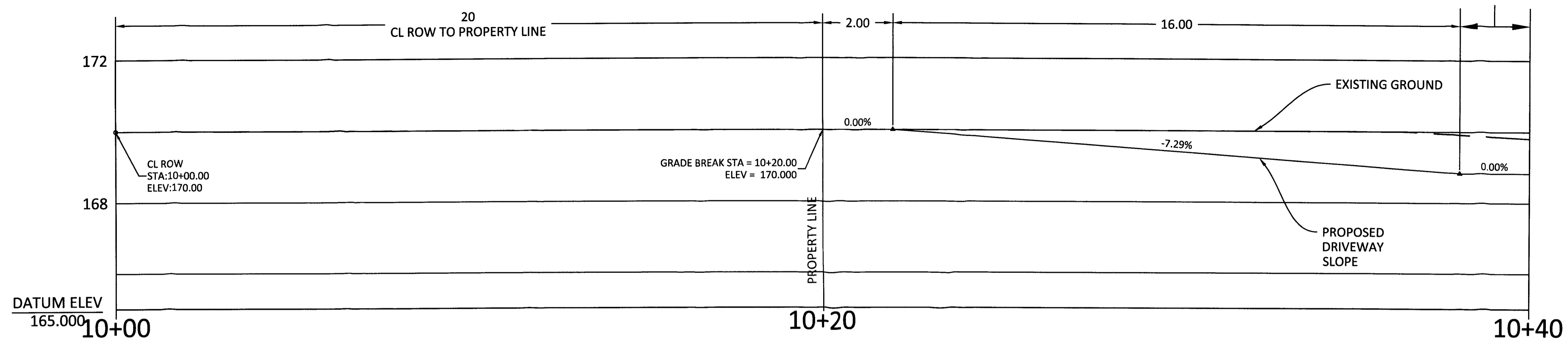
REVISION		
REV	DESCRIPTION	DATE
A	ISSUE FOR PERMIT	8-1-18

PROJECT
DATE DRAWN
DRAWN BY

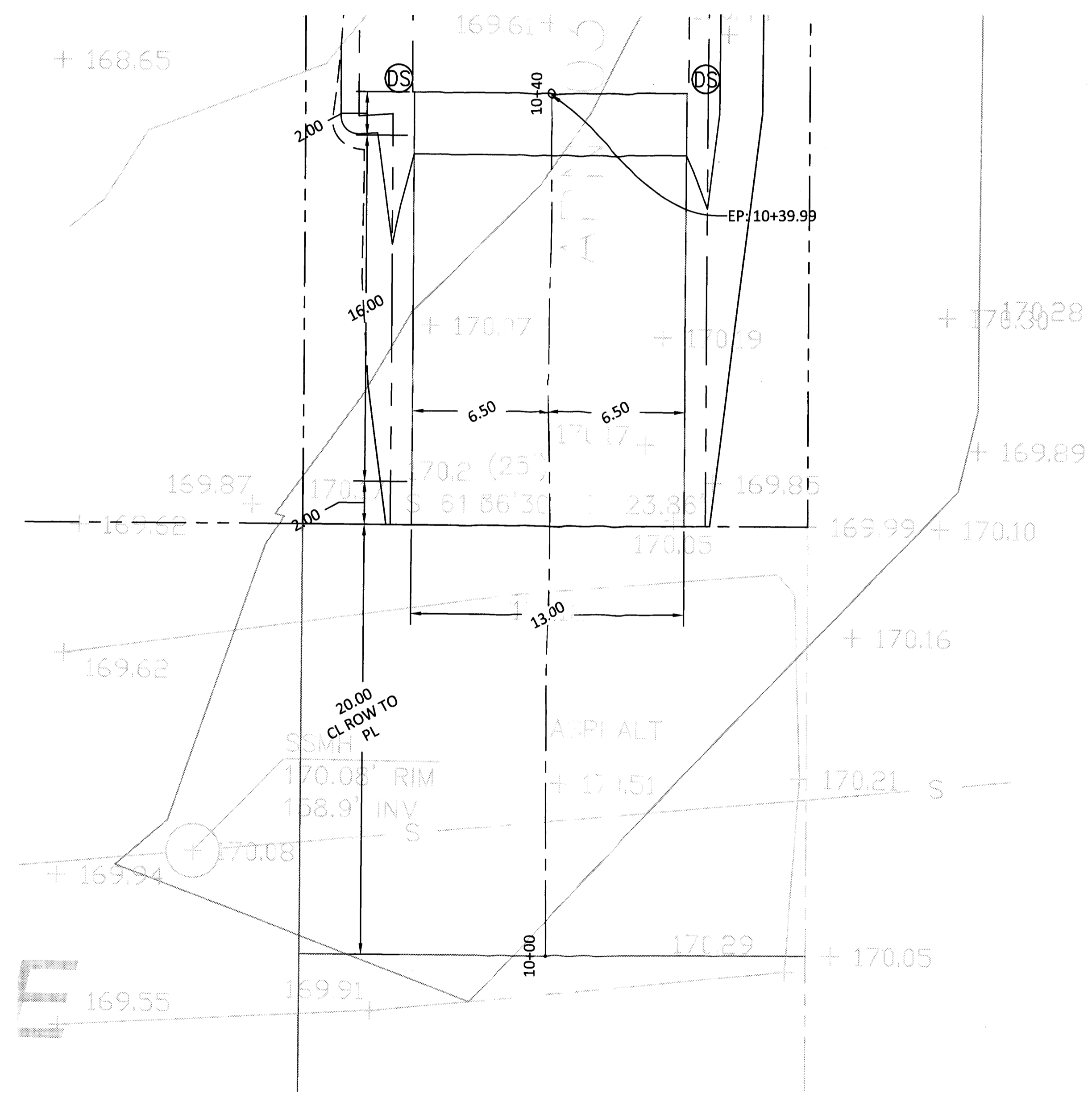


SHEET
C2.0





DRIVEWAY PROFILE VIEW
SCALE 1" = 2'



DRIVEWAY PLAN VIEW
SCALE 1" = 4'

CONSTRUCTION NOTES

- | NO. | DESCRIPTION |
|-----|---|
| ③ | CONSTRUCT 13' WIDE COMPACTED EARTH DRIVEWAY |

QUANTITY
260 SQ FT

AE ENGINEERING SERVICES
1333 POWELL ST UNIT 301
EMERYVILLE, CA 94608
562.822.2014



ENGINEER'S STAMP

NEW RESIDENCE

O VUE DE MER
MOSS BEACH, CA 94038

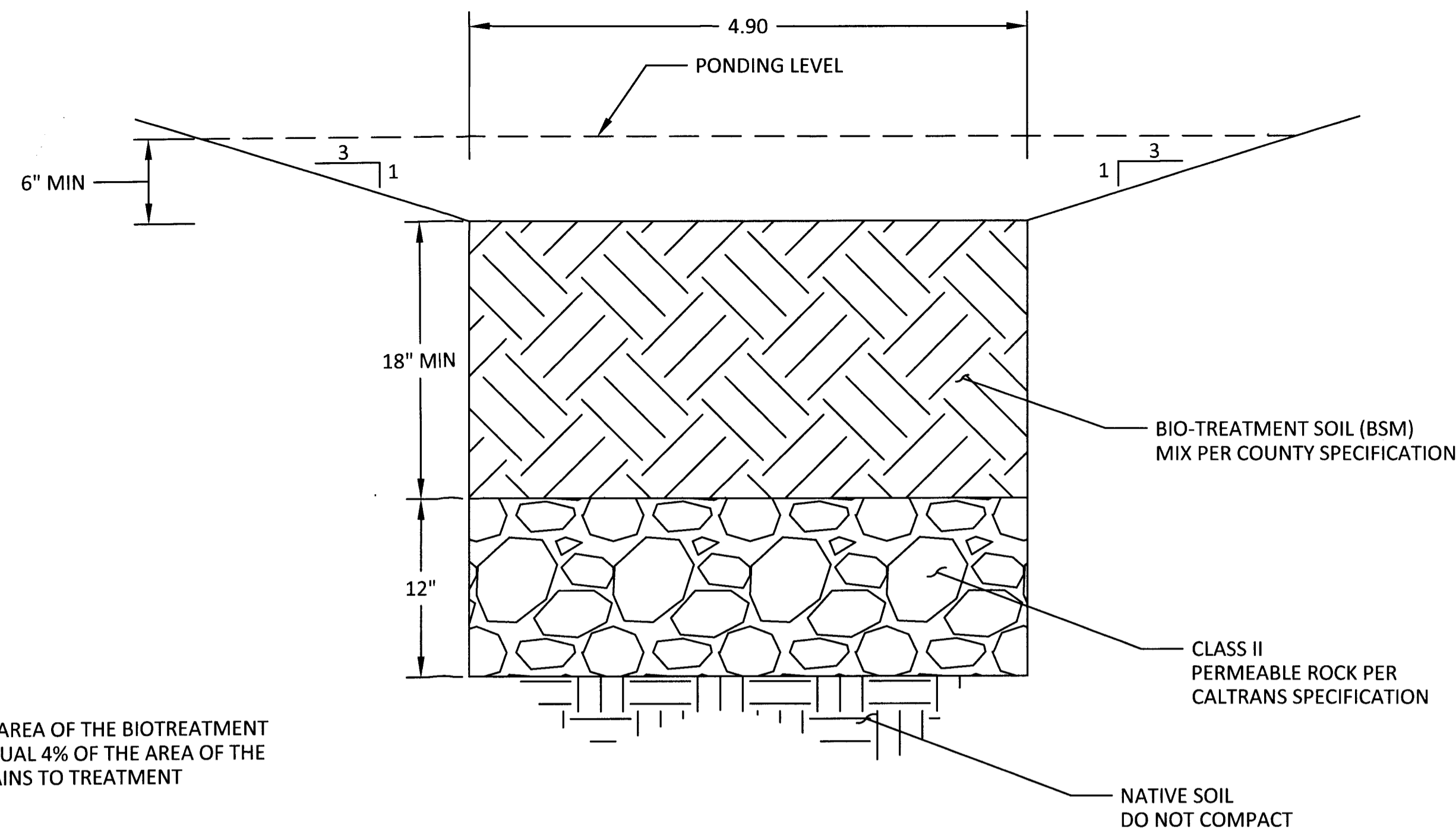
DRIVEWAY PLAN AND PROFILE

REVISION		
REV	DESCRIPTION	DATE
A	ISSUE FOR PERMIT	8-1-18

PROJECT	
DATE DRAWN	
DRAWN BY	
<small>IF BAR IS NOT ONE INCH, DRAWING IS NOT TO SCALE</small>	

C3.0





NOTE:
THE SURFACE AREA OF THE BIOTREATMENT SOIL SHALL EQUAL 4% OF THE AREA OF THE SITE THAT DRAINS TO TREATMENT MEASURE.

BIORETENTION BASIN CROSS SECTION
SCALE: NTS

IMPERVIOUS AREAS			
ZONE	IMPERVIOUS AREA	BIORETATION AREA REQUIRED	BIORETENTION AREA PROVIDED
ZONE A	282.5	27.4 SQ FT	30 SQ FT
ZONE B	245.0		
ZONE C	158.0		
ZONE D	225.0	27.3 SQ FT	30 SQ FT
ZONE E	300.0		
ZONE F	158.0		

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1333 POWELL ST UNIT 301
EMERYVILLE, CA 94608
562.822.2014



ENGINEER'S STAMP

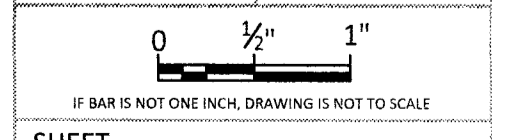
NEW RESIDENCE

0 VUE DE MER
MOSS BEACH, CA 94038

TYPICAL
DETAILS

REVISION		
REV	DESCRIPTION	DATE
A	ISSUE FOR PERMIT	8-1-18

PROJECT
DATE DRAWN
DRAWN BY



SHEET
C4.0

EROSION CONTROL NOTES:

1. EROSION CONTROL PLAN POINT OF CONTACT:
ADOLFO ESPINO, PE, QSD/QSP
ADOLFO.ESPINO@GMAIL.COM
P:(562) 822-2014
2. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER.
3. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
4. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
5. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
6. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
7. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
8. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
13. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: (LIST LOCATIONS)
14. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
15. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON." DUST CONTROL IS REQUIRED YEAR-ROUND.
16. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
17. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
18. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED AND IMPLEMENTED PER TREE PROTECTION PLAN PREPARED BY DAVID FOWLER DESIGNS

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562.822.2014

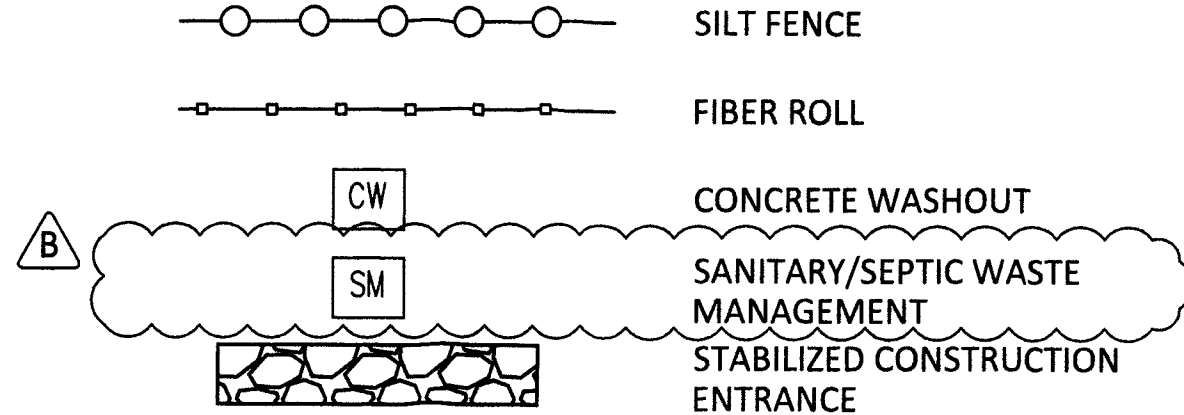


ENGINEER'S STAMP

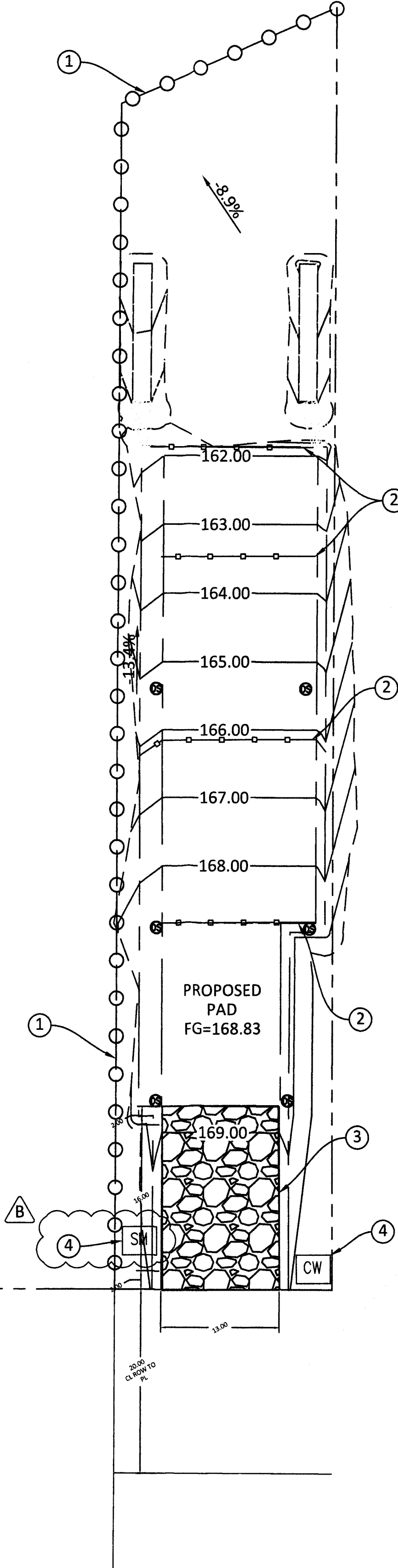
NEW RESIDENCE

0 VUE DE MER
MOSS BEACH, CA 94038

EROSION CONTROL PLAN LEGEND



EROSION AND SEDIMENT CONTROL PLAN



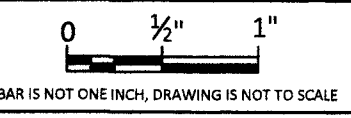
PLAN VIEW
SCALE 1" = 10'

CONSTRUCTION NOTES

NO.	DESCRIPTION	QUANTITY
①	INSTALL SILT FENCE ALONG EDGE OF PROPERTY PER DETAIL 1 ON SHEET EC2.0	160 LFT
②	INSTALL FIBER ROLLS ALONG GRADED SLOPE PER DETAIL 2 ON SHEET EC2.0	80 LFT
③	CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 3 ON SHEET EC2.0	260 SQ FT
④	CONSTRUCT TEMPORARY CONSTRUCTION WASHOUT PER DETAIL 4 ON SHEET EC2.0	1 EA
⑤	INSTALL TEMPORARY SANITARY/SEPTIC WASTE MANAGEMENT FACILITIES PER CASQA BMP HANDBOOK DETAIL WM-9 OR APPROVED EQUIVALENT.	1 EA

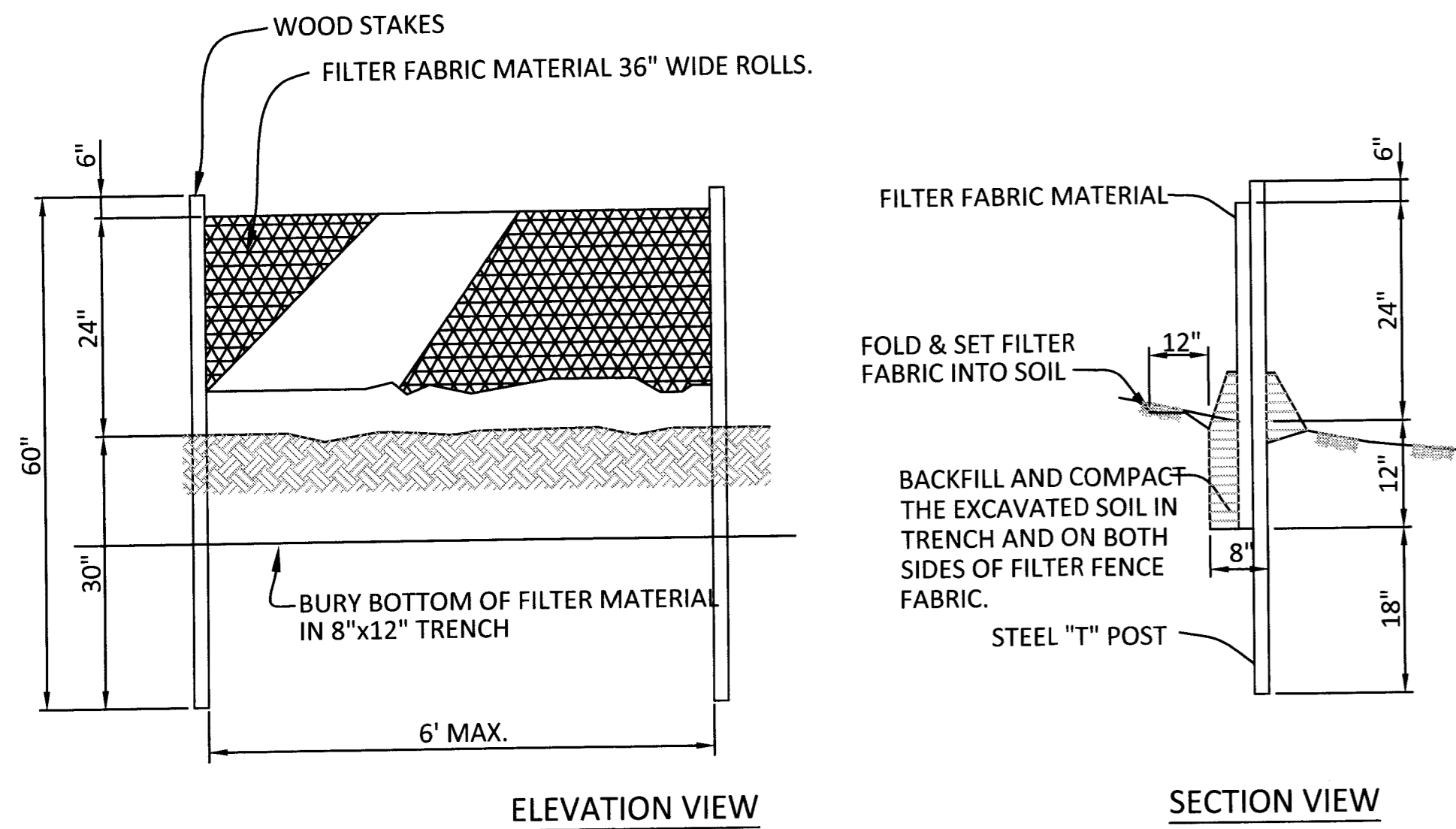
REVISION		
REV	DESCRIPTION	DATE
A	ISSUE FOR PERMIT	8-17-18
B	RESPONSE TO COMMENT	11-26-18

PROJECT	
DATE DRAWN	
DRAWN BY	



EC1.0

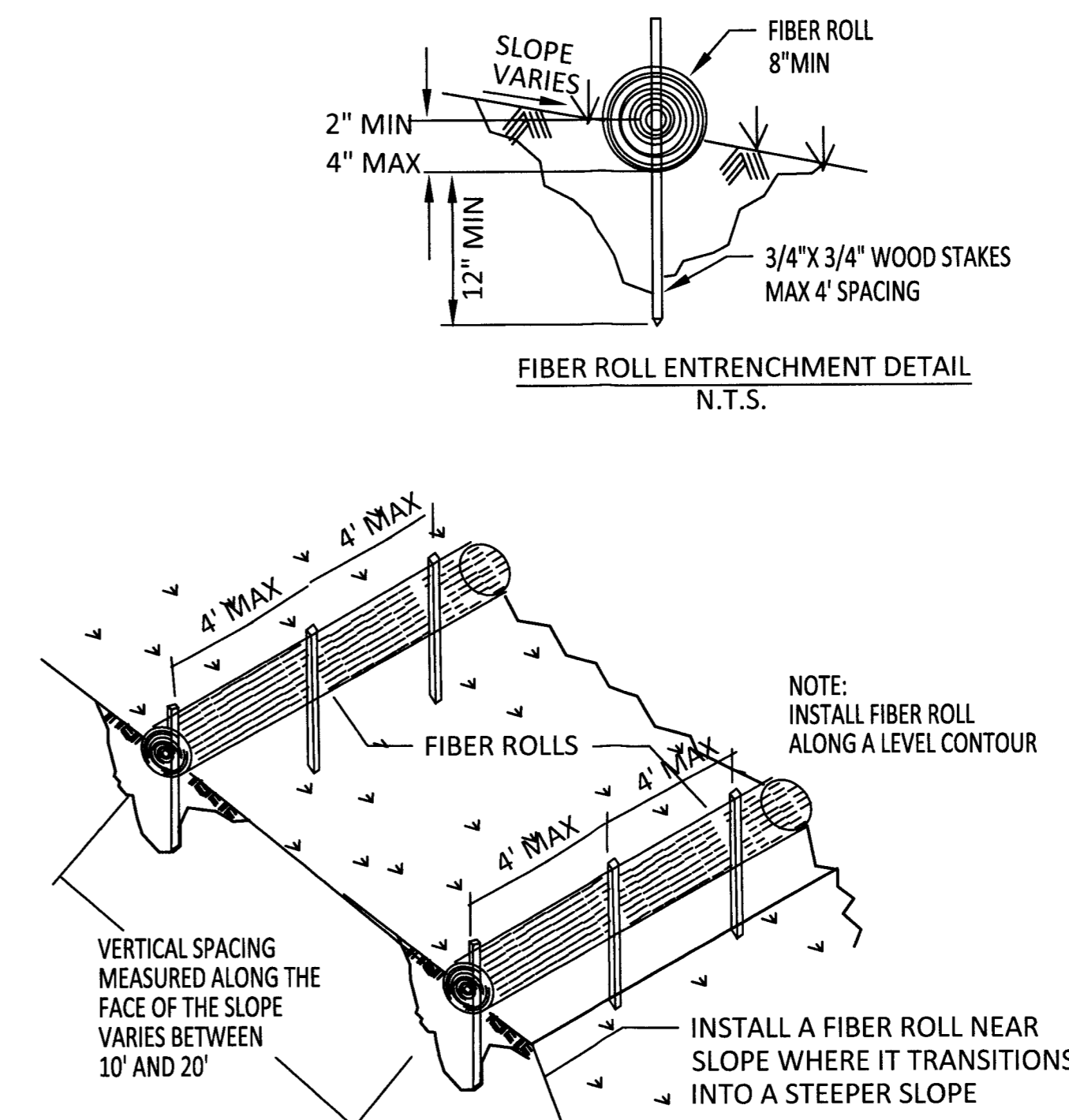




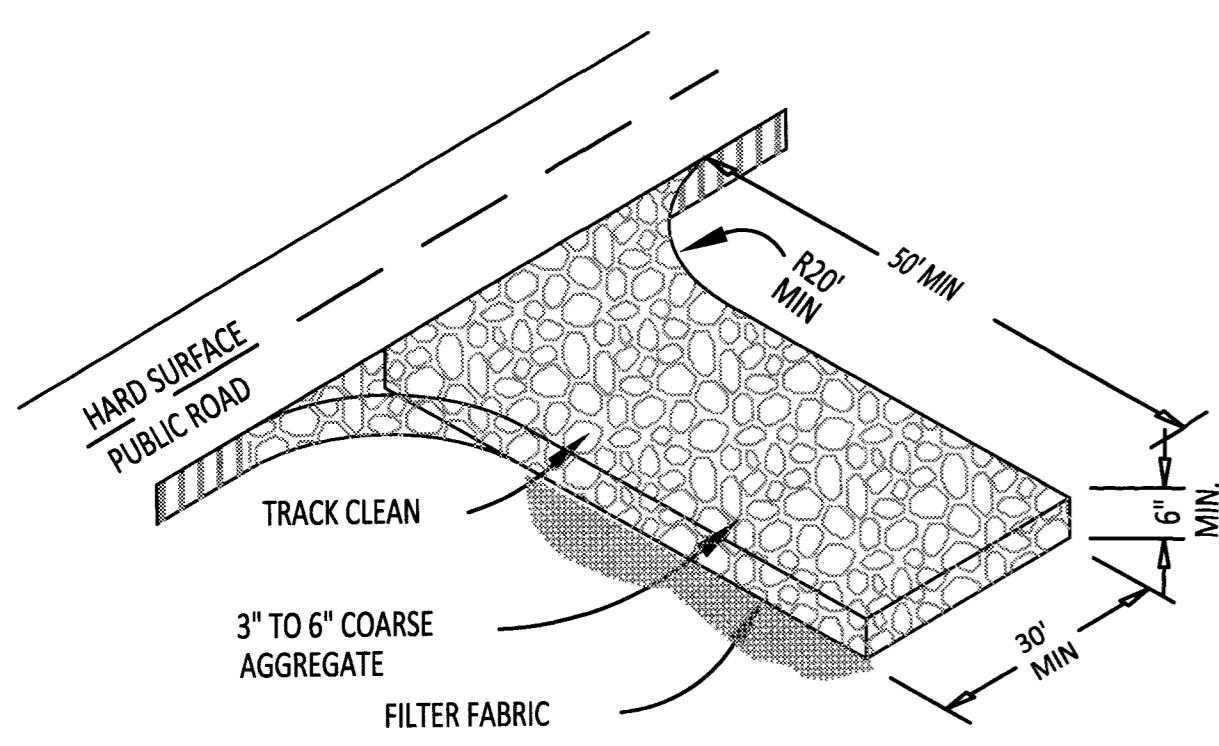
1 SILT FENCE DETAIL
SCALE: NTS

SILT FENCE NOTES:

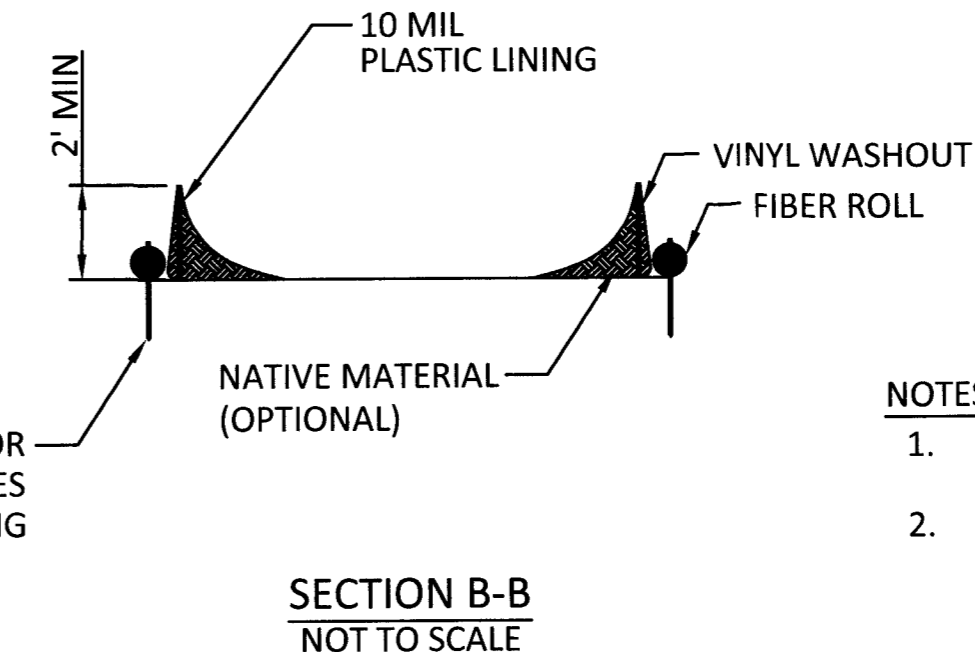
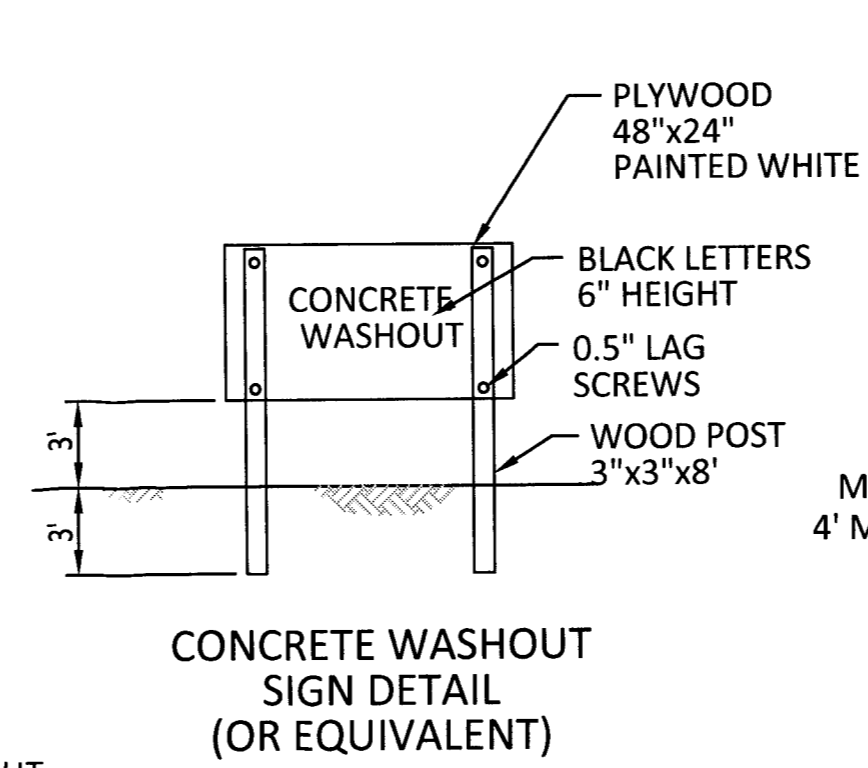
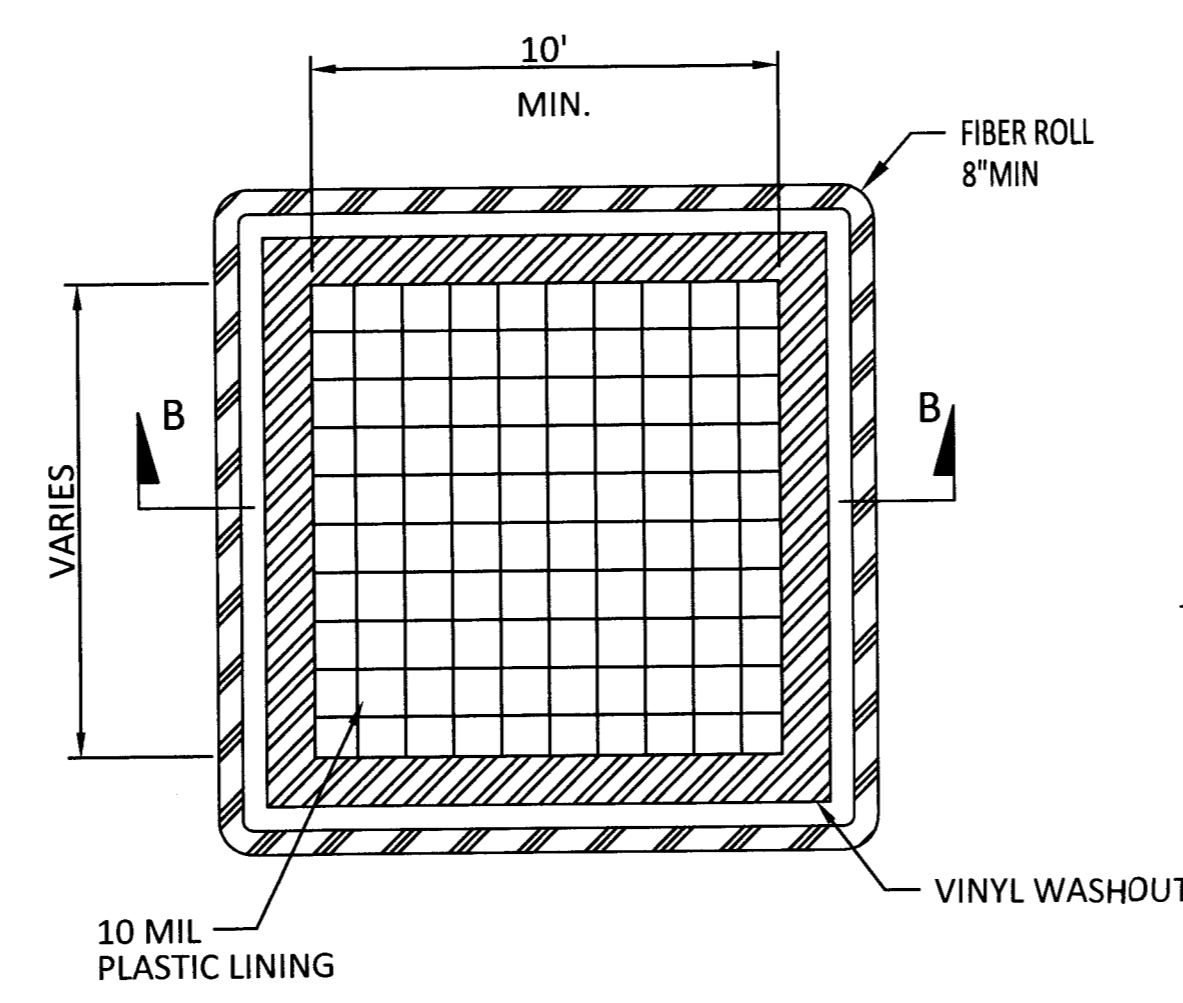
1. CONSTRUCT THE LENGTH OF EACH REACH SO THAT THE CHANGE IN BASE ELEVATION ALONG THE REACH DOES NOT EXCEED 1/2 THE HEIGHT OF THE LINEAR BARRIER, IN NO CASE SHALL THE REACH LENGTH EXCEED 500'.
2. THE LAST 8'-0" OF THE FENCE SHALL BE TURNED UP SLOPE.
3. STAKE DIMENSIONS ARE NOMINAL.
4. DIMENSION MAY VARY TO FIT FIELD CONDITION.
5. STAKES SHALL BE SPACED AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
6. STAKES TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH STAKE ONE FULL TURN. SECURE FABRIC STAKE WITH 4 STAPLES.
7. STAKES SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOPS OF THE STAKES SHALL BE SECURED WITH 4 STAPLES.
8. FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
9. MINIMUM 4 STAPLES PER STAKE. DIMENSIONS SHOWN ARE TYPICAL.
10. MAINTENANCE OPENINGS SHALL BE CONSTRUCTED IN A MANNER TO ENSURE SEDIMENT REMAINS BEHIND SILT FENCE.
11. JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.
12. SANDBAG ROWS AND LAYERS SHALL BE OFFSET TO ELIMINATE GAPS.



2 FIBER ROLL DETAILS
SCALE: NTS



3 STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS



- NOTES**
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 3. SIDEWALLS SHALL BE MINIMUM 2' HIGH

4 CONCRETE WASHOUT DETAIL
SCALE: NTS

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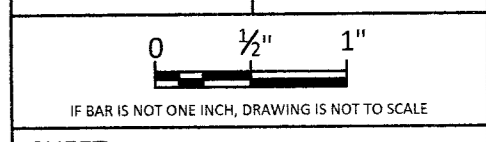


ENGINEER'S STAMP
NEW RESIDENCE
O VUE DE MER
MOSS BEACH, CA 94038

EROSION AND SEDIMENT CONTROL PLAN DETAILS

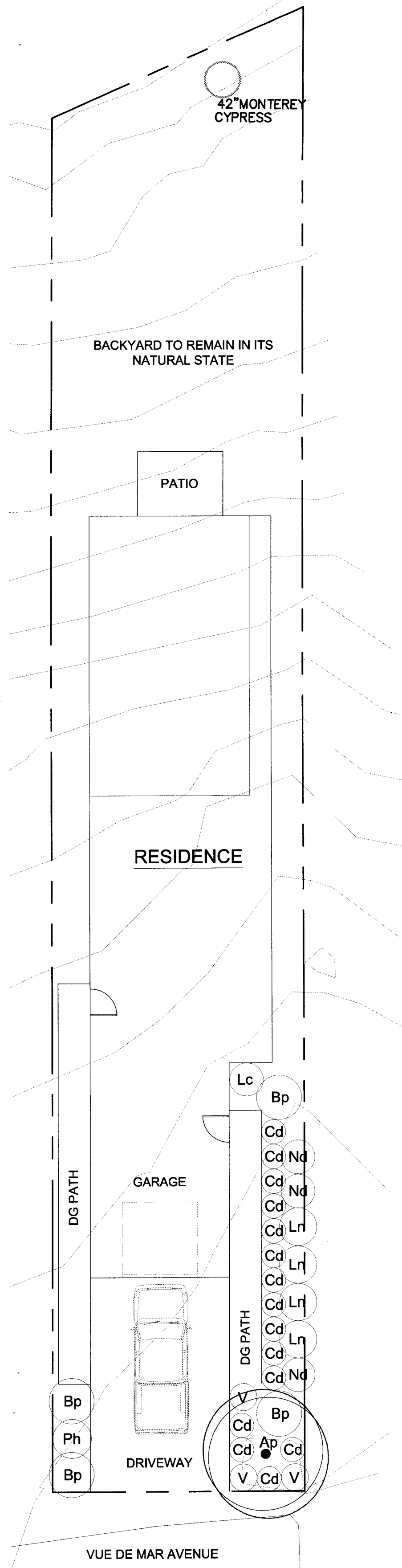
REVISION		
REV	DESCRIPTION	DATE
A	ISSUE FOR PERMIT	8-17-18

PROJECT
DATE DRAWN
DRAWN BY



SHEET
EC2.0

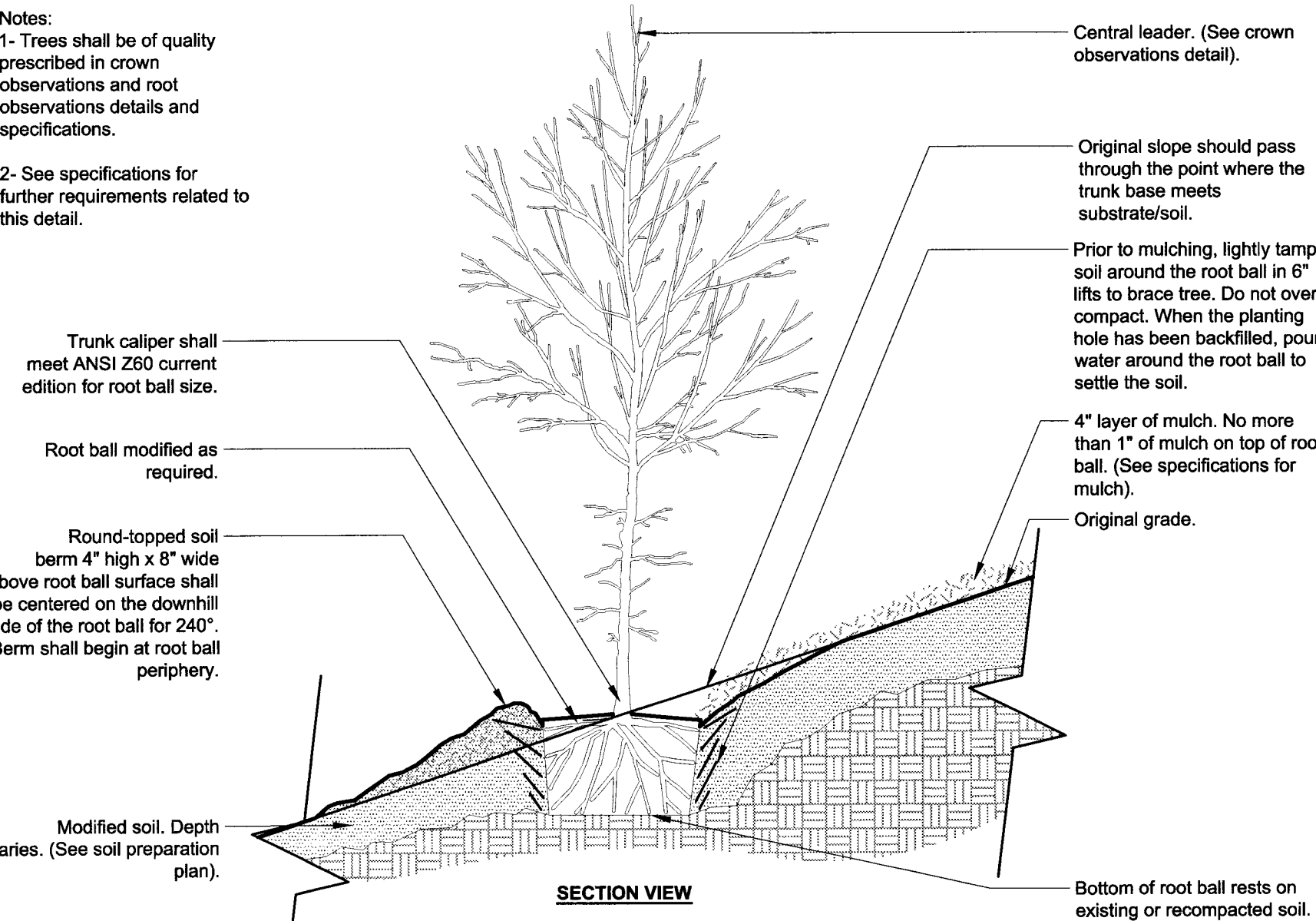




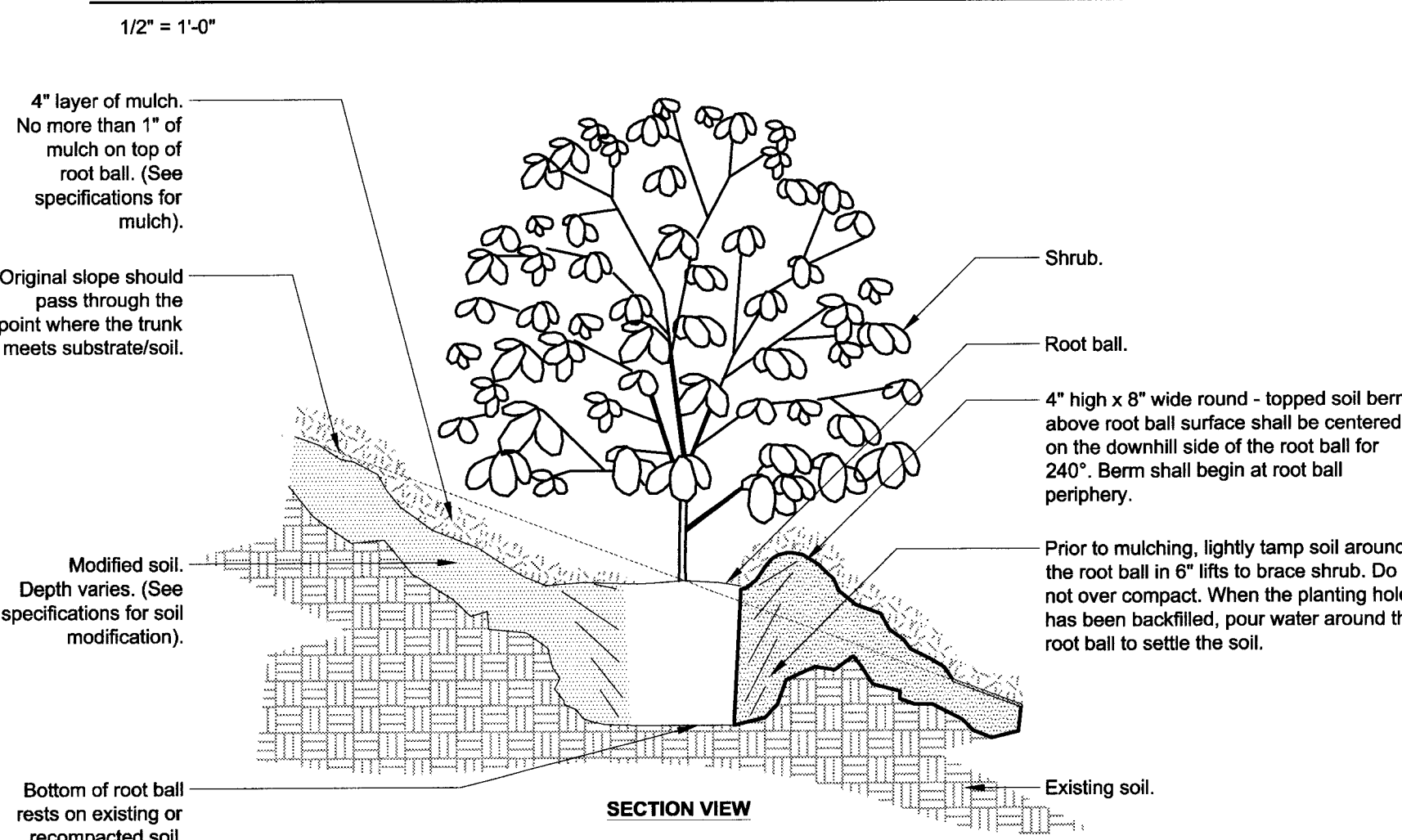
Plant List

Symbol	Latin Name	Size	Quantity	WELO
TREES				
Ap	Acer palmatum	24 box	1	low
SHRUBS				
Bp	Baccharis pillularis 'Pigeon Point'	5 gal	4	low
Lc	Loropetalum chinese var. rubrum 'Blush'	5 gal	1	low
Ln	Laurus nobilis	15 gal	4	low
Nd	Nandina domestica	5 gal	3	low
Ph	Phormium tenax 'Rainbow Queen'	5 gal	1	low
V	Verbena canadensis 'Purple Spreader'	1 gal	3	low
GRASSES				
Cd	Carex Divulsa	1 gal	15	low

Notes:
 1- Trees shall be of quality prescribed in crown observations and root observations details and specifications.
 2- See specifications for further requirements related to this detail.



TREE ON SLOPE 5% (20:1) TO 50% (2:1) (EXISTING SOIL MODIFIED)



SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - MODIFIED SOIL

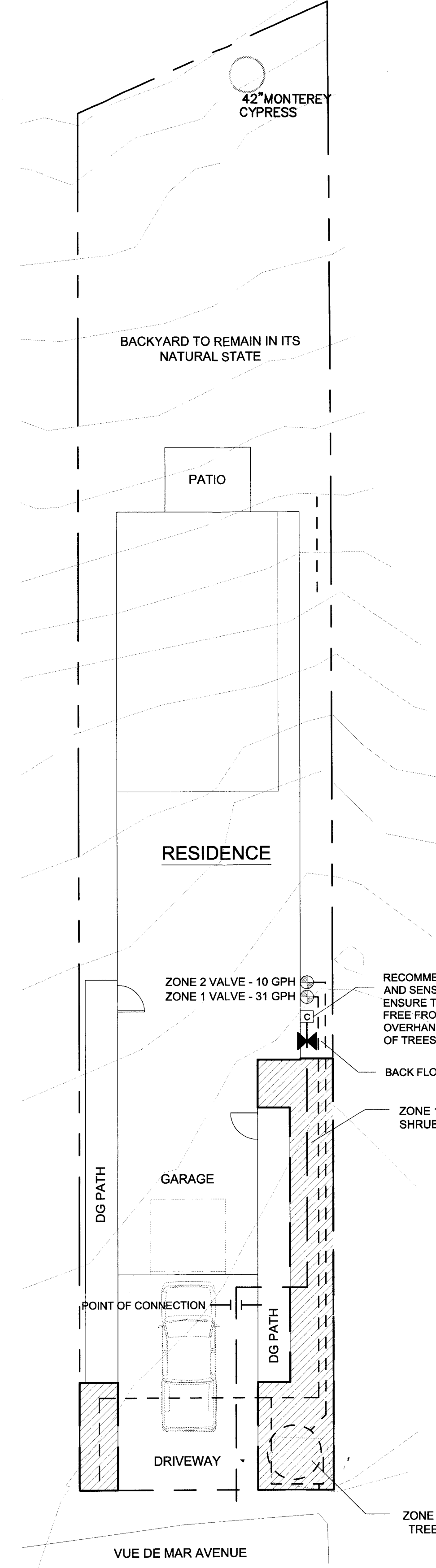
Notes:
 1- Shrubs shall be of quality as prescribed in the root observations detail and specification.
 2- See specifications for further requirements related to this detail.

3/4" = 1'-0"

Soil and Planting Notes:

1. A minimum of 8" of non-mechanically compacted soil shall be available for water absorption and root growth in planting areas.
2. Incorporate compost or natural fertilizer into the soil to a minimum depth of 8" at a minimum rate of 6 cubic yards per 1000 square feet or per specific amendment recommendations from a soils laboratory report.
3. A minimum 3" layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers or direct seeding applications.

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the planting design"



Irrigation Legend

- RAINBIRD SMART IRRIGATION CONTROLLER- SEE SPECS ON THIS SHEET
- NEW VALVE LOCATION
- POINT OF CONNECTION
- MAIN LINE
- 5/8" POLY IRRIGATION LINE FROM VALVE
- BACKFLOW PREVENTION DEVICE AND MANUAL SHUTOFF LOCATION

Hydrozone Legend

- LOW WATER USE HYDROZONE

Irrigation Notes

- USE BELOW GROUND VALVES AND LOCATE IN AREAS HIDDEN FROM VIEW IF POSSIBLE.
- USE RAINBIRD SMART CONTROLLER WITH RAIN SENSOR AND SEASONAL ADJUSTMENT
- ALL PLANTINGS TO USE DRIP IRRIGATION UNLESS OTHERWISE NOTED
- BERM AROUND ALL TREES. PLACE MULTIPLE EMITTERS AT LEAST 6-12" AWAY FROM TRUNK OF TREE. TREES TO BE ON SEPARATE VALVE FROM LANDSCAPE PLANTS
- SEE PLANTING PLAN FOR EXACT NUMBER OF EMITTERS NECESSARY
- NO SPRINKLERS OR OVERHEAD SPRAY DEVICES ARE TO BE USED ON THIS PROJECT

WELO - NOTES:

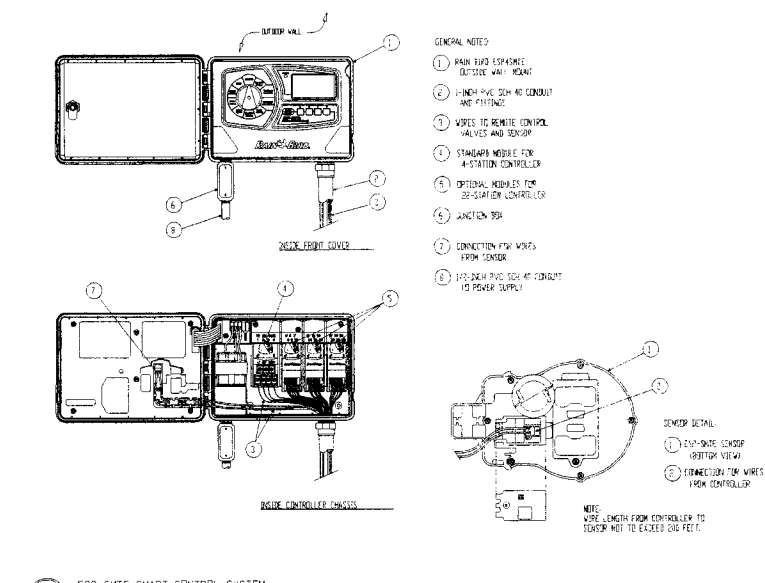
1. Backflow preventer and shut-off valves are located upstream of the mainline.
2. Calculations for the Maximum Allowable Water Allotment (WELO Appendix A)
3. Control system has the ability to run multiple operating cycles, and implement global increase or decrease by percentage to match plant water requirements, environmental conditions, and the soil's infiltration rate.
4. Hydrozones are separated by plant type, solar exposure, soil type, and microclimate. Flow rate, application rate, and design pressures are shown for each hydrozone.
5. No overhead spray irrigation is used on this project.
6. Drip irrigation has integrated check valves and pressure regulation, and will provide even coverage throughout planted areas.
7. Station operation times shall not exceed the soil's infiltration rate.
8. Upon completion of the installation the contractor shall submit to the building department a completed and signed "Certificate of Completion" stating that the project has been installed as designed.
9. The Certificate of Completion shall be accompanied by an irrigation audit, irrigation schedule, and maintenance schedule as described in the City Ordinance.
10. A final City inspection shall be performed. The installation contractor shall attend this inspection, and make all required repairs and adjustments to achieve approval and completion from the City.

Project Notes:

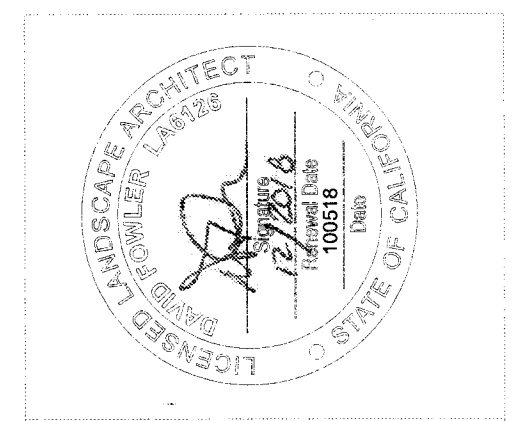
- Total landscaped area: 230 sf
- 100% of landscaped area on drip irrigation (no spray heads)
- Low and moderate water use plants on separate valves
- Trees on separate valves
- Dedicated irrigation meter not required because landscaped area is less than 5000 sf
- Certificate of completion: applicant shall submit a landscape audit report verifying installation and irrigation efficiency per design on a form provided by the East Bay Municipal Utility District

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes	
Enter values in Pale Blue Cells	
Name of City	San Francisco
ET _a of City from Appendix A	55.10 (ET _a (inches/year))
Total Landscape Area	260.00 (LA (ft ²))
Results:	ET _a x (0.62) x ((0.55 x LA) + (1.0 - 0.55) x SLA)
	2,578.72 Gallons
	344.86 Cubic Feet
	3.48 HCF
	0.81 Acre-foot
	0.00 Millions of Gallons

Estimated Total Water Use	
Enter values in Pale Blue Cells	
ETWA	2,580
ETWU	1,158 Gallons
	152 Cubic Feet
	1.52 HCF
	0.38 Acre-foot
	0.00 Millions of Gallons



David Fowler Designs
 2475 BRUSH CREEK ROAD
 SANTA ROSA, CA 95404
 707.331.5199
 RLA# 6126
 www.davidfowledesigns.com
 dfowledesigns@gmail.com



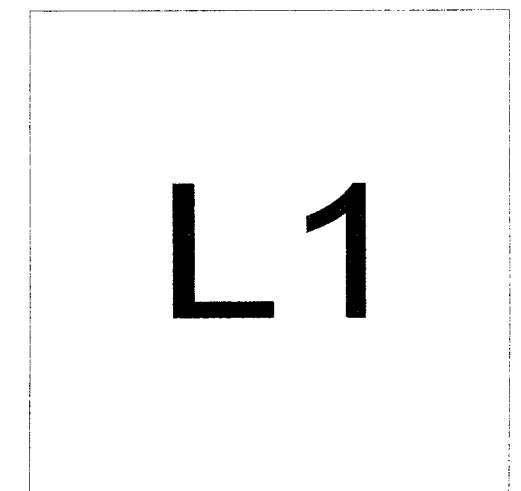
0 VUE DE MAR AVE
 MOSS BEACH, CA 94038

PLANTING AND IRRIGATION PLAN

REVISIONS:
 DATE DESCRIPTION

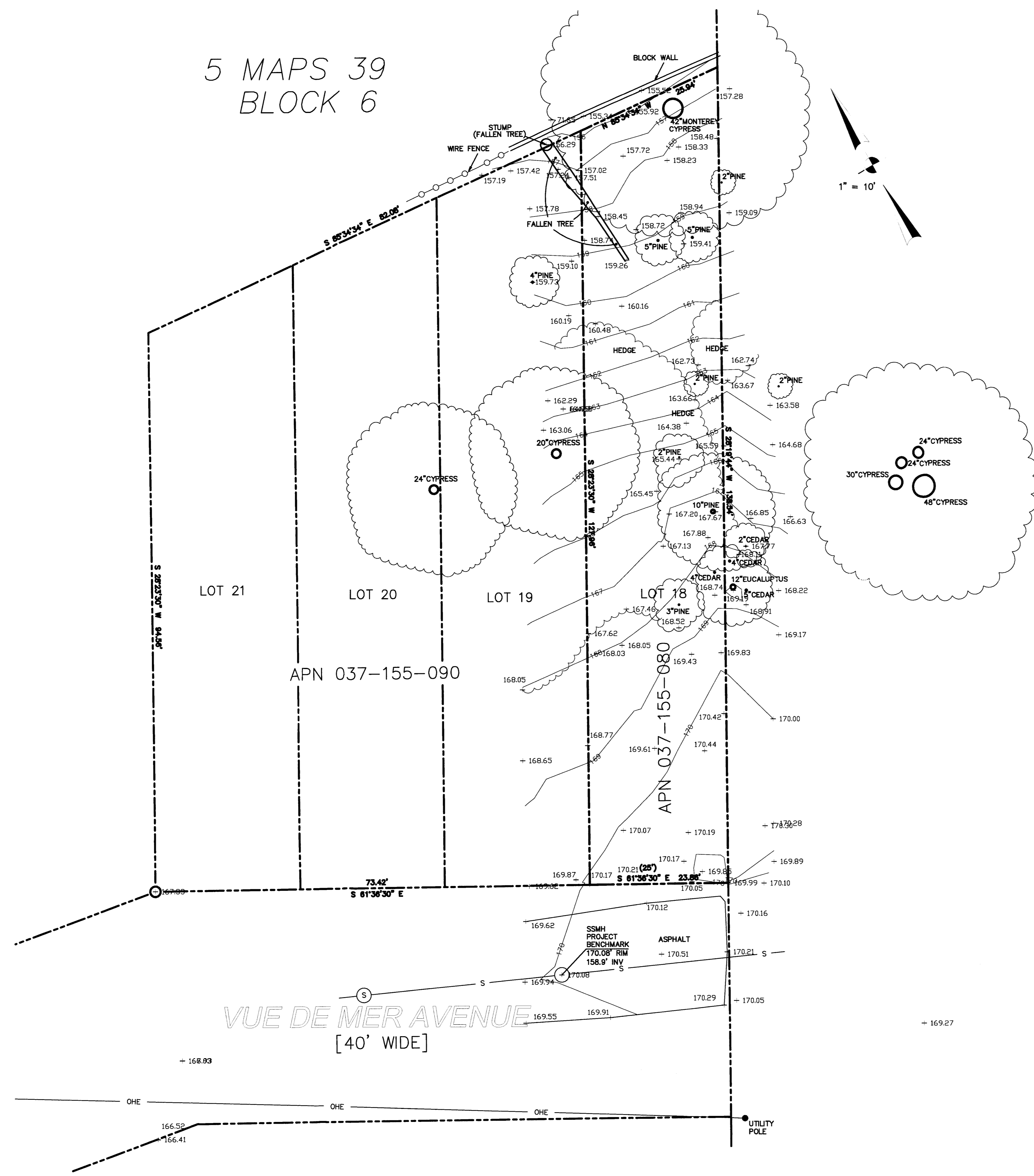
SCALE
 1/8"=1'-0"

DATE
 100518



landscape architecture | arboriculture | sculpture

5 MAPS 39
BLOCK 6



BENCHMARK STATEMENT:
THE PROJECT BENCHMARK FOR THIS PROJECT IS A TOP OF SEWER MANHOLE FRONTING THE SUBJECT PROPERTY. THE ELEVATION OF THE SEWER MANHOLE RIM IS 170.08' (ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM)

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE SEPTEMBER 2018. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.



SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

10-02-18
DATE

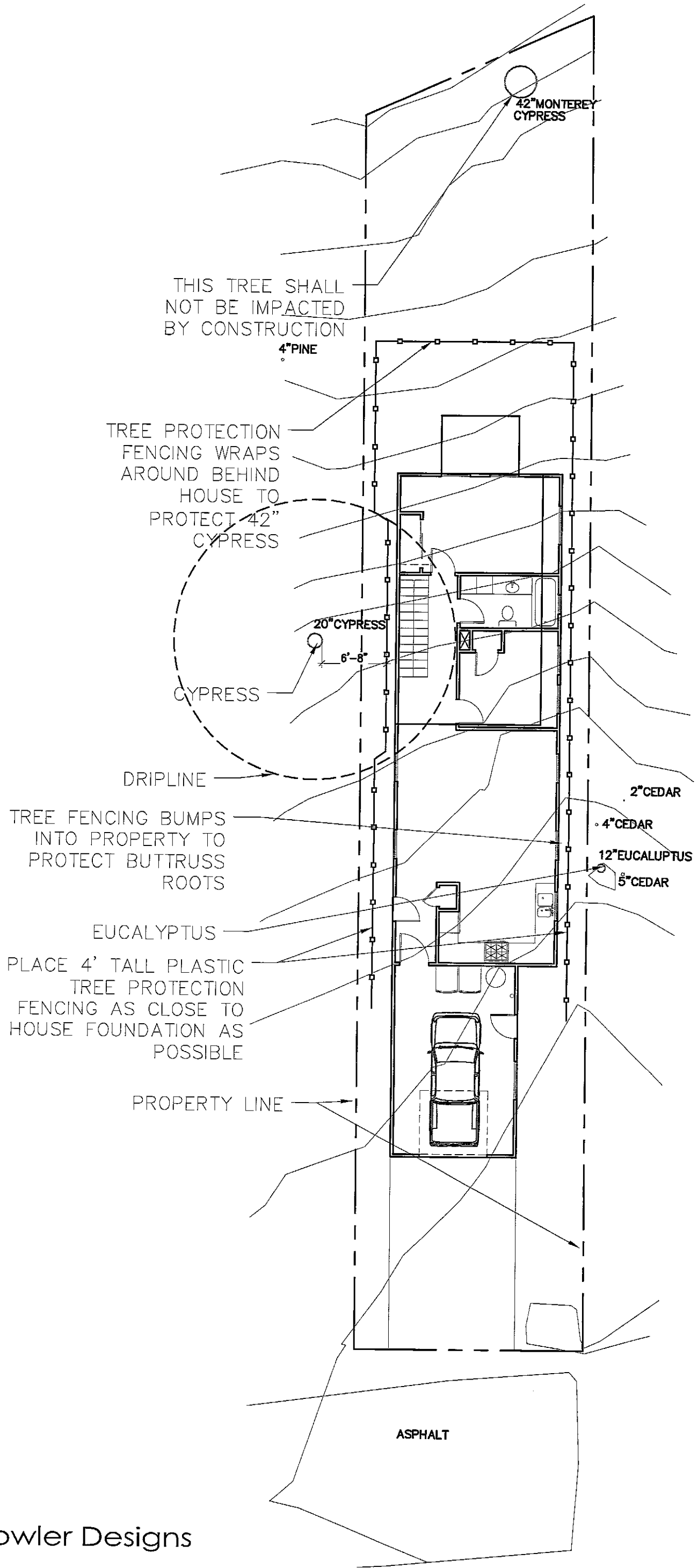
SAVOR P. MICALLEF, LAND SURVEYING
521 WILLOW DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

TOPOGRAPHIC SURVEY OF
APN 037-155-080

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

Revisions	
No.	Description

Date: 10-02-18	Scale: 1"=10'
Drawn: SPM	Approved: SPM
Job No.	Drawing Number:



THIS TREE SHALL NOT BE IMPACTED BY CONSTRUCTION

42" MONTEREY CYPRESS

4" PINE

TREE PROTECTION FENCING WRAPS AROUND BEHIND HOUSE TO PROTECT 42" CYPRESS

20" CYPRESS

6'-8"

CYPRESS

DRIPLINE

TREE FENCING BUMPS INTO PROPERTY TO PROTECT BUTTRUSS ROOTS

2" CEDAR

4" CEDAR

12" EUCALYPTUS

5" CEDAR

EUCALYPTUS

PLACE 4' TALL PLASTIC TREE PROTECTION FENCING AS CLOSE TO HOUSE FOUNDATION AS POSSIBLE

PROPERTY LINE

ASPHALT

David Fowler Designs

2475 BRUSH CREEK ROAD
 SANTA ROSA, CA 95404
 707.331.5199
 RLA# 6128
 www.davidfowledesigns.com
 dfowledesigns@gmail.com

TREE PROTECTION PLAN

0 VUE DE MAR AVE
 MOSS BEACH, CA

DATE 01-14-19

SCALE 3/32"=1'-0"

**0 Vue de Mar Ave
Moss Beach, CA 94038**

TREE PROTECTION MEASURES

November 16, 2018

1. Where pruning for clearance or hazard reduction is required on any trees to remain, it should be done by trained, qualified tree workers according to ISA & ANSI A300 Pruning Guidelines, prior to construction. Pruning should be the minimum necessary for hazard reduction, (i.e. the removal of deadwood. 2" and larger, broken branches, etc.) and for clearance.
2. Plastic tree protection fencing should be installed at the outer edge of the driplines of trees (on the side facing construction) within the zone of construction activity
If access within dripline will be required, fence to be placed at expected limit of grading.
Fence should be installed prior to the start of clearing or grading operations, and kept in place throughout construction activities.
3. If any roots larger than 1" are encountered during construction activities which can't be preserved, they should be cut cleanly across the face of the root with a sharp saw, past any damaged portions.
4. No parking, operation of equipment, storage of materials, disposal of waste or other construction activity shall occur within driplines of protected trees.
5. If any issues arise during construction relating to trees, project arborist shall be notified to visit site and/or provide recommendations