

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 1 22 ■ 650 363 4161 ■ FAX 650 363 4849

PLN 2019-00005

# Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN \_\_\_\_\_

Other Permit #: \_\_\_\_\_

## 1. Basic Information

### Applicant:

Name: CHRIS & KASEY GALANG

Address: 30 Afar Way

Montara CA Zip: 94037

Phone, W: 408 6675729 H: \_\_\_\_\_

Email: chris@galang.com

### Owner (if different from Applicant):

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

Email: \_\_\_\_\_

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San Mateo County  
Planning Division

### Architect or Designer (if different from Applicant):

Name: STUART GRUNOW

Address: 413 MAIN ST. STE G HMBCA Zip: 94019

Phone, W: 415 5950306 H: \_\_\_\_\_

Email: slgrunow@gmail.com

## 2. Project Site Information

### Project location:

APN: 036-310-130

Address: 30 Afar Way

Montara CA Zip: 94037

Zoning: PAD DR CD

Parcel/lot size: 130 680 SF sq. ft.

### Site Description:

Vacant Parcel

Existing Development (Please describe):

Single family home

## 3. Project Description

### Project:

New Single Family Residence: \_\_\_\_\_ sq. ft

Addition to Residence: 248 sq. ft

Other: garage 625 SF

### Describe Project:

Reconfigured entry  
Bedroom and family room  
2nd floor addition new garage  
Interior remodel w/new windows

### Additional Permits Required:

Certificate of Compliance Type A or Type B

Coastal Development Permit

Fence Height Exception (not permitted on coast)

Grading Permit or Exemption

Home Improvement Exception

Non-Conforming Use Permit

Off-Street Parking Exception

Variance

#### 4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	stucco	white	<input type="checkbox"/>
b. Trim	Wood or hardie	black	<input type="checkbox"/>
c. Windows	alum clad wood	black	<input type="checkbox"/>
d. Doors	alum clad wood	black	<input type="checkbox"/>
e. Roof	3 tab asphalt	black	<input type="checkbox"/>
f. Chimneys	stucco	white	<input type="checkbox"/>
g. Decks & railings	tile & metal cable	white	<input type="checkbox"/>
h. Stairs	NA	-	<input type="checkbox"/>
i. Retaining walls	NA	-	<input type="checkbox"/>
j. Fences	NA	-	<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport	hardie	white	<input type="checkbox"/>

#### 5. Required Findings

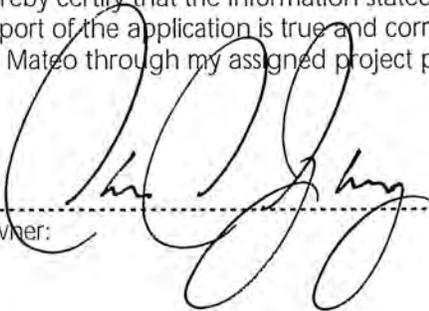
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

#### 6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:



Applicant:



Date:

02.11.2019

Date:

2/19/19

# Application for a Coastal Development Permit

## Companion Page

Applicant's Name: STUART GRUNOW

Primary Permit #: PLN2019-00065

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes  No

If yes, list Assessor's Parcel Number(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes  No

If yes, explain (include date and application file numbers).

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 Planning Division

### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>Stucco</u>	<u>white</u>	<input type="checkbox"/>
b. Trim	<u>wood or hardie</u>	<u>white</u>	<input type="checkbox"/>
c. Roof	<u>asphalt shingles</u>	<u>black</u>	<input type="checkbox"/>
d. Chimneys	<u>stucco</u>	<u>white</u>	<input type="checkbox"/>
e. Accessory Buildings	<u>stucco hardie</u>	<u>white</u>	<input type="checkbox"/>
f. Decks/Stairs	<u>grey tile</u>	<u>grey</u>	<input type="checkbox"/>
g. Retaining Walls	<u>n/a</u>		<input type="checkbox"/>
h. Fences	<u>n/a</u>		<input type="checkbox"/>
i. Storage Tanks	<u>Existing green plastic</u>		<input type="checkbox"/>

## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                      | No                                  |
|---|--------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| l. Signs?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

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## 5. Staff Use Only

### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?  
 Yes       No
- Construction or grading within 100 feet of a stream or wetland?  
 Yes       No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?  
 Yes       No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- Yes       No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_

# Environmental Information Disclosure Form

PLN PLN2019-00003  
 BLD \_\_\_\_\_

Project Address: 30 Afar Way  
Montara CA 94037  
 Assessor's Parcel No.: 036 - 310 - 130  
 Zoning District: PAD DR CD

Name of Owner: CHRIS & KASEY GALANG  
 Address: 30 Afar Way Montara CA  
94037 Phone: 408 667 5729  
 Name of Applicant: STUART GRUNOW  
 Address: 413 MAIN ST. STE G  
 Phone: 415 5950306

## Existing Site Conditions

Parcel size: 130,680 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). \_\_\_\_\_

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

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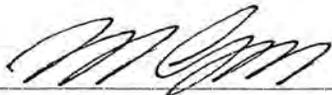
## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



Date:

2/12/19

(Applicant may sign)

Planning and Building Department

# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

PLN: 2019-00003  
BLD: \_\_\_\_\_

### Applicant/Owner Information

Applicant: STUART GRUNOW  
Mailing Address: 413 MAINST. STE G  
HALF MOON BAY CA Zip: 94019  
Phone, W: 415 595 0306 H: \_\_\_\_\_  
E-mail Address: s2grunow@gmail.com FAX: \_\_\_\_\_

Name of Owner (1): CHRIS GALANG  
Mailing Address: 30 Afar Way  
Montara CA  
Zip: 94037  
Phone, W: \_\_\_\_\_  
H: 408 667 5729  
E-mail Address: chris@galang.com

Name of Owner (2): KASEY GALANG  
Mailing Address: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_  
H: \_\_\_\_\_  
E-mail Address: \_\_\_\_\_

### Project Information

Project Location (address): 30 Afar Way  
Montara CA  
94037  
Zoning: PAD, DR, CD

Assessor's Parcel Numbers: 036-310-130  
\_\_\_\_\_  
\_\_\_\_\_  
Parcel/lot size: 130,680 SF SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe Existing Structures and/or Development:  
\_\_\_\_\_  
\_\_\_\_\_

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Permit Types	Application Companion Page	Environmental Info. Form	Ownership			Survey			Site Plans (show all easements)	Elevation Plans	Floor Plans	Landscaping Plan	Grading Projects			Density Analysis/ Certification	Tentative Map	Geotechnical Report	Supporting Statements	NPDES	Dept. Of Public Works		Access Plans (if >150 ft from public road)		Other Fire Reqs	Sept
			Owner's Concurrence	Chain of Title	Title Report (within past 2 mo.)	Proof of Ownership (Deed or Tax Bill)	Boundary Survey	Topographic Survey					Existing Tree Plan	Location Map	Grading Plans						Erosion/ Sediment Control	Haul Routes (if export exceeds 250 cy)	Drainage Plan	Site Distance Study by Civil Engineer		
Agritourism Permit/ Exemption	✓	✓	✓					✓	✓										✓							
Agricultural Preserve	✓	✓	✓		✓	✓		✓	✓									✓	✓							
Architectural Review	✓	✓	✓		✓	✓*		✓	✓	✓	✓	✓*	✓*				✓*	✓	✓			✓		✓		✓
Architectural Review Exemption		✓	✓		✓	✓		✓	✓	✓	✓	✓	✓					✓	✓			✓		✓		✓
Certificate of Compliance - Type A			✓	✓	✓														✓							
Certificate of Compliance - Type B	✓	✓	✓	✓	✓			✓	✓	✓	✓								✓							
Coastal Development	⓪	⓪	⓪		⓪	WCA		WCA	WCA	⓪	⓪	WCA	WCA				WCA	✓	⓪	WCA		⓪	WCA	WCA	WCA	WCA
Coastal Development Exemption	✓	✓																	✓							
Major Development Review	✓		✓		✓	✓	✓	✓	✓	✓	✓				✓				✓	✓	✓		✓			
Confined Animal Permit or Exempt	✓	✓	✓		✓			✓	✓				✓						✓	✓						
Design Review	✓	✓	✓		✓	✓*	✓	✓	✓	✓	✓	✓*	✓*				✓*	✓	✓	✓*	✓*	✓			✓	
Farm Labor Housing	✓	✓	✓		✓			✓	✓	✓	✓	✓	✓						✓							
Fence Ht Ex.		✓	✓		✓	✓*		✓	✓	✓									✓							
General Plan Amendment	✓	✓	✓		✓			✓	✓	✓									✓							
Grading	✓	✓	✓		✓		✓	✓	✓			✓	✓	✓				✓		✓						
Grading Exemption	✓	✓	✓		✓		✓	✓	✓			✓	✓	✓					✓							
Home Improvement Exception	✓	✓	✓		✓	✓*		✓	✓	✓	✓			✓*			✓*	✓	✓						✓	
Kennel/Cattery	✓	✓	✓		✓			✓	✓	✓			✓						✓	✓						
Lot Line Adjustment	✓	✓	✓	✓	✓			✓	✓						✓*				✓							
Merger			✓		✓			✓	✓										✓							
Off-Street Parking Exception		✓	✓		✓			✓	✓	✓									✓							
Planned Agriculture	✓	✓	✓		✓	✓		✓	✓	✓		✓	✓		✓		✓	✓	✓	✓		✓		✓		✓
Resource Management		✓	✓		✓	✓*	✓	✓	✓	✓		✓*	✓*		✓*		✓*	✓	✓	✓		✓			✓	
Rezoning	✓	✓	✓		✓			✓	✓	✓									✓							
Street Name/Change	✓							✓											✓							
Subdivision	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Surface Mining	✓	✓	✓		✓			✓	✓	✓			✓						✓							
Timberland Preserve		✓	✓		✓			✓	✓	✓		✓	✓						✓			✓				
Use Permit	✓	✓	✓		✓	✓		✓	✓	✓		✓*	✓*				✓*	✓	✓	✓					✓	
Use Permit - Telecomm	✓	✓	✓		✓	✓		✓	✓	✓	✓	✓*	✓*				✓*	✓	✓	✓		✓*		✓	✓	✓
Variance	✓	✓	✓		✓	✓		✓	✓	✓									✓							✓

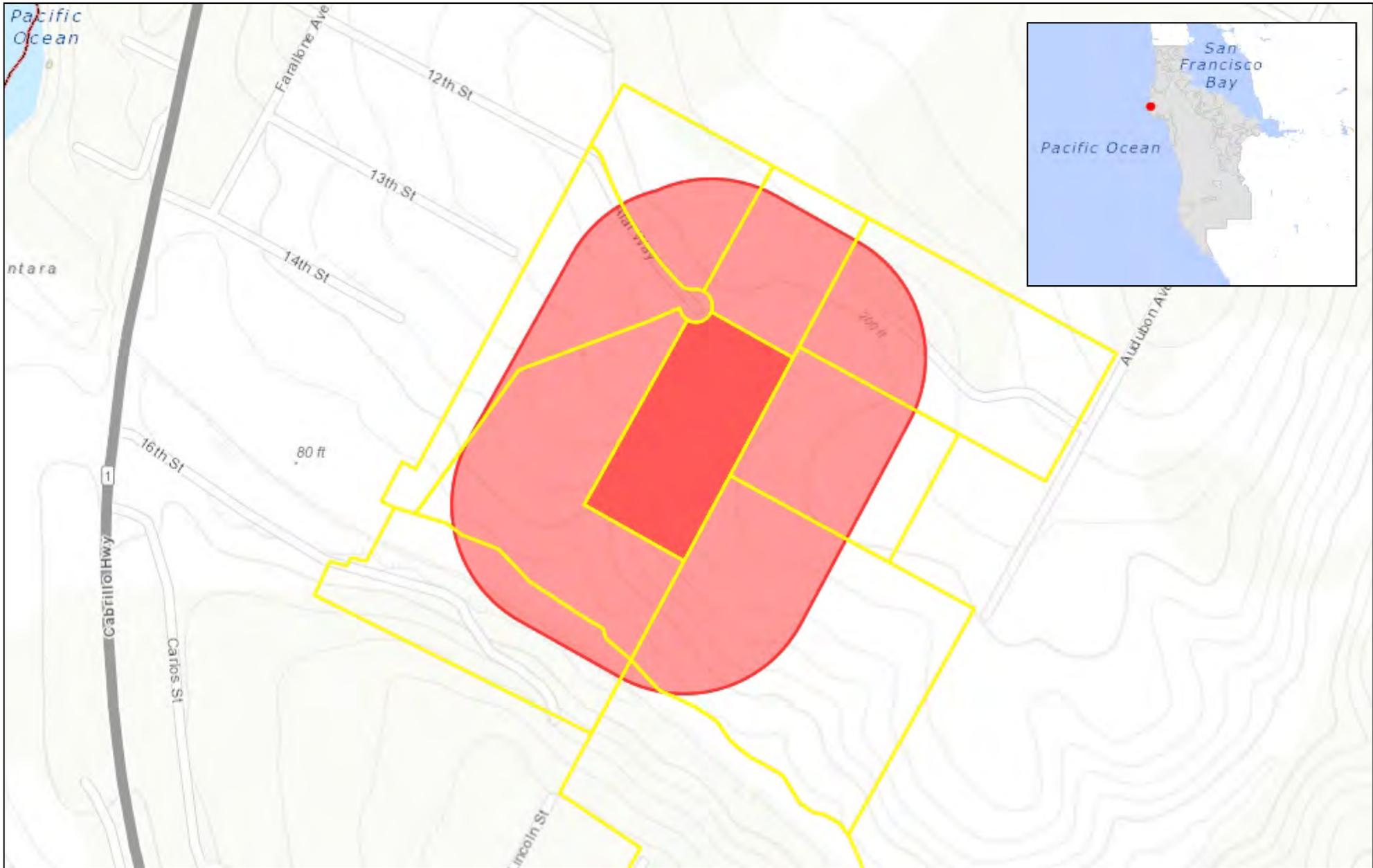
\*Required where applicable, as determined by County Staff.

\*\*Turn around may be required by Fire Department

\*\*\*Water tanks may be required by Fire Department

Submittal Requirements: 1) 5 sets of plans are required for any application, with the exception of Subdivision applications where 7 sets are required, plus an electronic vector-based map on disc

Disclaimers: In addition to these items checked, other items may be required on a case-by-case basis during the Planning permit review process. Plans approved under Planning Permit are subject to final review by other departments.



0.14 0 0.07 0.14 Miles

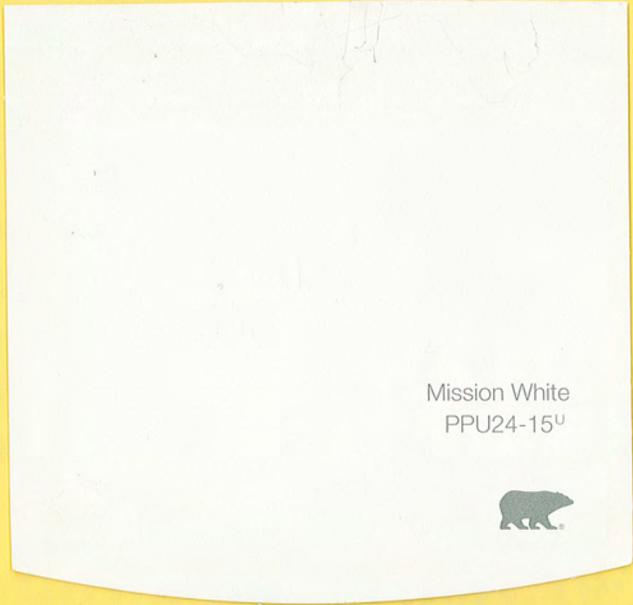
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:4,513



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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



Mission White  
PPU24-15<sup>u</sup>



## Building codes

All construction shall conform to:  
 2016 California Building Code CBC  
 2016 California Residential Code CRC  
 2016 California Plumbing Code CPC  
 2016 California Mechanical Code CMC  
 2016 California Electrical Code CEC  
 2016 California Referenced Standards Code  
 2016 California Energy Code  
 2016 CGBC - California Green Buildings Code  
 Standards Codes  
 County of San Mateo Building Regulations

The county of san mateo has passed an ordinance that new construction and major additions and remodels (50% or more in valuation will require the "build it green" environmental system. See sheet GNI.

This new residence will require an automatic fire sprinkler system. Contractor must have a C-16 license to install design. Fire hydrant compliance must be checked.

Cleanouts in building sewers shall be provided in accordance with the rules, regulations and ordinances of the city/county. All the cleanouts shall be maintained watertight.

## Contacts

### Architect

Stuart Grunow Architecture  
 413 Main Street Ste: G  
 Half Moon Bay, California 94019  
 (415) 595-0306

### Structural

### Civil

### Soils

## Vicinity Map

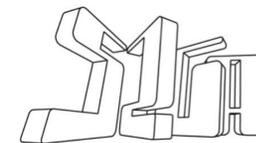


## Sheet Index

- A0.0 Cover
- A0.1 Notes
- 1 Survey
- BMP Construction Best Management Practices
- C1.0 Civil Plan
- A1.1 Existing Site Plan & Demolition
- A1.2 Site Plan
- A1.3 Enlarged Site Plan
- A2.1 Basement Site Existing Condition & Demolition
- A2.2 First Floor Site Existing Condition & Demolition
- A2.3 Second Floor Site Existing Condition & Demolition
- A2.4 Basement Floor Plan
- A2.5 First Floor Plan
- A2.6 Second Floor Plan
- A2.7 Detached Garage Floor Plan
- A4.1 Existing Elevations & Demolition
- A4.2 Existing Elevations & Demolition
- A4.3 Elevations
- A4.4 Elevations
- A4.5 Detached Garage elevations
- A5.1 Existing Section
- A5.2 Section

## Description

Remodel, addition, and new detached garage for an existing 5,935 s.f. 2-story and basement house. The residence is located 30 Afar Way in Montara, California on a 3.02-acre lot (130,680 s.f.).

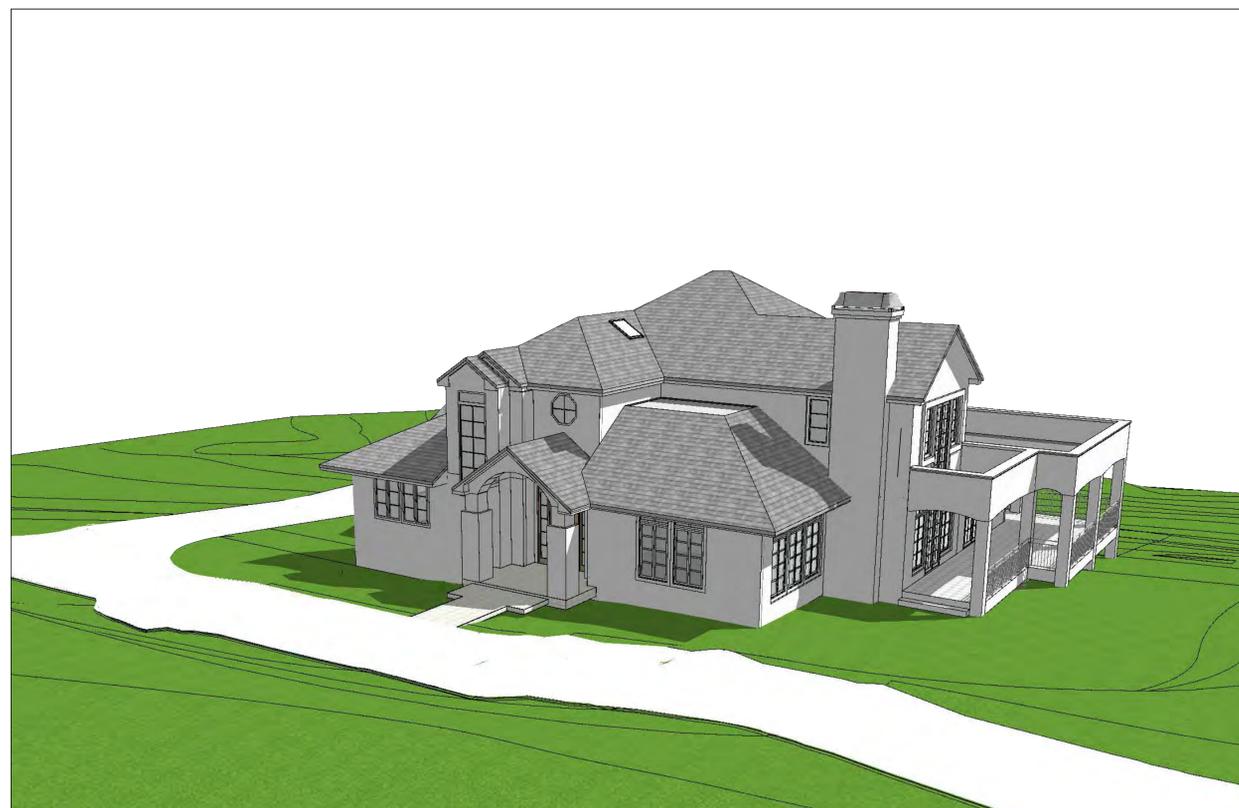


Stuart Grunow Architecture  
 413 Main Street Ste: G  
 Half Moon Bay, California 94019  
 tel: (415) 595-0306  
 www.s2garch.com

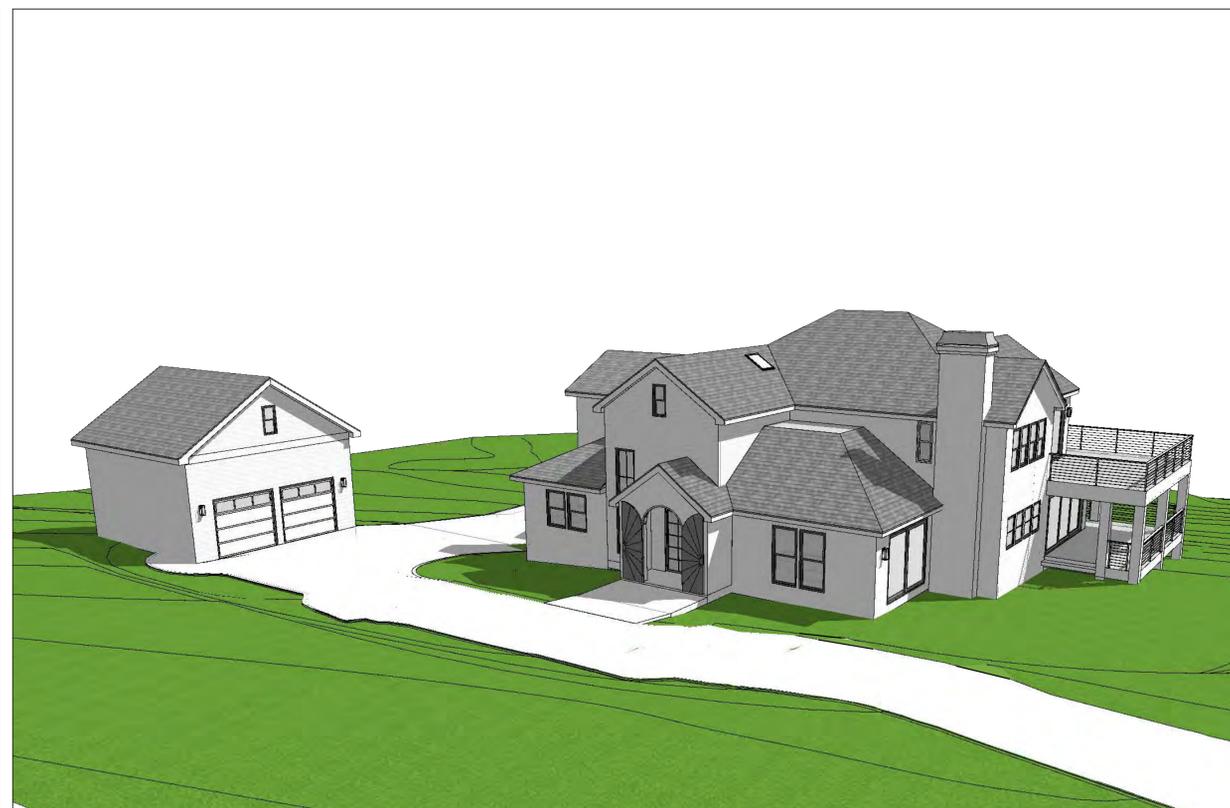


# Galang Residence

Kasey & Chris Galang  
 30 Afar Way  
 Montara, CA 94037  
 APN: 036-310-130



Perspective - Existing from North



Perspective - New from North

10 APR 19 Planning Resubmit  
 12 FEB 19 Planning Submittal

Index, General  
 Notes

# A0.0

## ABBREVIATIONS

AB	ANCHOR BOLT	FLUPR.	FLUORESCENT	PR	PAIR
AB.M.	AGGREGATE BASE MATERIAL	F.O.	FINISH OPENING	PRCST.	PRECAST
ACOUS.	ACOUSTIC	F.O.C.	FACE OF CONCRETE	P.S.F.	POUNDS PER SQUARE FOOT
AC	AIR CONDITIONING	F.O.S.	FACE OF STUD/STEEL	P.S.I	POUNDS PER SQUARE INCH
AC	ASPHALTIC CONCRETE	FR.	FRAME	PSL	PARALAM BEAM
AD	ACCESS DOOR	F.R.P.	FIBER GLASS	PT.	PRESSURE TREATED
ADJ.	ADJUSTABLE		REINFORCED PLASTIC	P.T.D.	PAPER TOWEL DISPENSER
A.F.S.	AUTOMATIC FIRE SPRINKLER			PIN.	PARTITION
AGGR.	AGGREGATE	GA	GAUGE		
ALT	ALTERNATE	GALV.	GALVANIZED	R.	RISE
ALUM.	ALUMINUM	G.B.	GREEN BOARD	R.A.	RETURN AIR
ANOD.	ANODIZED	G.C.	GENERAL CONTRACTOR	RAD.	RADIUS
A.P.	ACCESS PANEL	G.F.I.	GROUND FAULT INTERRUPTER	R.C.P.	REFLECTED CEILING PLAN
ARCH.	ARCHITECTURAL	G.I.	GALVANIZED IRON	R.D.	ROF DRAIN
ASPH.	ASPHALT	GL	GLASS	REC.	RECESSED
A.T.	ASH TRAY	G.L.B.	GLULAM BEAM	REF.	REFERENCE
L	ANGLE	GND.	GROUND	REF.	REFRIGERATOR
@	AT	G.S.M.	GALVANIZED SHEET METAL	REINF.	REINFORCEDING
&	AND	G.V.	GATE VALVE	REQD.	REQUIRED
		RH		RH	RIGHT HEND
BD.	BOARD	H.B.	HOSE BIBB	R.H.	ROUND HEAD
BK SPL.	BACKSPASH	H.C.	HOLLOW CORE	RM.	ROOM
BLDG.	BUILDING	HCAP.	HANDICAP	R.R.	ROOF RAFTER
BLK.	BLOCK	HDBD.	HARDBOARD	R.W.L.	RAIN WATER LEADER
BLKG.	BLOCKING	HDR.	HEADER		
BM.	BEAM	K.P.	KICKPLATE	S.B.	SOLID BLOCKING
B.O.J.	BOTTOM OF JOISTS	HDWD.	HARDWOOD	S.C.	SOLID CORE
BOT.	BOTTOM	HDWE.	HARDWARE	S.C.D.	SEAT COVER DISPENSER
BSBD.	BASEBOARD	H.M.	HOLLOW METAL	S.D.	SMOKE DETECTOR
B.U.	BUILT-UP	HORIY.	HORIYONTAL	SECT.	SECTION
		H.P.	HIGH POINT	S.G.	SAFETY GLAZE
		H.R.C.	HOSE REEL CABINET	SHR.	SHEAR
CABT.	CABINET	HT.	HEIGHT	SHT.	SHEET
C.B.	CATCH BASIN	H.T.D.	HANDICAP TOWEL DISP.	SHWR.	SHOWER
CBO.	CEILING BOARD	HTG.	HEATING	SK.	SINK
CEM.	CEMENT	HW	HOT WATER	SIM	SIMILAR
CER.	CERAMIC			S.M.	SHEET METAL
C.G.	COVER GUARD	I.D.	INSIDE DIAMETAR	S.M.S.	SHEET METAL SCREWS
C.I.	CAST IRON	INSUL.	INSULATION	S.N.D.	SANITARY NAPKIN DISPOSAL
C.J.	CEILING JOIST	INT	INTERIOR	S.N.V.	SANITARY NAPKIN VENDOR
CLG.	CEILING			S.O.V.	SHUT OFF VALVE
CLR.	CLEAR	J.B.	JUNCTION BOX	S.P.D.	SOAP DISPENSER
CLO.	CLOSET	JT	JOIST	SQ	SQUARE
CMU	CONC. MASONRY UNIT			S.S.	SERVICE SINK
CNTR.	COUNTERTOP	LAV	LAVATORY	STL.	STEEL
COL	COLUMN	L.H.	LEFT HAND	STD	STANDARD
COMP.	COMPOSITION	LKR.	LOCKER	STOR.	STORAGE
CONC.	CONCRETE	L.F.	LOW POINT	STRUC.	STRUCTURAL
CONST.	CONSTRUCTION	LT	LIGHT	S.T.S.	SELF TAPPING SCREW
CONTR.	CONTRACTOR	LTWT.	LIGHTWEIGHT	ST. STL.	STAINLESS STEEL
CT	COOKTOP	MW	MICRO-WAIVE	SUSP.	SUSPENDED
CT.	COATS	MED.	MEDIUM	SYM.	SYMMETRICAL
CUST.	CUSTOMIAN	MAX.	MAXIMUM	T	TREAD
CW	COLD WATER	M.C.	MEDICINE CABINET	T.B.	TOWEL BAR
I	CHANNEL	M.D.F.	MEDIUM DENSITY FIBER BD	T&B	TOP & BOTTOM
C	CENTERLINE	MECH.	MECHANICAL	T/C	TRASH COMPACTOR
D	DRYER	MEMB.	MEMBRANE	T.D.	TOWEL DISPENSER
DET.	DETAIL	MFR.	MANUFACTURER	T.D.L.	TRUE-DIVIDED LIGHTS
DS	DARK SKY LIGHT	M.H.	MANHOLE	T.O.D.	TOWEL DISPENSER & DISP.
D.F.	DOUGLAS FIR	MIN	MINIMUM	TELE.	TELEPHONE
D/G	DUALGLAZE	MTD.	MOUNTED	TEMP.	TEMPERED GLASS
Ø	DIAMETER OR ROUND	M.B.	MACHINE SCREW	T&G	TONGUE&GROOVE
DI.	DIAMETER	MTL	METAL	THK	THICK
DM.	DIMENSION	MULL	MULLION	T.K.	TOP KICK
DISP.	GARBAGE DISPOSAL	(N)	NEW	T.O.C.	TOP OF CURB
DN	DOWN	DOOR	NORTH	T.O.P.	TOP OF PAVEMENT
DEM/D	DEMOLISHED	D.S.	DOWNSPOUT	T.O.PL.	TOP OF PLATE
DR	DRYER	DW	DISHWASHER	T.O.S.	TOP OF SLAB
D.S.	DOWNSPOUT	DWG	DRAWING	T.O.STL.	TOP OF STEEL
DW	DISHWASHER			T.P.D.	TOILET PAPER DISPENSER
DWG	DRAWING			TYP.	TYPICAL
		#	NUMBER		
(E)	EXISTING	O/	OVER	U.O.N.	UNLESS OTHERWISE NOTED
EA.	EACH	O.B.	OBSCURE	UR.	URNAL
ELEV.	ELEVATION	O.C.	ON CENTER		
E.J.	EXPANSION JOINT	O.D.	OUTSIDE DIAMETER	V.C.T.	VINYL COMPOSITION TILE
EQ	EQUAL	O.F.S.	OUTER FACE OF STUD	VERT.	VERTICAL
E.B.	EXPANSION SHIELD	O.H.	OVER HEAD	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
EXH.	EXHAUST	O.P.	OPAQUE	VIN.	VINYL
EXT.	EXTERIOR	OPNG.	OPENING	V.T.R.	VENTILATION THROU ROOF
		OPR.	OPPOSITE	V.H.F.	VINYL WALL FABRIC
FA.	FIRE ALARM	P.A.	PUBLIC ADDRESS	W	WASHER
F.B.	FLAT BAR	P.D.F.	POWER DRIVEN FASTENER	W/	WITH
FBRGL.	FIBERGLASS	P.G.	PAINT GRADE	W.C.	WATER CLOSET
F.D.	FLOOR DRAIN	P.H.	PHILLIPS HEAD	WD.	WOOD
FND.	FOUNDATION	P.H.	PUBLIC AND HOUSE PHONE	W/DOWDOS	WINDOW/WINDOWS
F.E.	FIRE EXTINGUISHER	P.I.V.	POST INDICATOR VALVE	W/DR. BD.	WONDERBOARD
F.F.	FINISH FLOOR	PL	PLATE	W/O	WITHOUT
F.G.	FINISH GRADE	PL	PLATE	W/P.	WATER PROOF
F.H.	FLAT HEAD	PL.	PROPERTY LINE	WRGP.	WATER RESISTANT GYPSUM
F.H.C.	FIRE HOSE CABINET	PLAS.	PLASTER	W.S.	WEATHER STRIPPING
FIN. FLR.	FINISH FLOOR	PLAS. LAM.	PLASTIC LAMINATE	W/SCOT	OR WOOD SCREW
F.J.	FLOOR JOIST	POL.	POLISHED	W.SCT.	WAINSCOT
F.LD.	FOLDING			WT.	WEIGHT
FLR.	FLOOR				

## Misc. Site Plan Notes & Construction Operation Plan

Underground service shall be installed in accordance with the most recent edition of the pacific gas & electric company requirements.

Cleanouts in bldg. sewers shall be approved in accordance with the rules, regulations and ordinances of the sewer authority. All cleanouts shall be maintained watertight.

The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area.

Special inspection required for concrete foundation greater than 2,500 P.S.I. Epoxy holdowns, high strength bolts, seismic resistance and structural steel welding & for shear wall nailing spaced 4 or less. Complete and submit a stamped & signed special inspection form prior to permit issuance.

An encroachment permit from the public works department is required prior to commencing any work within the municipalities right of way.

The applicant/contractor shall adhere to all requirements of the bldg. inspection section, the dept. of public works and the coastside fire protection district.

Prior to final inspection, paint the address number on the face of the curb near the driveway approach with black lettering on a white background.

Include house address numerals shall be a min. 4 in height and - stroke of constructing color top their background and must be lighted during the hours of darkness (see elevation) for new construction only. See complete notes under fire protection notes.

Coordinate underground construction activities to utilize the same joint trench. Minimize the amount of time the disturbed soil & exposed. The soil is to be replaced using accepted compaction methods.

Stockpile and protect displaced topsoil for reuse.

General contractor (G.C.) to verify utilities are maintained in safe condition at time or remove from site.

G.C. to verify all hazardous materials have been removed.

G.C. to verify that the water line the building has been cut off at the property line and a hose bib with a vacuum breaker type backflow prevention device is provided for dust control.

If there is no construction trailer used for this project, the applicant/contractor shall remove all construction equipment from the site upon competition of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

The debris bin to be located somewhere on the site. debris to be off-site to as necessary. The applicant/contractor shall monitor the site to ensure that trash is packed up and appropriately disposed daily.

The applicant/contractor shall ensure the all construction equipment from the site upon competition of the use and/or need of each piece of equipment which shall include but not limited to tractors, back hoes, cement mixers, etc.

The applicant/contractor shall ensure the no construction-related vehicle shall impede through traffic along the right-of-way on street. All construction vehicle shall be parked on-site outside of the public right of way or in locations which do not impede safe access on street. There shall be no storage of construction vehicles in the public right of way.

No site disturbances shall occur, including any grading or tree removal, until the building permit has been issued and than only those trees approved for removal shall be removed.

Water shall be available on site for dust control during all grading operations.

Surface runoff from all impervious surfaces shall be directed to the water detention areas. See civil plans.

It is the intent of these drawings to provide positive drainage in all paved and landscaped areas. See grading, drainage & erosion control plan on sheet C-1. contractor to provide intent.

See separate drainage plan by civil engineer for official design of erosion control and drainage plan.

Rainwater leaders (downspouts) to tie into underground drain. See drainage plan by civil engineer on sheet C-1.

Maintain 6 minimum clearance from soil to bottom of siding (8 from sill).

Drain water away from building. Make certain that all water drains and there is no ponding.

Prior to the issuance of the bldg. permit, the applicant/contractor shall submit a driveway plan & profile to the department of public works, showing the driveway access to the parcel (garage slab) complying with the country standards for driveway slopes (not to exceeded 20%) and to country standards (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the dept. of public works, the plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans, the driveway plans shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

No proposed construction work within the county right of way shall begin until the county requirements for the issuance of an encroachment permit, including review of the plans have been met and an encroachment permit issued. The applicant/contractor shall contact the dept. of public works inspector 48 hours prior to commencing work in the right of way.

Prior to the issuance of the building permit, the applicant my be required to provide payment of roadway mitigation fees based on the square footage (assessable space of the proposed building per ordinance no. 3211.

The applicant shall submit a permanent stormwater management plan in compliance with the county's drainage policy and national pollutant discharge elimination system (NPDES) requirement for review and approval by the department of public works.

Schedule work so as not to interfere unduly with the normal household operations.

No site disturbance shall occur, including any grading or tree removal until a building permit has been issued.

## Cal-Green Notes

Per CGBC section 4.303, provide the following water conserving plumbing fixtures and fitting in accordance with CGBC section 4.303:

- Showerheads = 1.8 gpm @80 psi
- Lavatory faucets = 1.2 gpm @60 psi
- Kitchen faucet = 1.8 gpm @60 psi
- Tank water closet = 1.28 gallons/flush

Contact San Mateo County regarding the requirements for the construction waste management plan per CGBC section 4.408.

Documentation and compliance verification on pollution control measures for paint, carpets or any composite wood products shall be provided at the request of the building department. It is recommended at VOC and formaldehyde limitation tables from the CGBC, be incorporated into plan sheets for reference use. CGBC section 4.504.

Annular spaces around pipes, electrical cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method. CGBC section 4.406.

## Fire Protection Notes

1a. CRC 2016 section R337. This project is located in a state responsibility area for wildfire protection. Roofing, attic ventilation, exterior walls, windows exterior doors, decking, floors and underfloor protection shall comply with CRC 2016 section R337 requirements.

An approved automatic fire sprinkler system meeting the requirements of NFPA-13D must be submitted. The entire structure to have fire sprinklers. They must be drawn by a contractor having a C/16 license. The subcontractor shall produce drawings for approval by city, country or fire department.

Smoke detectors are hardwired as per the California building code (CBC), state fire marshal regulations and Coastside Fire District Ordinance No.2013-03. The applicant is required to install state fire marshal approved and listed smoke detectors which are hardwired, interconnected and have battery backup. These detectors are required to be placed in each new room and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.

2a. Smoke/carbon monoxide detectors: to be hardwired, interconnected or with battery power backup. Detectors are to be installed per manufacturers instruction and NFPA 72.

Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.

4a. Identify rescue windows in each bedroom and verify that they meet all requirements.

5. Occupancy separation: attached garage to meet occupancy separation requirements per CRC 2016 section R302.6. A one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self closing door assembly with smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.

6. Address numbers: Address numbers shall be 4 inches in height with a minimum 3/4 inch stroke and shall be internally illuminated 6 feet above finish grade, numbers to be posted in a conspicuous place and visible from the street.

7. Roof covering: as per Coastside Fire Protection District Ordinance No. 2013-03, the roof covering of every new building and materials applied as part of a roof covering assembly, shall have a minimum fire rating of class B or higher as defined in the current edition of the California Building Code.

8. Automatic fire sprinkler system: as per san mateo county building standards and Coastside Fire Protection District Ordinance No. 2013-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the san mateo county planning and building division. A building permit will not be issued until plans are received, reviewed and approved. Upon submitting of plans, the country of city will forward a complete set to the Coastside Fire Protection District for review. Installation of underground sprinkler pipe shall be flushed and visually inspected by Coastside Fire Protection District prior to hook-up to riser. Any soldered fitting must be pressure tested with trench open. The fee schedule for automatic fire sprinkler system shall be in accordance with Half Moon Bay Ordinance No.2006-01. Fees shall be paid prior to plan review.

9. Installation of underground sprinkler pipe shall be flushed and visually inspected by fire district prior hook-up to riser. Any soldered fittings must be pressure tested with trench open.

10. Exterior bell and interior horn/strobe: required to be wired into the required flow switch on your fire sprinkler system, the bell, horn/strobe and flow switch, along with the garage door opener are to be wired into separate circuit breaker at the main electrical panel and labeled.

11. Optional solar photovoltaic system: these systems shall meet the requirements of the Coastside Fire Protection District as outlined in standard detail DI-001 solar photovoltaic system.

12. Fire access roads: the applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The san mateo county department of public works, the Coastside Fire Protection District Ordinance No. 2013-03 and the California Fire Code shall set road standards. As per the 2016 CFC, dead end roads exceeding 150 feet shall be provided with a turnaround in accordance with half moon bay fire district specifications. As per the 2001 CFC, section appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

13. Fire apparatus roads to be minimum of 20 feet wide a minimum of 35 feet centerline radius and a vertical clearance of 15 feet CFC503, DI03, T-14 1273

Fire apparatus access roads to be an approved all weather surface. Grades 15% or greater shall be limited to 150 feet in length with a minimum of 500 feet between the next section. For roads approved less than 20 feet, 20 feet wide turnouts shall be on each side of 15% or greater section. No grades over 20%. (plan and profile required CFC 503).

14. No parking fire line signs shall be provided on both sides of roads 20 to 26 feet wide and on one side of roads 26 to 32 feet wide CFC DI03.6.

15. Fire hydrant: as per 2016 CFC, appendix B and C, a fire district approved fire hydrant (flow 360) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, appendix B, the hydrants/standpipe must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details. (the applicant shall provide documentation including hydrant location, main size and fire flow report at the building permit application stage. Inspection required prior to the fires final approval of the building permit or before combustibles are brought on site).

16. The required fire flow shall be available from a country standard wet barrel fire hydrant. The configuration of the hydrant shall have minimum of one each 4 | outlet and one each 2 | outlet located not more than 250 feet from the building measured by way of approved drivable access to the project site.

a. Vegetation management: the Coastside Fire Protection District Ordinance No. 2013-03, the 2016 California Fire Code and public resources code 4291. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (state responsible area) the fuel break is 100 feet or to the property line.

b. Trees located within the defensible space shall be pruned to remove dead and dying partitions, and limited up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.

d. The installation of an approved spark arrester is required on all chimney existing and new. spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2". Note: no fireplate for this design.

e. A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.

f. Trees located within the defensible space shall be pruned to remove dead and dying portions and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity.

g. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

If applicable, project shall comply with CRC 2016 section R327, materials and construction methods for exterior wildfire exposure. Show the following on plans:

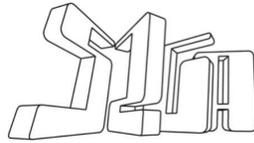
a. If roof gutters are provided at new addition, it shall be provided with means to prevent the accumulation of leaves and debris. Section R327.5.4.

b. Windows shall be 20 minute or have one tempered pane. Section R327.8.2.1.

c. Exterior doors shall comply with SFM 12-7A-1 standards or shall be a noncombustible construction, or shall be solid core door 1-3/8" thick with interior field panel thickness no less than 1-1/4" thick, or shall have a 20 minute fire resistance rating in compliance with Section R327.8.3.

d. Roof assemblies or coverings shall be Class A rated. Provide ICC report or UL listing for the assembly. Section R327.5 and R902.1.1.

e. Open roof eaves shall be provided with one of the requirements per section R327.7.4. Clarify if the underside of overhang is exposed, covered, protected? Exterior entry porch ceiling (overhang) shall be protected by one of the requirements under section R327.7.6. if applicable. Provide a detail to show protection as required.



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# Galang Residence

Kasey & Chris Galang  
30 Afar Way  
Montara, CA 94037  
APN: 036-310-130

10 APR 19 Planning Resubmit

12 FEB 19 Planning Submittal

## Notes

# A0.1

**LEGEND**

- PROPERTY LINE 
- EASEMENT LINE 
- AC BERM 
- RETAINING WALL 
- TREE LINE 
- MARSH/SWAMP 
- SDCB 
- IRON PIPE 

**ABBREVIATIONS**

- AC ASPHALTIC CONCRETE
- BM BENCHMARK
- CONC CONCRETE
- EL ELEVATION
- FF FINISH FLOOR
- GF GARAGE FLOOR
- IP IRON PIPE
- RDWD/HDR REDWOOD HEADER
- SDCB STORM DRAIN CATCH BASIN
- TG TOP OF GRATE

**BASIS OF BEARINGS**

PARCEL MAP, BOOK 70 PAGE(S) 69-70 OFFICIAL RECORDS SAN MATEO COUNTY.

**BENCHMARK**

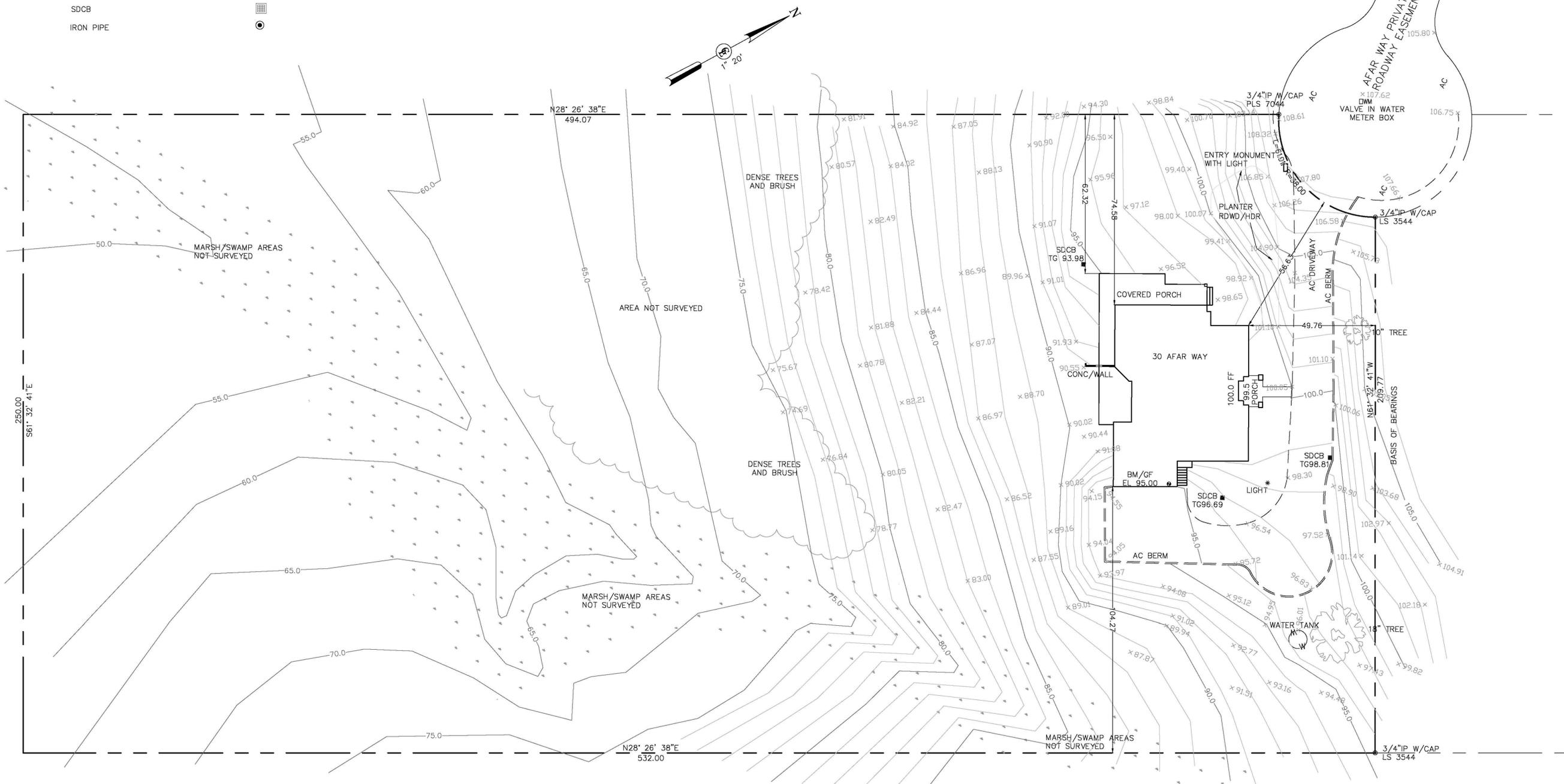
THE GARAGE FLOOR AT THE FACE OF GARAGE AT THE NORTHERLY END WAS TAKEN AS ELEVATION 95.00 (ASSUMED) FOR THIS SURVEY.

ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS OF FEET, UNLESS OTHERWISE NOTED

*Kevin D. Nickolas*

KEVIN D. NICKOLAS  
L.S. 7392 EXP. 12-31-2019

03/28/2019  
DATE



GRANT LINE LAND SURVEYING  
2278 CAROL ANN DRIVE TRACY, CA 95377  
(925)457-1734 glsurveys@comcast.net

TOPOGRAPHIC SURVEY  
30 AFAR WAY  
MONTARA CALIFORNIA

DATE: 03-28-2019  
SCALE: 1" = 10'  
PROJ. 019-010  
DRN.BY: KN  
SHEET NO. 1  
OF 1 SHEETS



SAN MATEO COUNTYWIDE

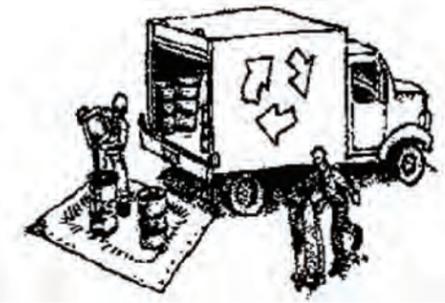
# Water Pollution Prevention Program

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



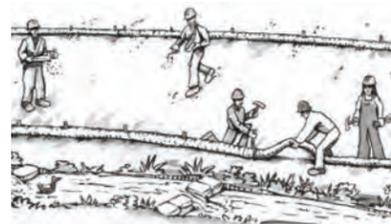
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



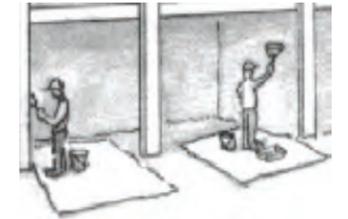
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

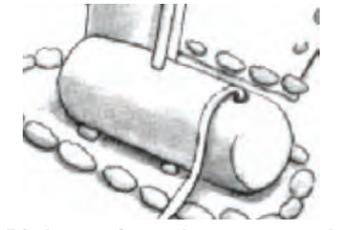
## Painting & Paint Removal



### Painting Cleanup and Removal

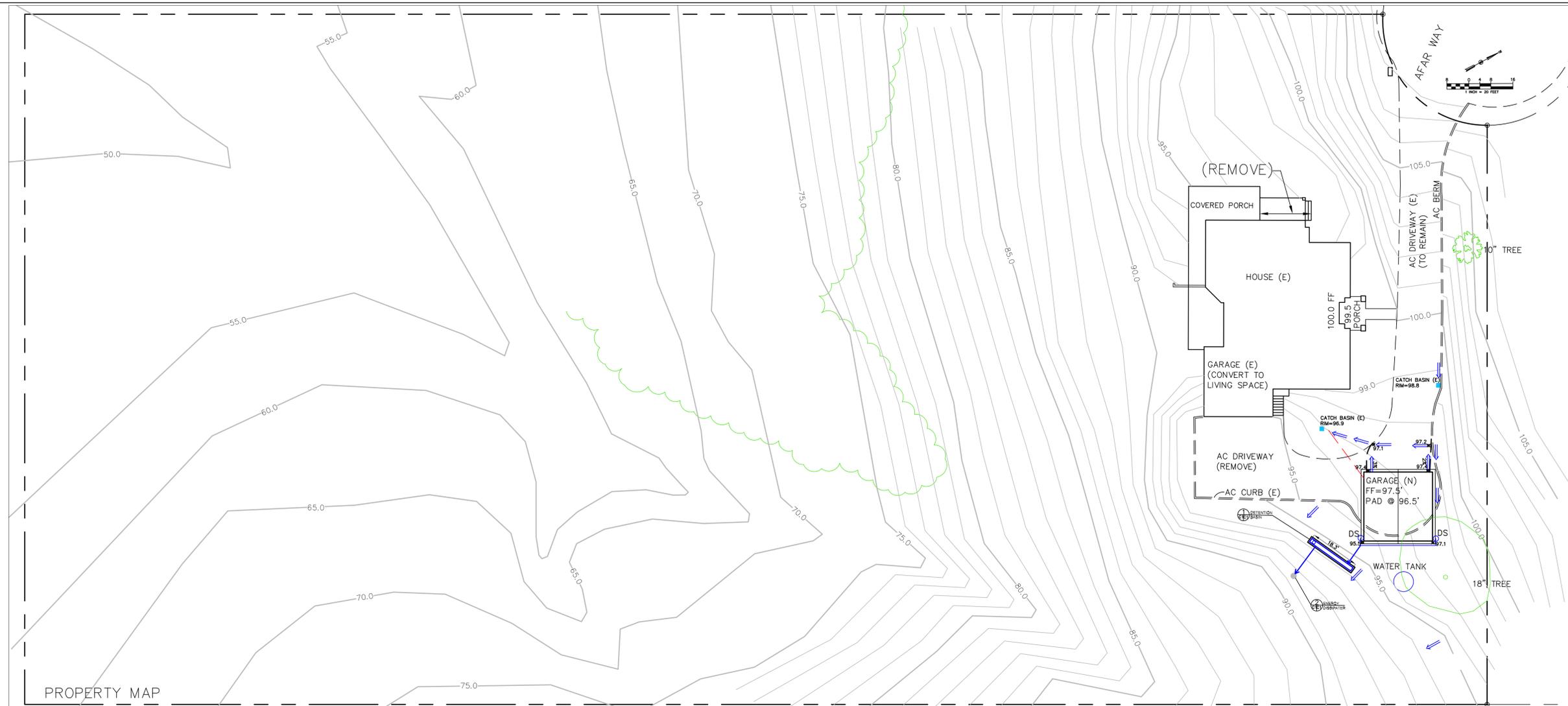
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering

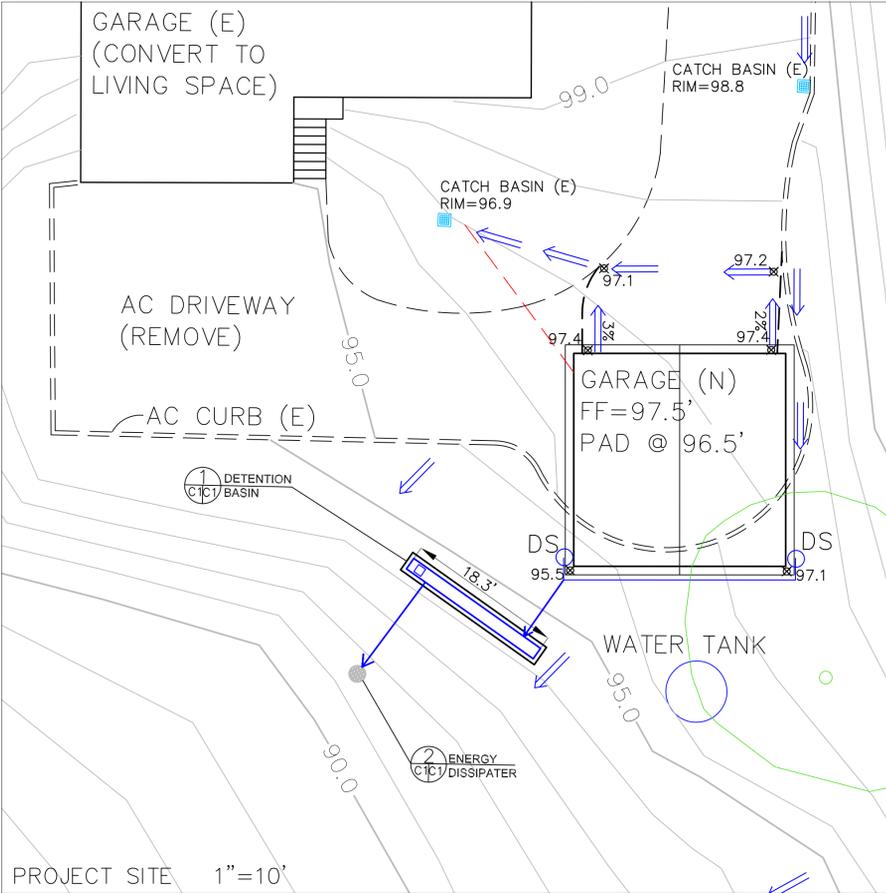
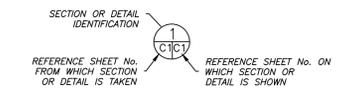


- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



SECTION AND DETAIL CONVENTION

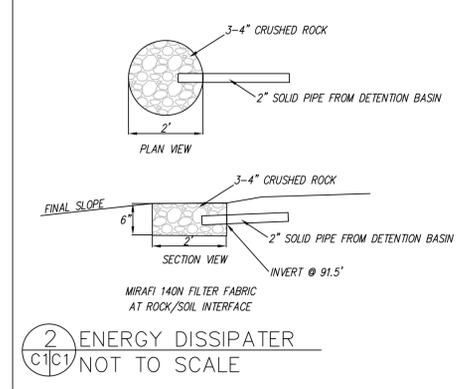
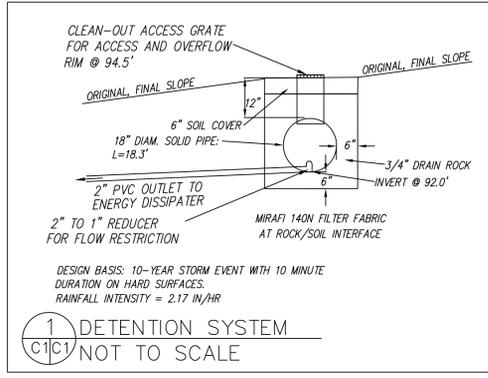


- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - 97.4 PROPOSED SPOT ELEVATION
  - ENERGY DISSIPATER - PER DETAIL 2
  - DS DOWNSPOUT
  - 3" MIN SOLID DRAIN PIPE

- GENERAL NOTES**
1. PLANS PREPARED AT THE REQUEST OF: CHRISTOPHER GALANG, OWNER
  2. TOPOGRAPHY BY GRANT LINE LAND SURVEYING, SURVEYED MARCH, 2019.
  3. THIS IS NOT A BOUNDARY SURVEY.
  4. ELEVATION DATUM ASSUMED.
  5. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

- DRAINAGE NOTES**
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
  2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL BE WATER-TIGHT AND DRAIN TO AN ENERGY DISSIPATER, AS SHOWN.
  3. ALL ROOF DRAINAGE PIPES SHALL BE 3" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
  4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

- GRADING NOTES**
- CUT VOLUME : 15 CY (FOR FOUNDATION)  
 FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



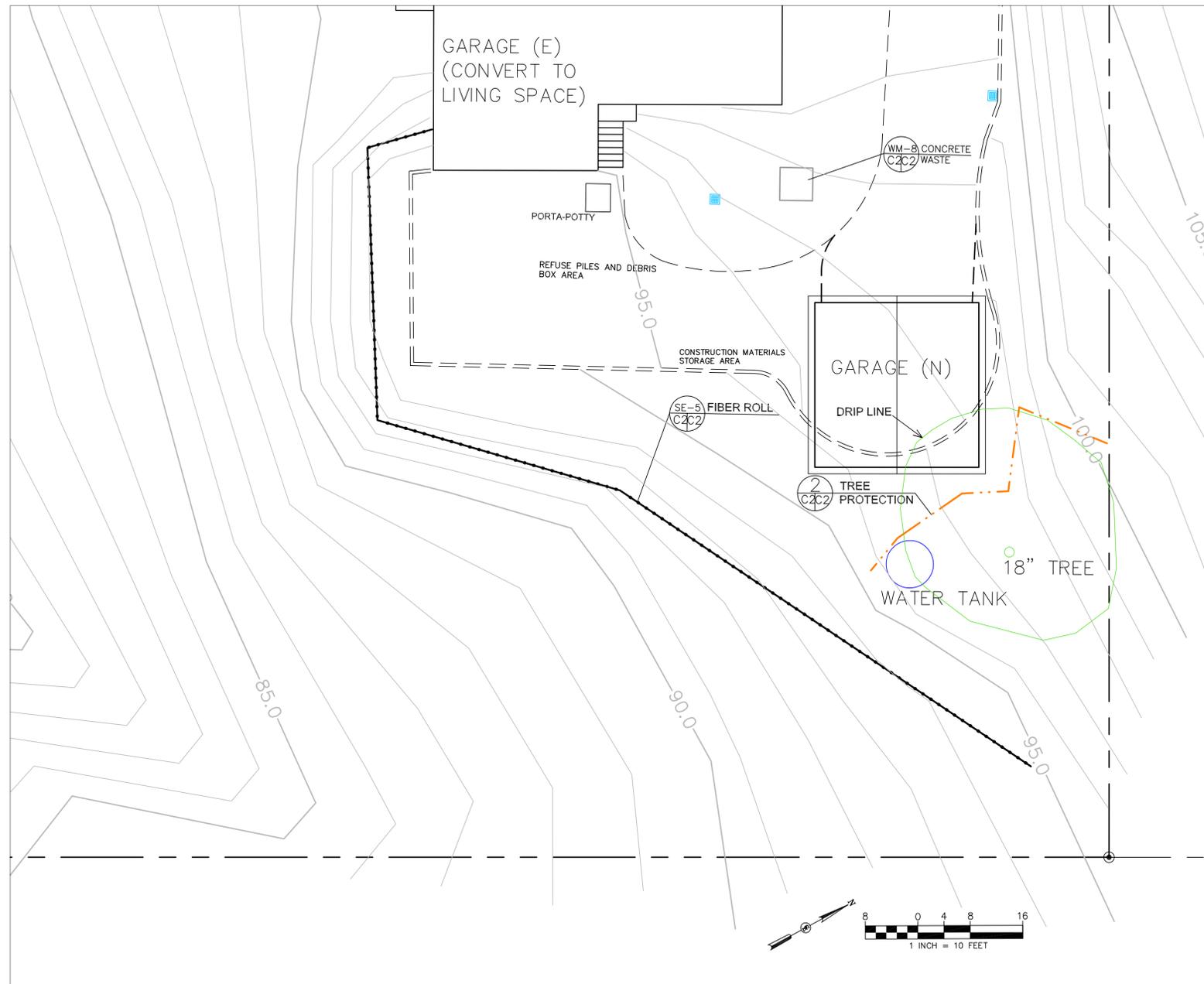
**GRADING AND DRAINAGE PLAN**

**SHEET C-1**

DATE: 4-8-19  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

Stigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

GALANG PROPERTY  
 30 AFAR WAY  
 MONTARA  
 APN 036-310-130



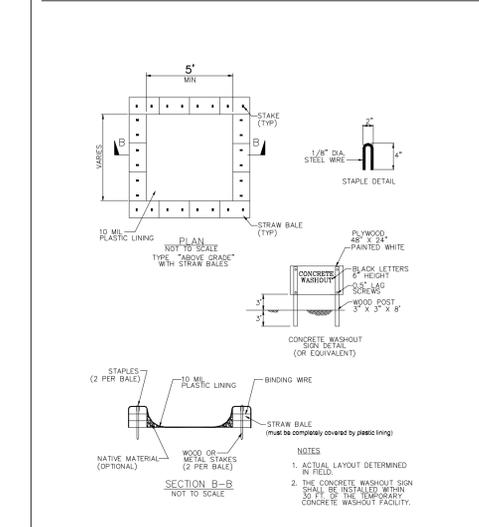
**EROSION CONTROL NOTES**

- FIBER ROLL**  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  6. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

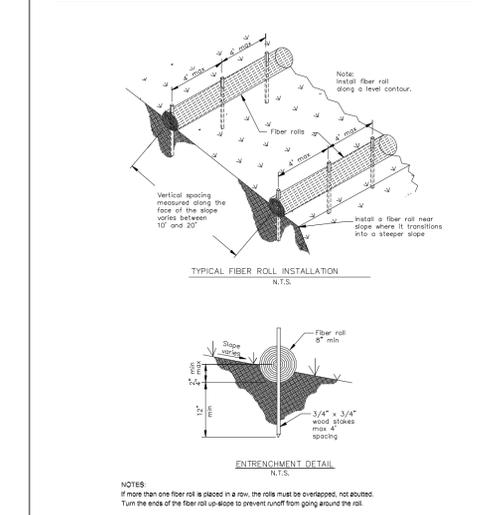
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

**CONCRETE WASTE MANAGEMENT WM-8**

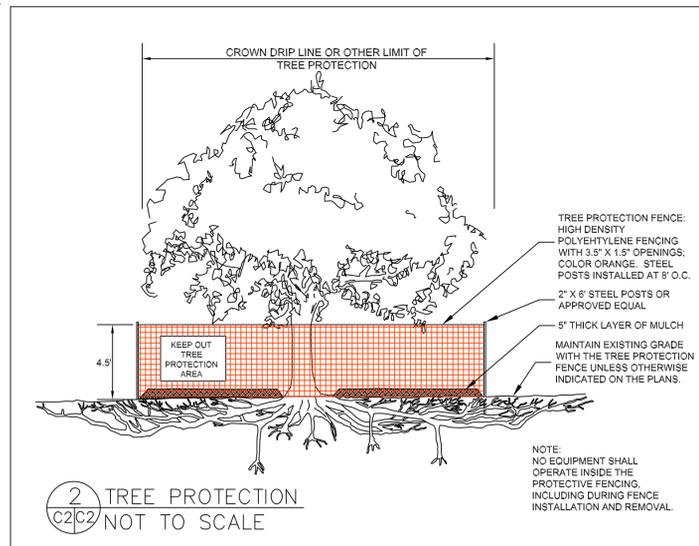


**FIBER ROLLS SE-5**



**TREE PROTECTION NOTES**

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: CHRISTOPHER GALANG  
TITLE/QUALIFICATION: OWNER  
PHONE: 408-667-5729  
PHONE:  
E-MAIL: ??@??

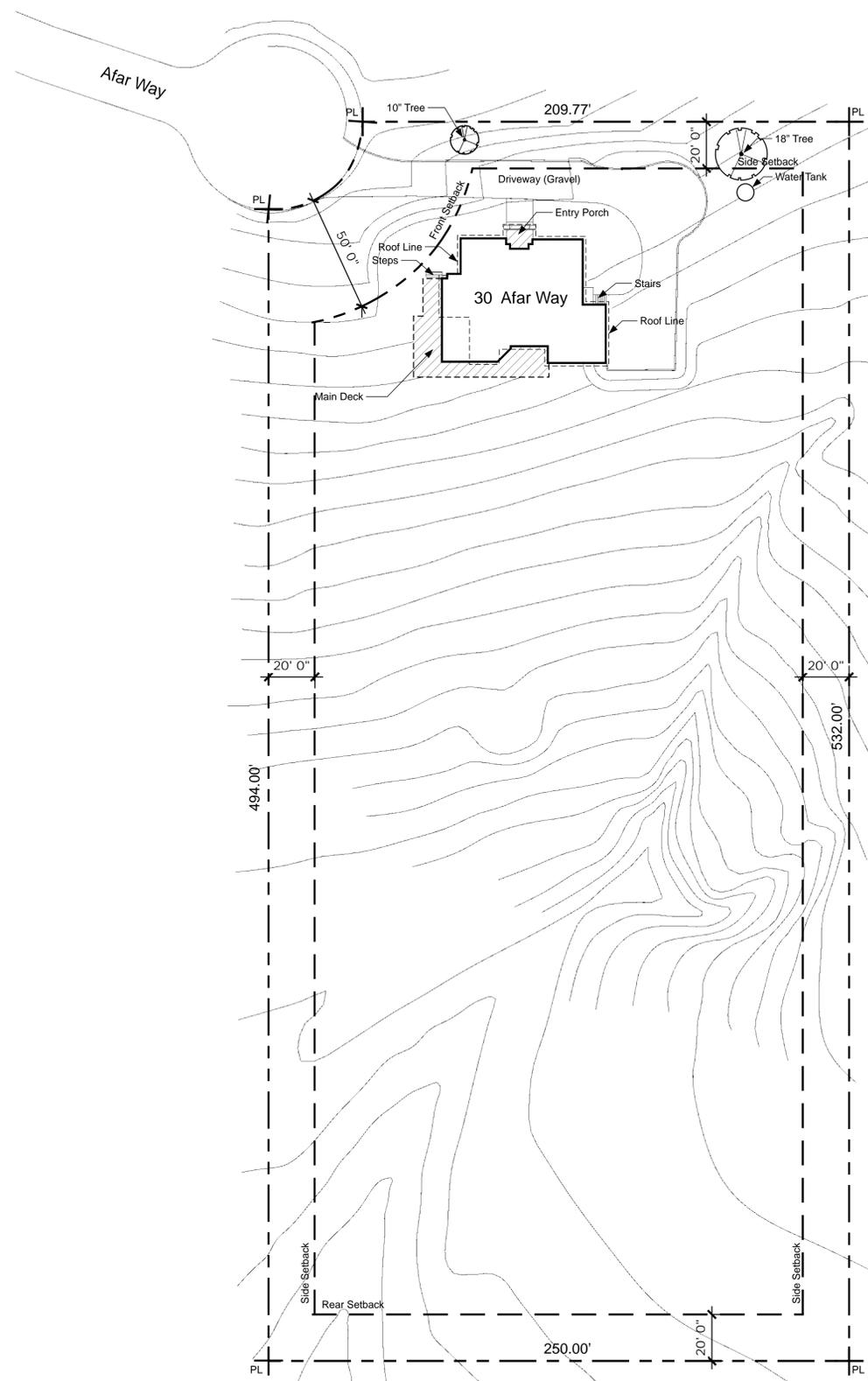


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DATE: 4-8-19  
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REV. DATE:

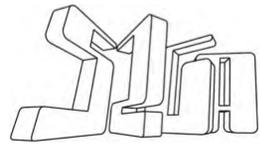
EROSION AND SEDIMENT CONTROL PLAN  
GALANG PROPERTY  
30 AFAR WAY  
MONTARA  
APN 036-310-130

SHEET  
C-2



## Site Zoning and Planning Data

Zoning	PAD, DR, CD
APN	036-310-130
Existing Lot Area	3.0253 Ac. (130,680 s.f.)
Occupancy	R/U
Building Code	CBC 2016
Stories	2 stories and basement
Construction Type	V-B
Existing Floor Area	5,935 s.f.
Maximum FAR	6,200 s.f.
Lot Coverage	No lot coverage in PAD
Building Height	36 ft. maximum
Front Yard Setback	50 ft. minimum
Side Yard Setback	20 ft. minimum
Rear Yard Setback	20 ft. minimum
Accessory Building Distance	30 ft. minimum



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## Site Notes

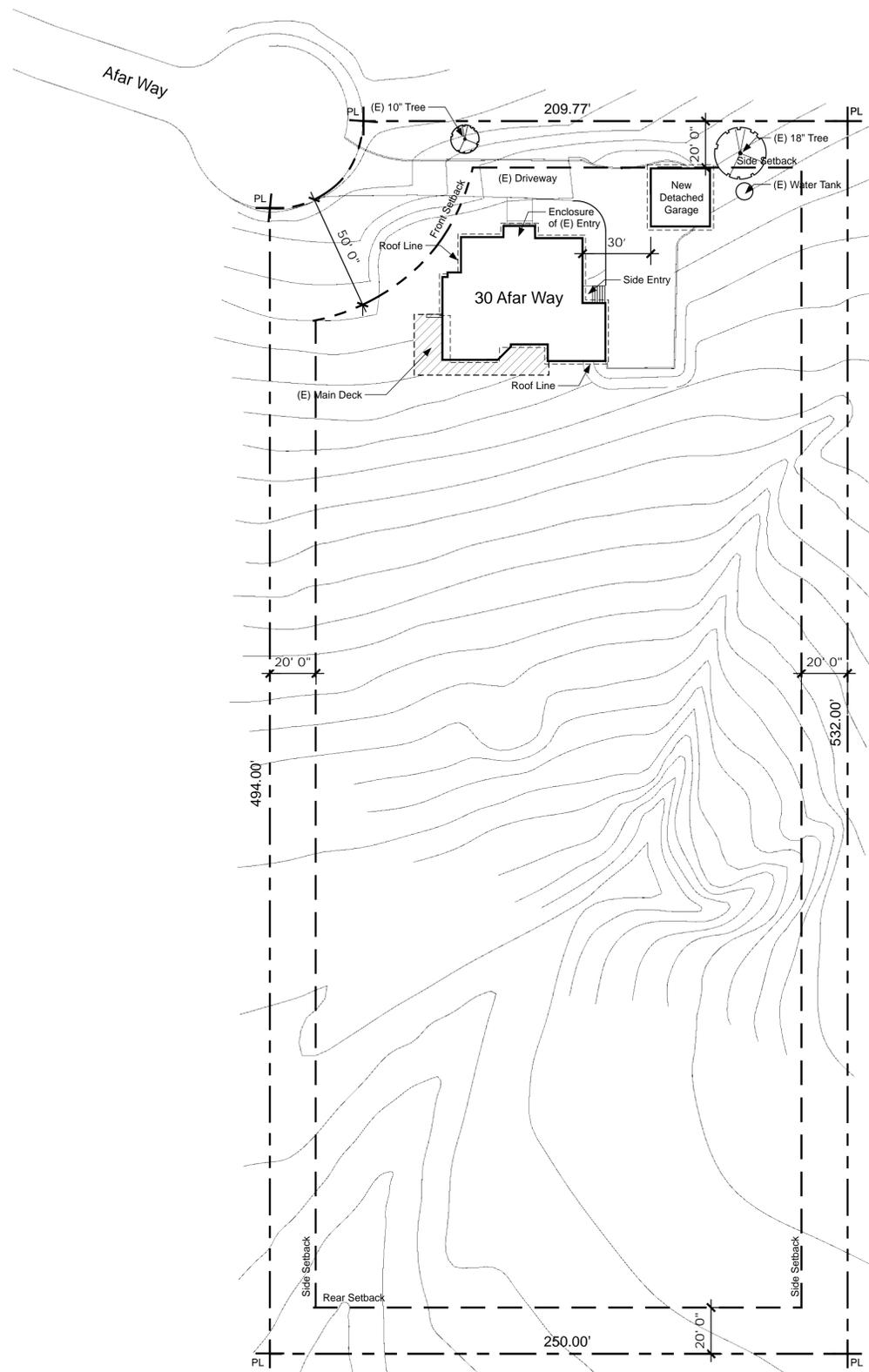
The site is a rectangular area of 3.0253 Acres located on Afar Way east of Montara. The existing 2-story plus basement house is located on the north side of the property. The site has a slope on its north-south axis with a difference in grade of 60 ft to 90 ft. across.

1. Topographic information used for design and contained in these Documents is derived from incidental measurements prepared by Architect and Civil Engineer. Contractor shall verify all grades during layout and coordinate discrepancies in conjunction with Architect.
2. Design contours and drainage shown are schematic only and shall not be taken to represent final grading and drainage plans.
3. Refer Building Floor Plans and Sections for all dimensional information.
4. Existing finish grades shall be restored upon completion of construction unless changes are specified in the drawings.
5. Roadways shall be maintained clear of construction equipment or materials at all times. Debris shall be removed from roadways and sidewalk immediately. Contractor shall sweep or wash road surfaces after operations that generate debris.
6. Dust control measures shall be implemented as necessary. Provide watering during excavation and backfill to prevent dust from crossing property lines.

# Galang Residence

Kasey & Chris Galang  
30 Afar Way  
Montara, CA 94037  
APN: 036-310-130





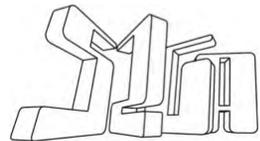
1 Proposed Site Plan

1/32" = 1'-0"



## Site Zoning and Planning Data

Zoning	PAD, DR, CD
APN	036-310-130
Existing Lot Area	3.0253 Ac. (130,680 s.f.)
Occupancy	R/U
Building Code	CBC 2016
Stories	2 stories and basement
Construction Type	V-B
Existing Floor Area	5,935 s.f.
Maximum FAR	6,200 s.f.
New Floor Area	6,183 s.f.
Lot Coverage	No lot coverage in PAD
Existing Building Height	33 ft. (unchanged)
Building Height	36 ft. maximum
Front Yard Setback	50 ft. minimum
Side Yard Setback	20 ft. minimum
Rear Yard Setback	20 ft. minimum
Accessory Building Distance	30 ft. minimum



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## Area Calculations

### Floor Area Ratio (FAR)

<b>Basement</b>	
Existing Conditioned Main Area	511 s.f.
Existing Patio	269 s.f.
<b>Total Basement Areas (unchanged)</b>	<b>780 s.f.</b>

### First Floor

Existing Conditioned Areas	2534 s.f.
Existing Garage	612 s.f.
Existing Entry Porch	108 s.f.
Existing Covered Deck	612 s.f.
<b>Total First Floor Existing Fl. Area</b>	<b>3,866 s.f.</b>

Master Bedroom (in exist. garage)	612 s.f.
Existing Garage	(612 s.f.)
Covered Deck Reduction	-134 s.f.
<b>Total First Floor New Areas</b>	<b>-134 s.f.</b>

**Total First Floor Areas** 3,732 s.f.

**New Detached Garage** 625 s.f.

### Second Floor

Existing Conditioned Area	1289 s.f.
New Bedroom	232 s.f.
Family Room Addition	150 s.f.
<b>Total Second Floor New Areas</b>	<b>382 s.f.</b>

**Total Second Floor Areas** 1,671 s.f.

**Total Existing Floor Area** 5,935 s.f.  
**Total Added Floor Area** 248 s.f.  
**Total New Floor Area** 6,183 s.f.

**Floor Area Ratio (FAR)** 6,200 s.f. max

**New Garage (Accessory Building)** 625 s.f.

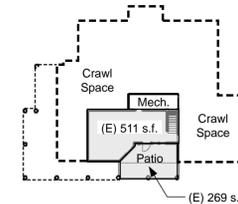
### Lot Coverage

Entrance Porch	108 s.f.
Main Area	3,158 s.f.
Deck Area	881 s.f.
Side Stairs	47 s.f.
<b>Total Existing Coverage Area</b>	<b>4,194 s.f.</b>

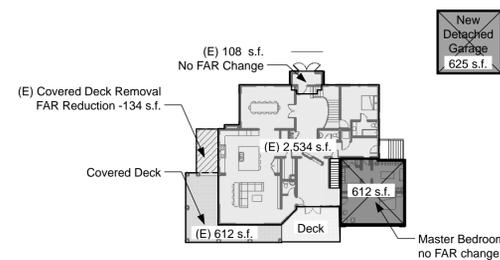
New Garage	625 s.f.
Side Entry Stairs Addition	33 s.f.
Deck Removal	-134 s.f.
<b>Total Added Coverage</b>	<b>524 s.f.</b>

**Total Coverage Area** 4,718 s.f.

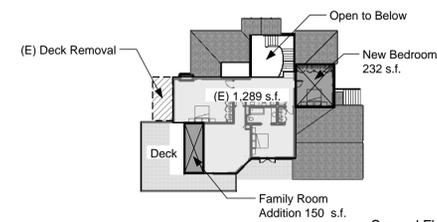
**Lot Coverage** 3.6%



Basement Areas  
(E) 511 s.f.



First Floor Areas  
(E) 2,534 s.f.



Second Floor Areas  
(E) 1,289 s.f.



Lot Coverage Areas  
(E) 4,194 s.f.

2 Area Calcs Diagrams

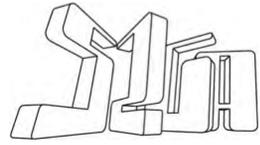
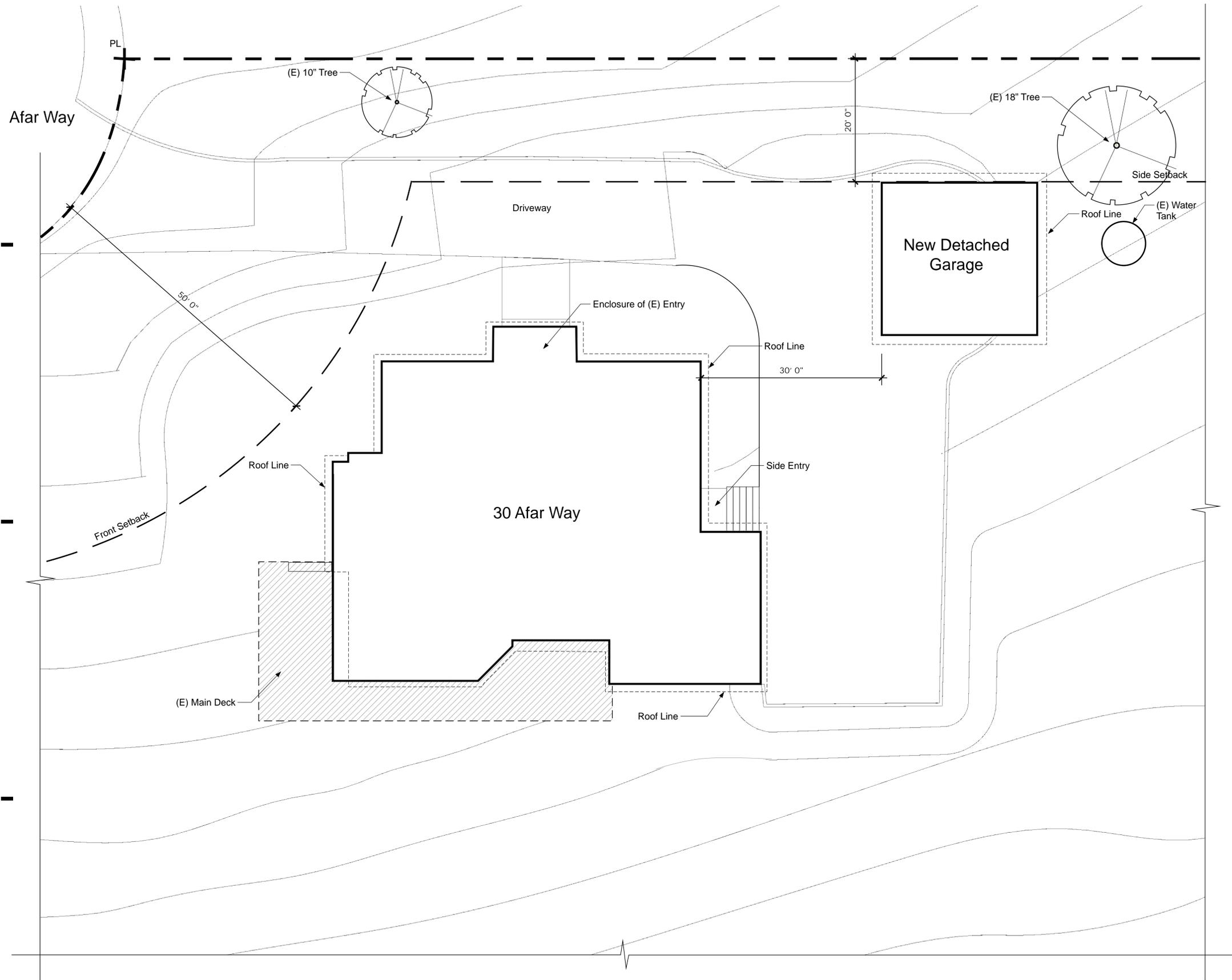
N.T.S.

**Galang Residence**  
Kasey & Chris Galang  
30 Afar Way  
Montara, CA 94037  
APN: 036-310-130

10 APR 19 Planning Resubmit  
12 FEB 19 Planning Submittal

Proposed Site Plan

A1.2



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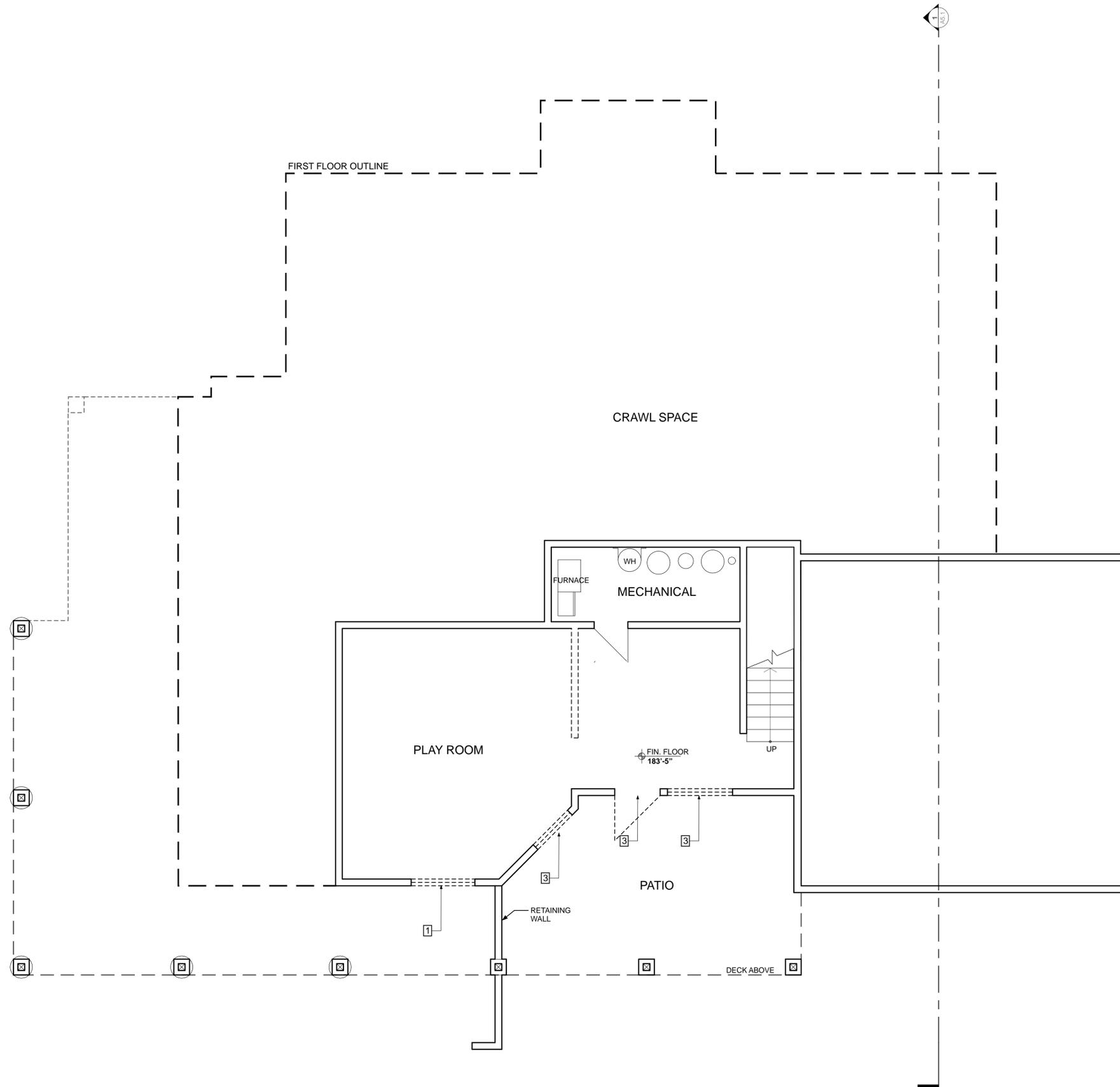
# Galang Residence

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 30 Afar Way  
 Montara, CA 94037  
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Enlarge Site Plan

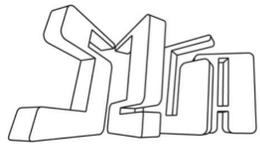




### Existing Floor Plan Notes

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations include:  
 FOC: Face of Concrete  
 FOM: Face of Masonry  
 C: Centerline  
 FOF: Face of Finish



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### Legend

-  Existing wall
-  Demo

### Keynotes

-  Window/Door demo - close wall opening
-  Window/Door demo - prep for new opening
-  Window/Door replacement

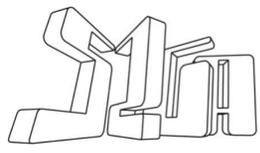
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## Existing Basement & Demolition



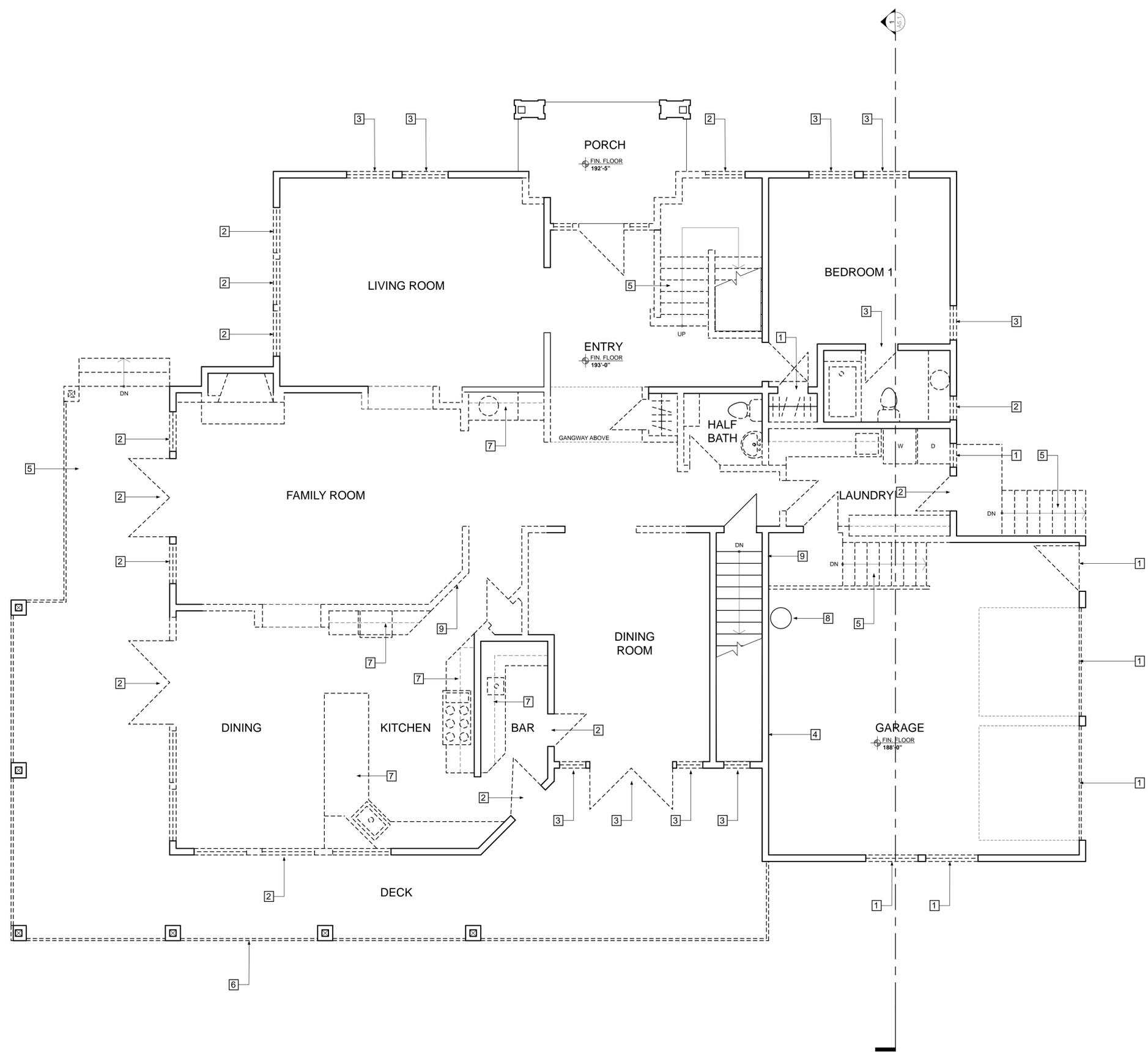


### Existing Floor Plan Notes

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### Legend

- Existing wall
- Demo

### Keynotes

- 1 Window/Door demo - close wall opening
- 2 Window/Door demo - prep for new opening
- 3 Window/Door replacement
- 4 Wall opening for new window or door
- 5 Deck/stairs demo
- 6 Railing demo - prep for new railing
- 7 Kitchen/Bar/Laundry demo (counters, cabs, upper cabs)- coordinate with owner for appliances removal
- 8 Water Heater
- 9 Elec. panel to be relocated

# Galang Residence

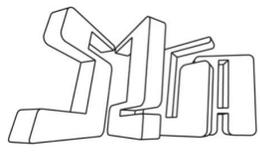
Kasey & Chris Galang  
30 Afar Way  
Montara, CA 94037  
APN: 036-310-130

10 APR 19 Planning Resubmit  
12 FEB 19 Planning Submittal

## Existing First Floor & Demolition

# A2.2





### Existing Floor Plan Notes

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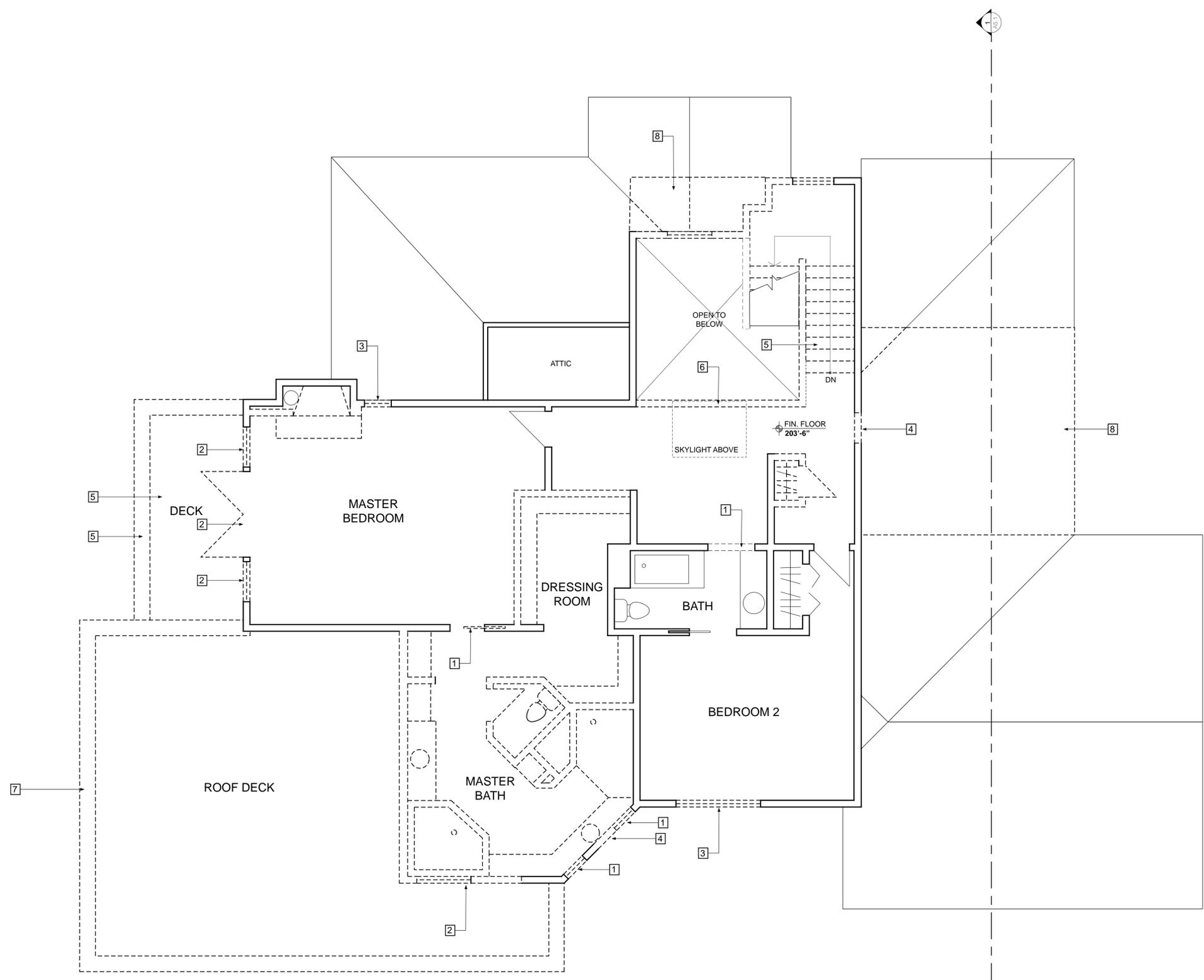
Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations include:  
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APN: 036-310-130

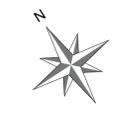


### Legend

-  Existing wall
-  Demo

### Keynotes

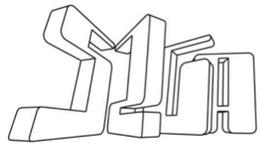
- 1** Window/Door demo - close wall opening
- 2** Window/Door demo - prep for new opening
- 3** Window/Door replacement
- 4** Wall opening for new window or door
- 5** Deck/stairs demo
- 6** Railing demo
- 7** Parapet demo - prep for new railing
- 8** Roof demo



## Existing Floor Plan Notes

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Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations include:  
 FOC: Face of Concrete  
 FOM: Face of Masonry  
 C: Centerline  
 FOF: Face of Finish



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# Galang Residence

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 30 Afar Way  
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## Legend

Demo

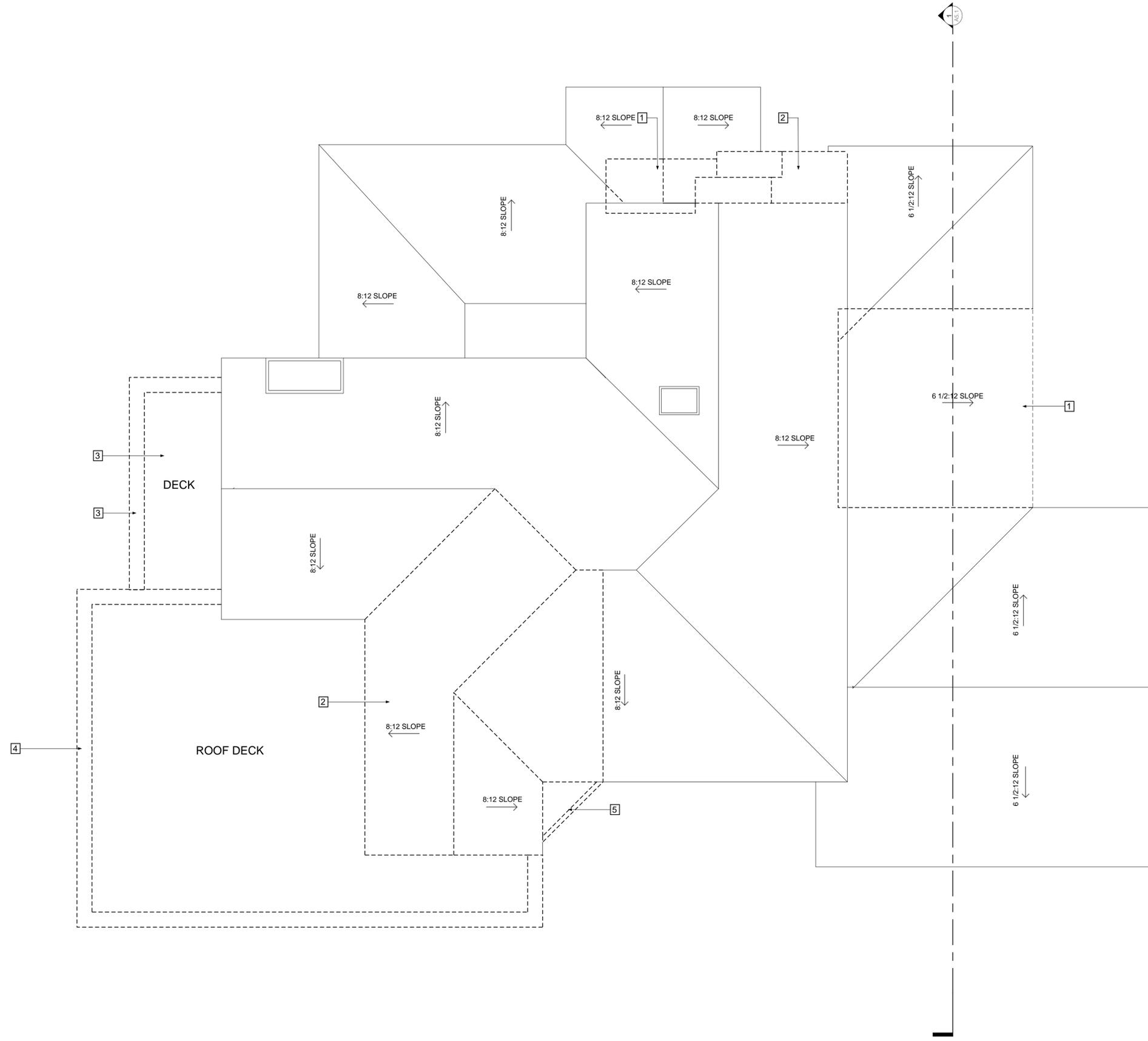
## Keynotes

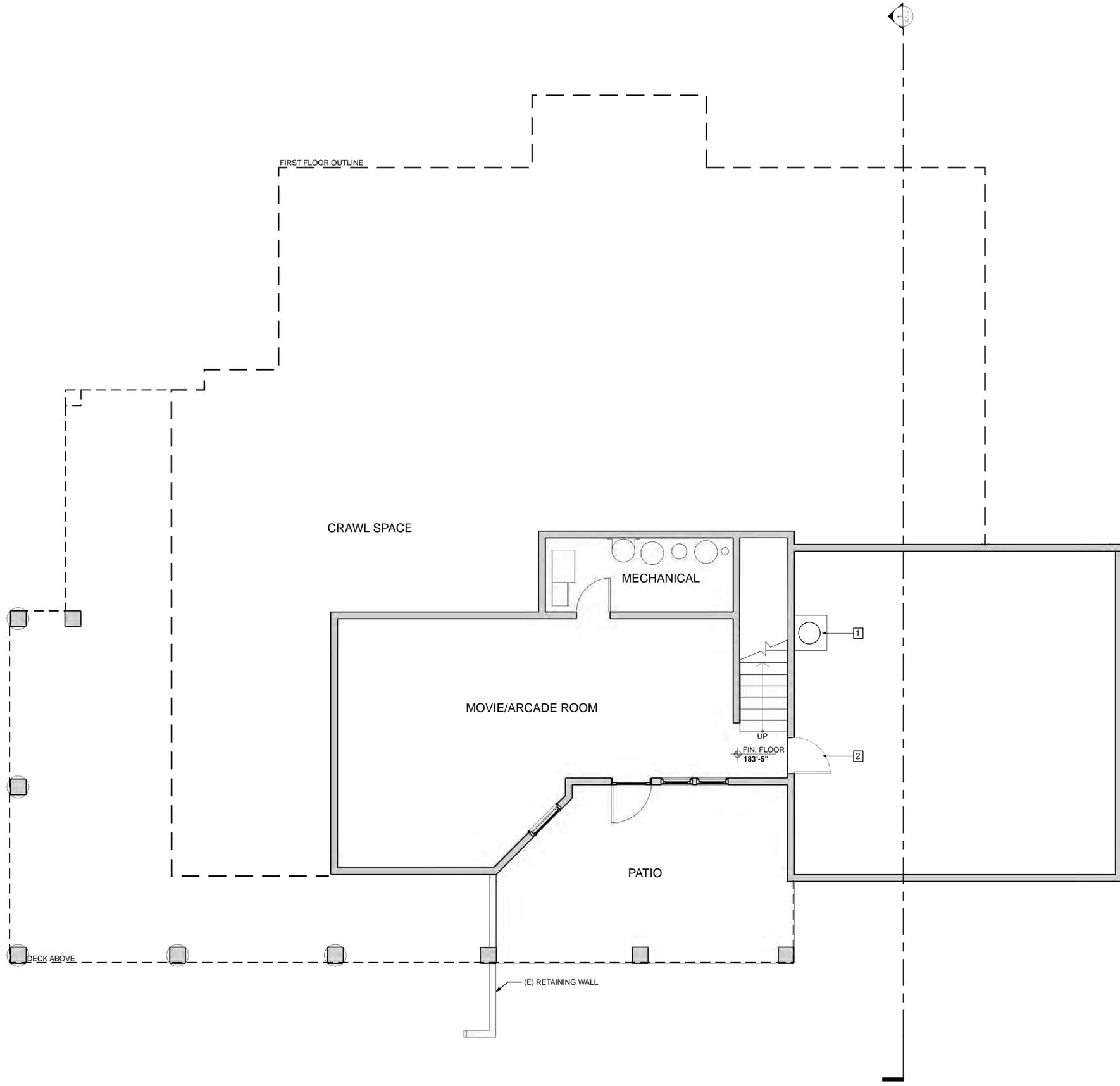
- Lower roof demo
- Upper roof demo
- Deck and parapet demo
- Parapet demo - prep for new railing
- Parapet demo - prep for new roof

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## Existing Roof Plan & Demolition

# A2.4





### Floor Plan Notes

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Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

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The concrete slab shall receive exterior sheathing from walls framed above. Refer foundation plan for adjusted foundation dimensions.

Refer exterior elevations for critical alignment of openings.

Refer interior elevations for critical alignment of openings, fixtures, finishes, cabinet dimensions, vertical controls, millwork locations.

Refer electrical plans for location of light fixtures, switches, etc. Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

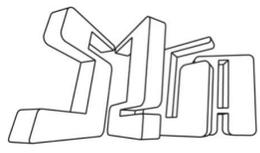
Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

### Legend

- Existing wall
- New wall
- New floor area

### Keynotes

- 1 Water heater to remain
- 2 Access door



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Basement

# A2.5

1 Basement

1/4" = 1'-0"



## Floor Plan Notes

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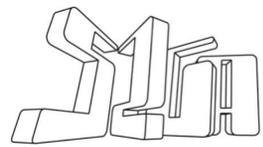
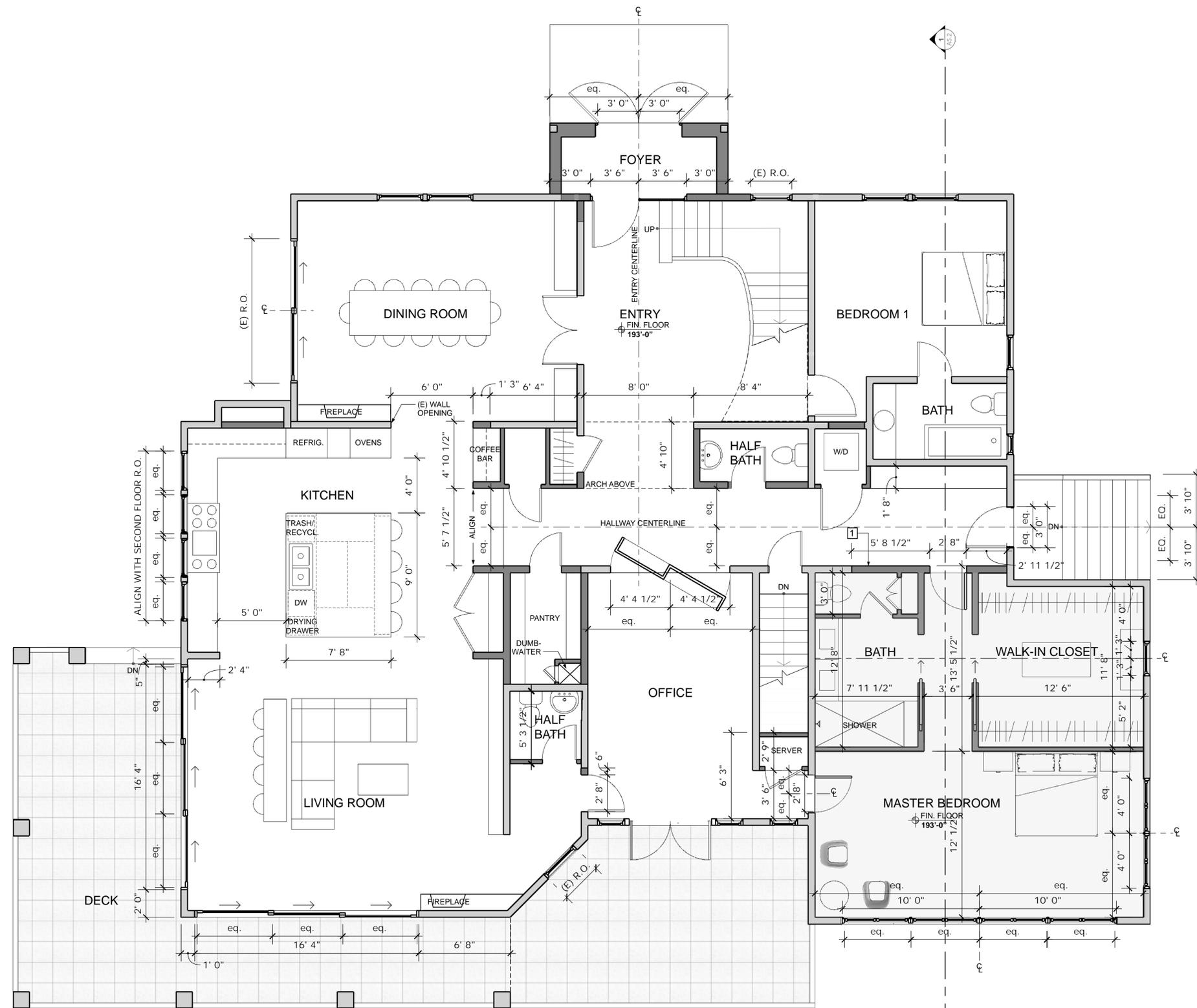
Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

## Legend

	Existing wall
	New wall
	New floor area

## Keynotes

	New relocated elec. panel
---	---------------------------



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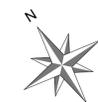
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First Floor

# A2.6



1/4" = 1'-0"

1 First Floor

## Floor Plan Notes

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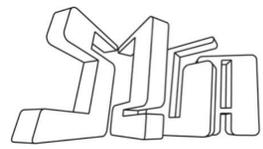
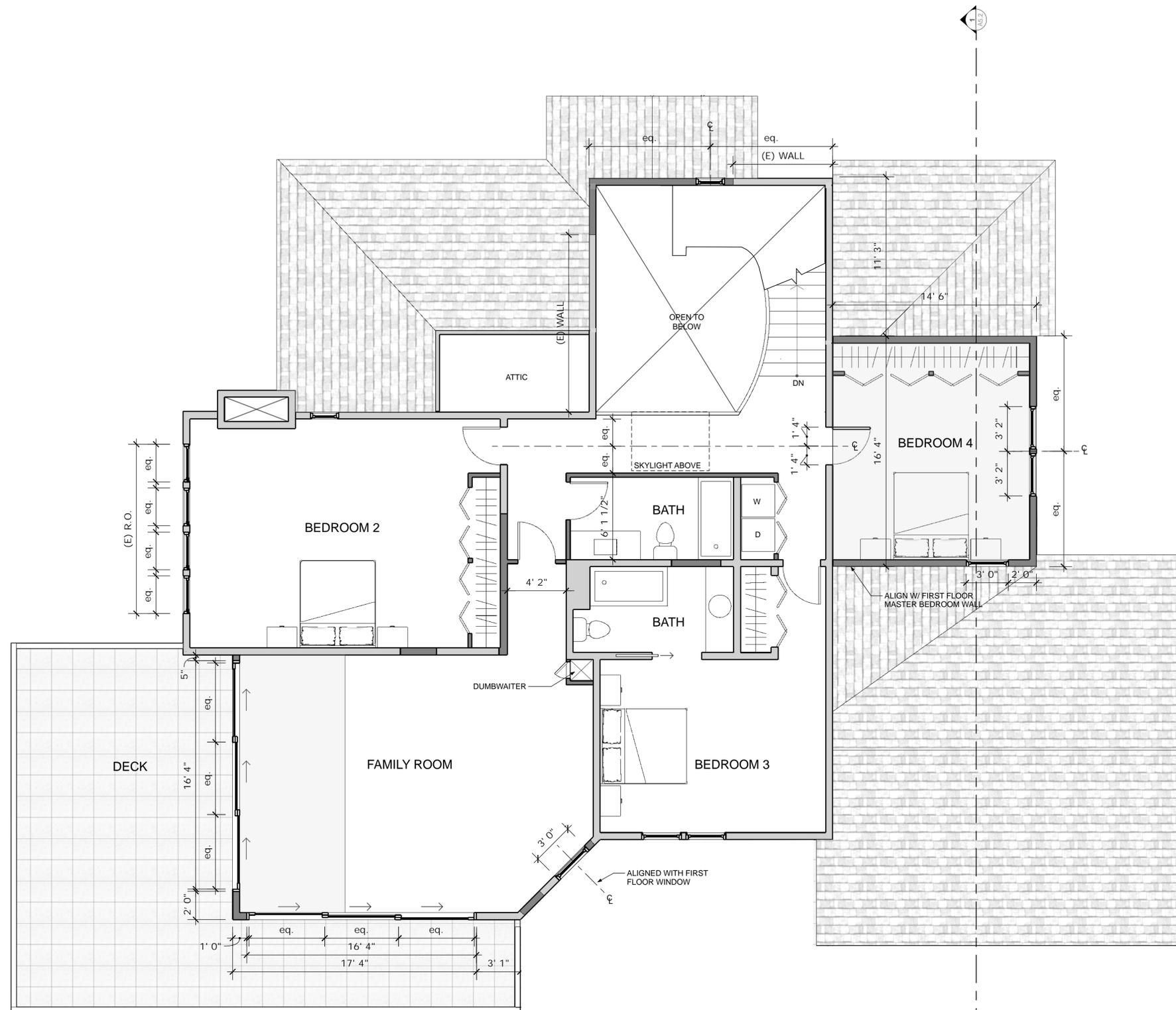
Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).

### Legend

	Existing wall
	New wall
	New floor area



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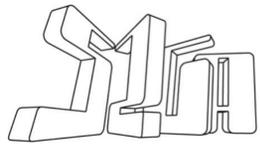
Second Floor

# A2.7



1/4" = 1'-0"

1 Second Floor

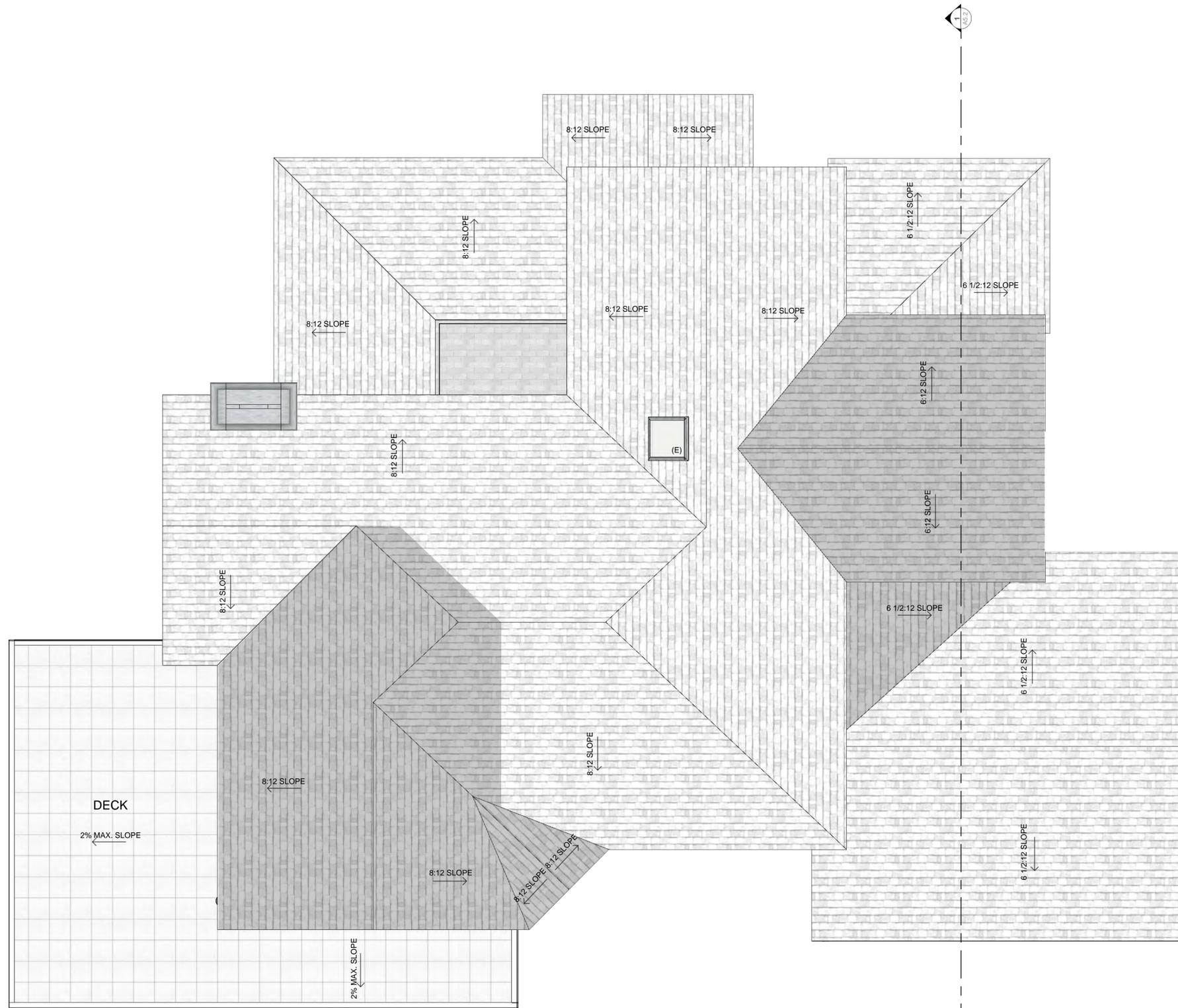


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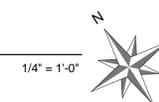
### Legend

- Existing roof area
- New roof area

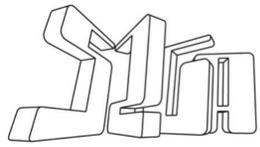
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Roof Plan

1 Roof Plan



# A2.8

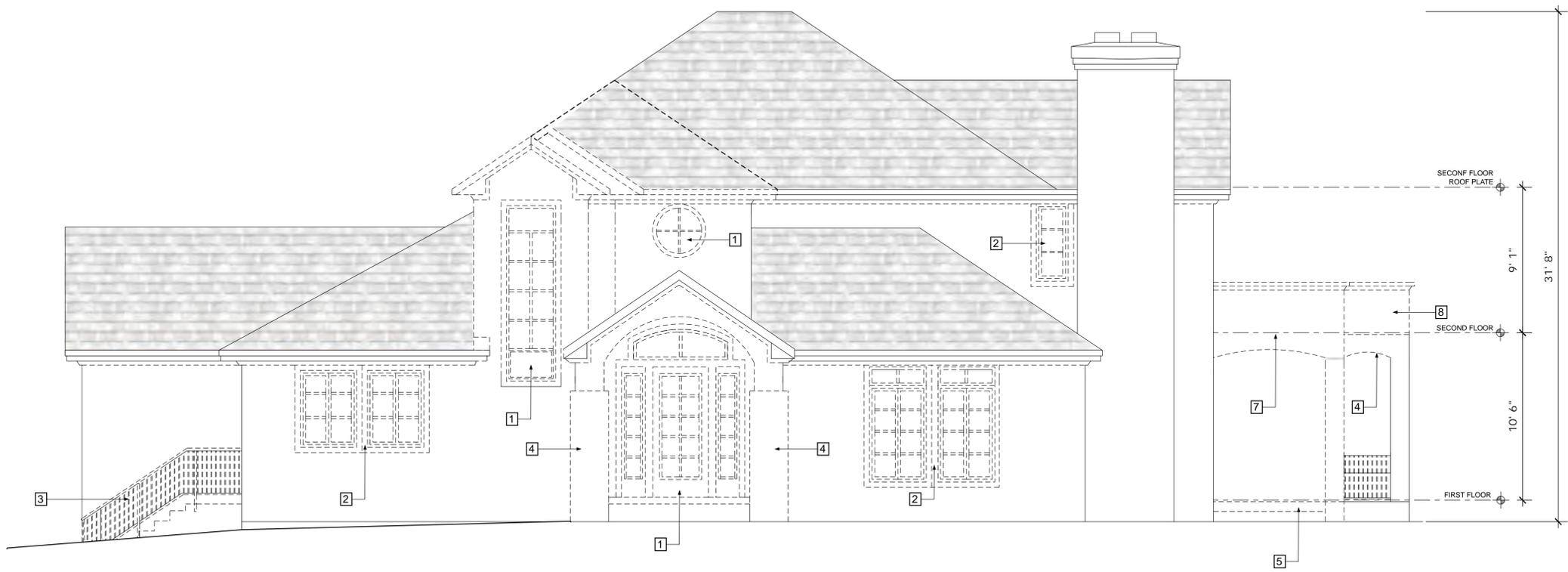


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# Galang Residence

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1 Existing North Elevation

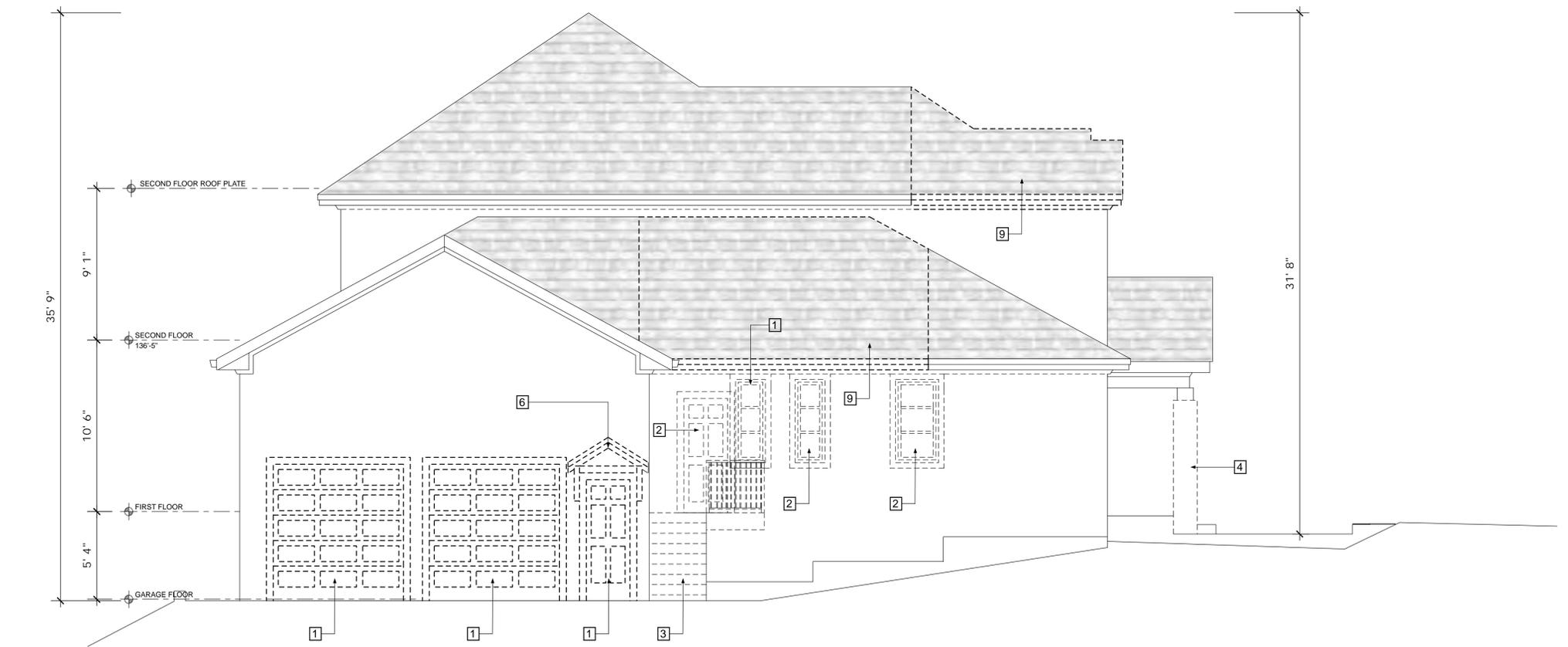
1/4" = 1'-0"

### Legend

Demo

### Keynotes

- 1 Window/Door demo
- 2 Window/Door replacement
- 3 Stairs demo - to be replaced
- 4 Stucco modification
- 5 Railing demo
- 6 Door awning demo
- 7 Deck partial demo
- 8 Parapet demo - to be replaced with new railing
- 9 Roof demo



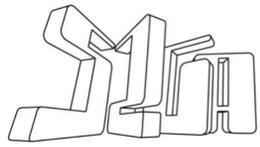
2 Existing East Elevation

1/4" = 1'-0"

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Existing Elevations

# A4.1



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1 Existing South Elevation

Legend  
 [Dashed Line] Demo



2 Existing West Elevation

- Keynotes
- 1 Window/Door demo
  - 2 Window/Door replacement
  - 3 Stairs demo - to be replaced
  - 4 Stucco modification
  - 5 Railing demo
  - 6 Door awning demo
  - 7 Deck partial demo
  - 8 Parapet demo - to be replaced with new railing
  - 9 Roof demo

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Existing Elevations

# A4.2



1 Proposed North Elevation

1/4" = 1'-0"



2 Proposed East Elevation

1/4" = 1'-0"

## Materials

### 1 Exterior Walls



Three coat white stucco

### 2 North Side Entry Walls



Wood horizontal lap siding  
ref: Woodtone White Granite

### Roofs



3 Tab shingles - Black

### Windows



Wood frame aluminum clad - Black  
Ref: Sierra Pacific

### Glass Doors



Wood frame aluminum clad sliding doors - Black  
Ref: Nanawall

### Foyer Door Shutters



Metal - Black

### Decks Railing

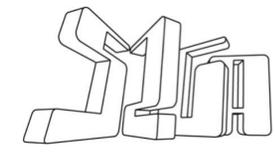


Cable railing - White posts and handrail

### Exterior Light Fixture



Wall mounted LED light  
Black finish  
Dark sky friendly  
Ref: Modern Form WS-W54



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Elevations

# A4.3



1 Proposed South Elevation

1/4" = 1'-0"



2 Proposed West Elevation

1/4" = 1'-0"

## Materials

### 1 Exterior Walls



Three coat white stucco

### 2 North Side Entry Walls



Wood horizontal lap siding  
ref: Woodtone White Granite

### Roofs



3 Tab shingles - Black

### Windows



Wood frame aluminum clad - Black  
Ref: Sierra Pacific

### Glass Doors



Wood frame aluminum clad sliding doors - Black  
Ref: Nanawall

### Foyer Door Shutters



Metal - Black

### Decks Railing

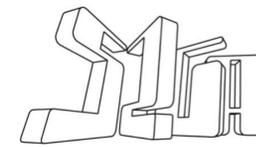


Cable railing - White posts and handrail

### Exterior Light Fixture



Wall mounted LED light  
Black finish  
Dark sky friendly  
Ref: Modern Form WS-W54



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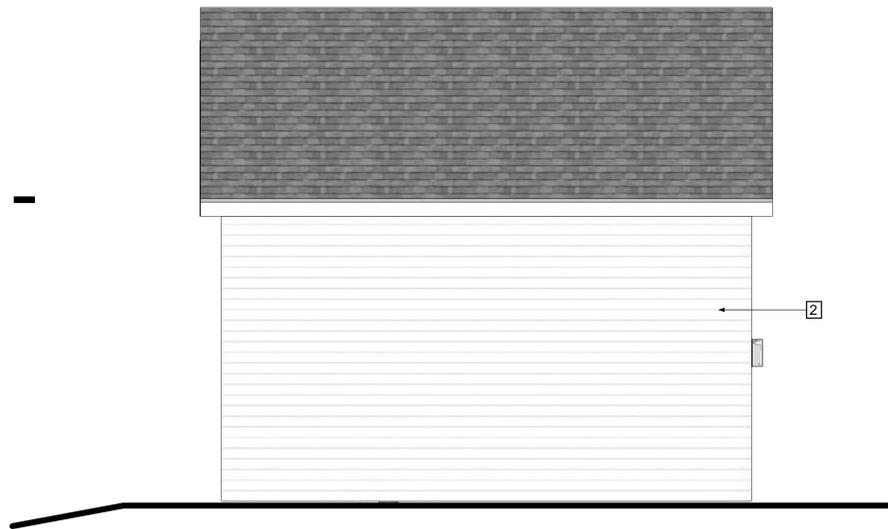
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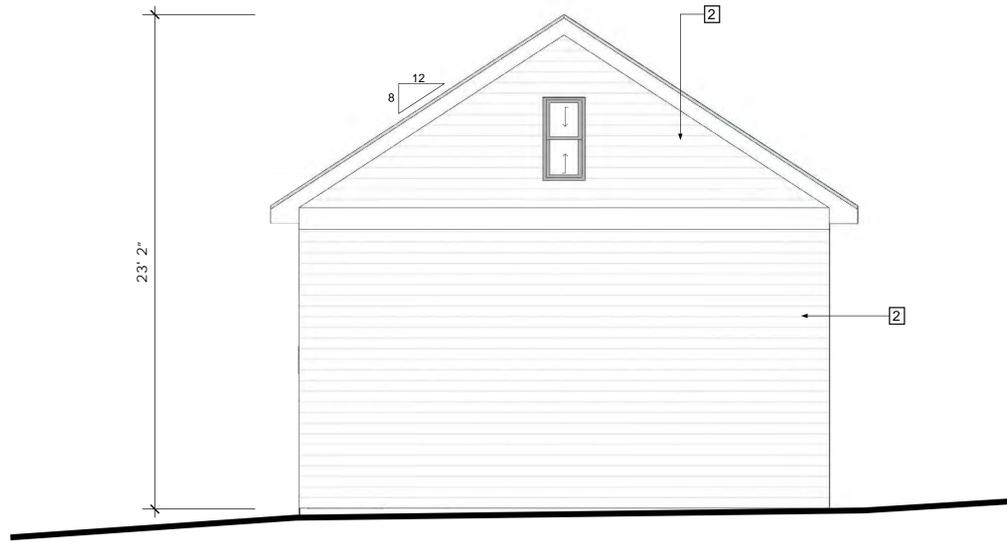
Elevations

# A4.4



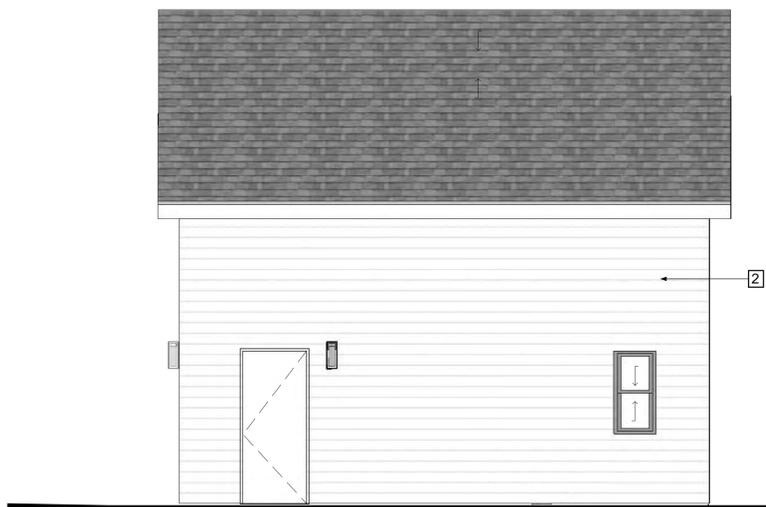
1 Garage North Elevation

1/4" = 1'-0"



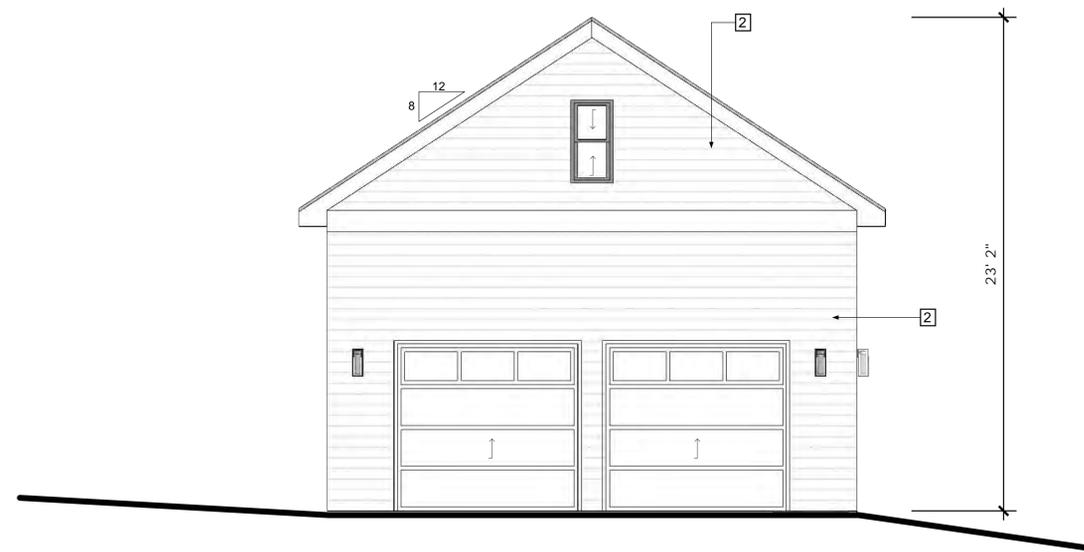
2 Garage East Elevation

1/4" = 1'-0"



3 Garage South Elevation

1/4" = 1'-0"



4 Garage West Elevation

1/4" = 1'-0"

## Materials

### 2 North Side Entry Walls



Wood horizontal lap siding  
ref: Woodtone White Granite

### Roofs



3 Tab shingles - Black

### Windows



Wood frame aluminum clad - Black  
Ref: Sierra Pacific

### New Garage Doors

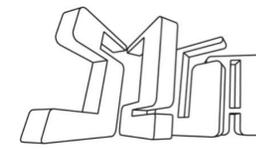


Aluminium carriage doors with glass panels - White

### Exterior Light Fixture



Wall mounted LED light  
Black finish  
Dark sky friendly  
Ref: Modern Form WS-W54



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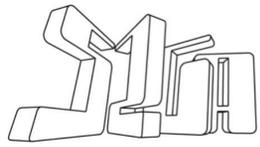
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Detached Garage Elevations

# A4.5

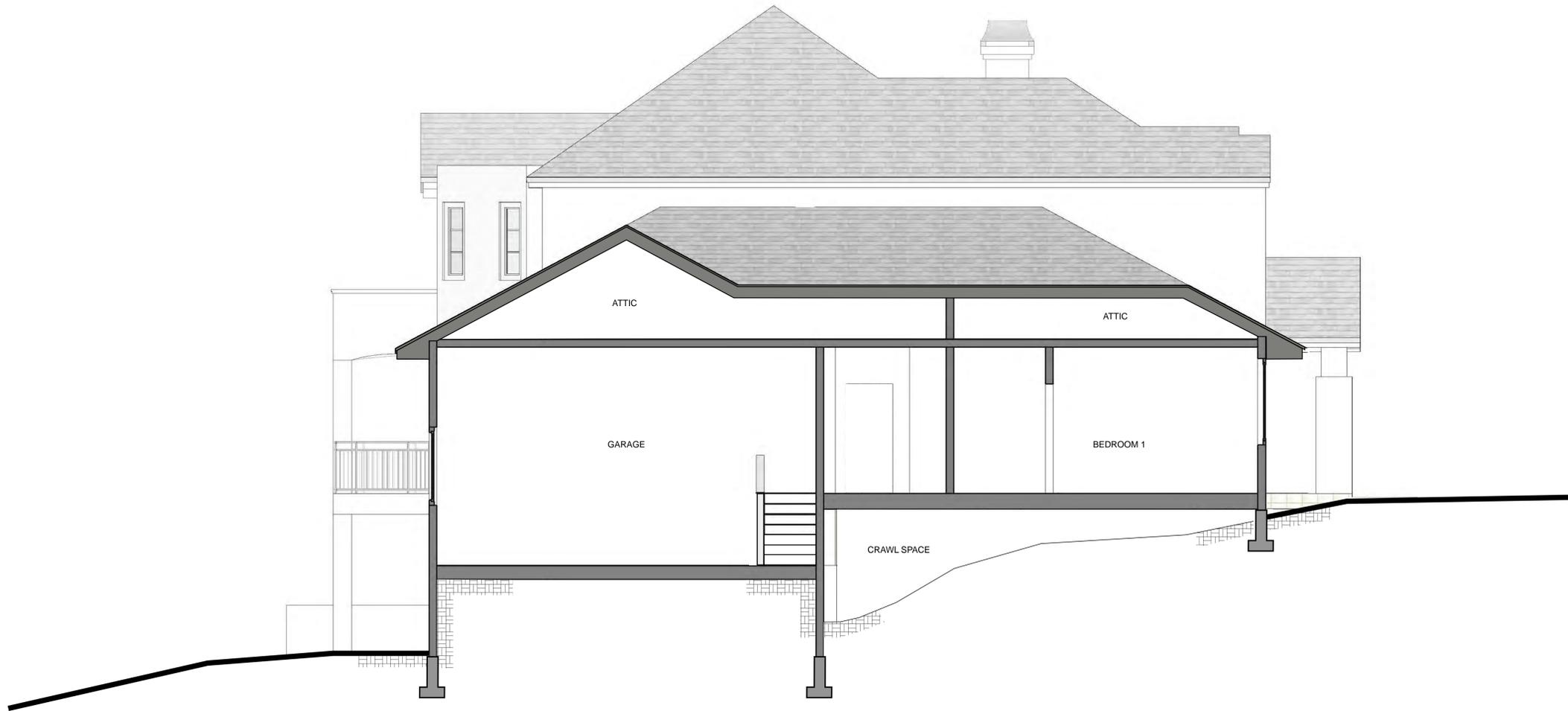


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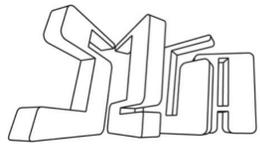


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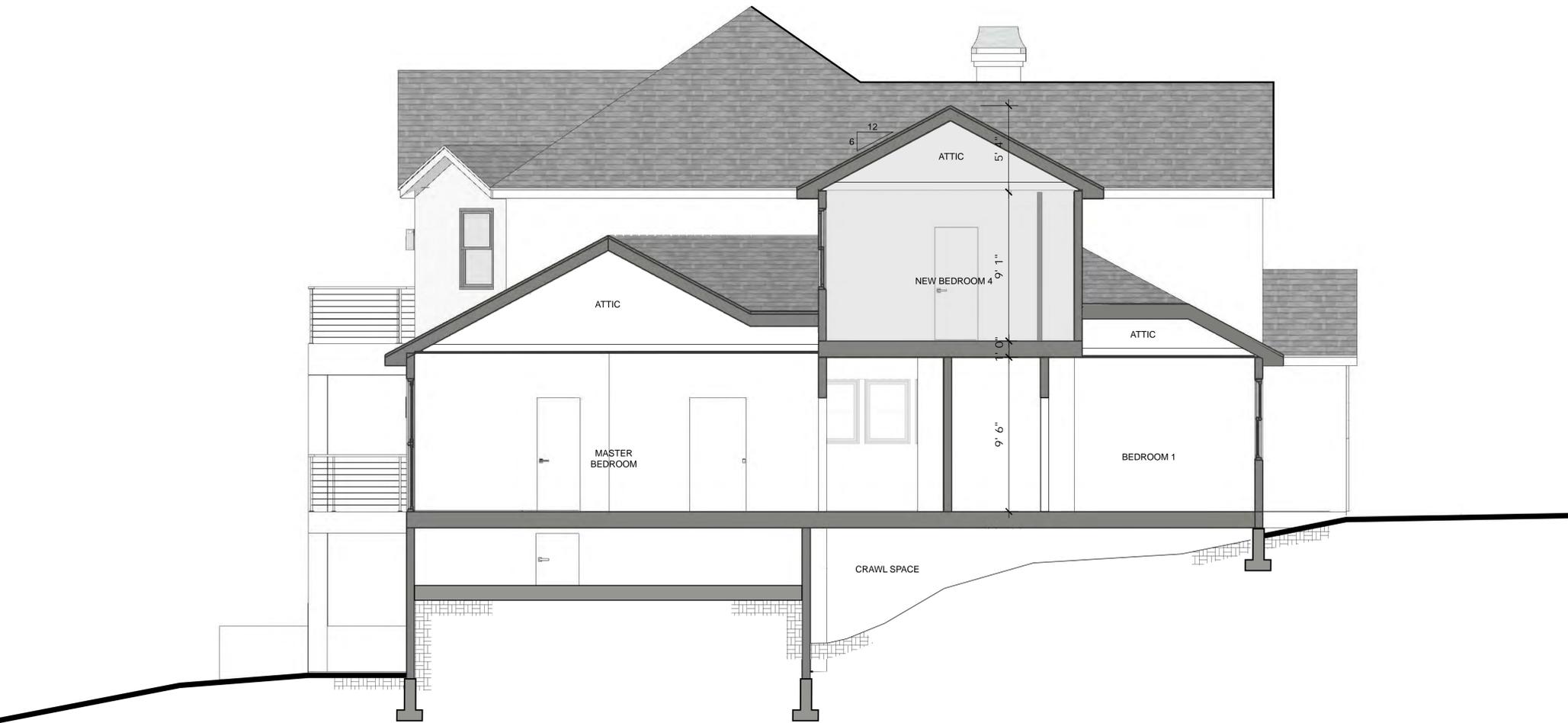
Existing Section

# A5.1

1 Existing Section



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Legend

 Bedroom Addition

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Section

A5.2

1 Section