

May 20, 2019

Zafar Irfan
299 East Warren Avenue
Fremont, CA 94539

Dear Mr. Irfan:

SUBJECT: Coastside Design Review Continuation
Cortez Avenue, Miramar
APN 048-032-070; County File No. PLN 2018-00397

At its meeting of May 9, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your design review application to allow construction of a new 1,732 sq. ft., two-story single-family residence, plus a 380 sq. ft. two-car attached garage, located on an existing 4,400 sq. ft. legal non-conforming parcel (legality confirmed via PLN2014-00116), as part of a hearing-level Coastal Development Permit (CDP) and a Non-Conforming Use Permit (UP). The UP is required to allow development on a non-conforming parcel with proposed right and left side setbacks of seven (7) feet each, where ten (10) feet is the minimum allowed for each side. No trees are proposed for removal. The CDRC was unable to make the findings for design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required, with emphasis on Section 6565.20(C)2. Complement Other Structure in the Neighborhood and Section 6565.20(D)1. Building Mass and Shape, 4. Exterior Materials and Colors

As such, recommendations from the CDRC for further project redesign are as follows:

Recommendations:

1. Add a step up from garage into house.
2. If contemporary massing is intended, select a color palette more compatible with the predominantly pastel/earth-tone palette in the neighborhood. Consider overall composition for the color and materials. The current proposed palette is very busy with too many colors and materials in locations that do not create cohesive design.



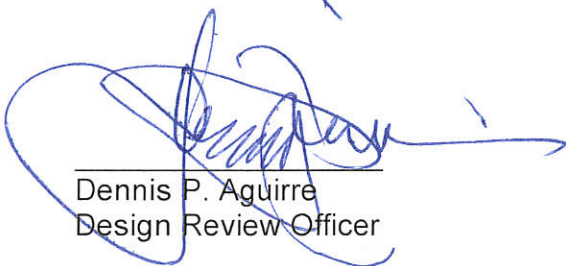
3. Reduce the height of vertical wall sections to modulate the roof form to add roof articulation.
4. Provide greater roof and wall articulation to mitigate the boxy form of the residence per Section 6565.20(D) Elements of Design 1.c, Second Stories.
5. Reduce second floor roof height at front of house and reduce visual mass by providing varying eave heights. Consider using a roof form that combines sloping sections in order to reflect other houses in the area.
6. Remove or reduce closet pop-out on 2nd floor, east side so that it is not in the setback. Ensure all exterior walls on all floors are represented with setback dimensions on the site plan.
7. Provide tread and riser dimensions for the spiral stair access to the upper roof deck that is compliant with applicable San Mateo County Building Code Regulations.
8. Consider eliminating the roof deck to ensure neighbor's privacy.
9. Vertical proportions on the right side of the residence need to be addressed along with the ones on the front facade.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA: ann – DPADD0236_WNN.DOCX

cc: Bruce Chan, Member Architect
Katie Kostiuk, Member Architect
Linda Montalto-Patterson, Miramar Community Representative
V. Winnie Tungpagasit, Interested member of the public – 1528 S. El Camino Real,
Suite 306, San Mateo CA 94402
Joe and Karyn Roark - Interested members of the public – 265 Alameda Avenue, Half
Moon Bay CA 94019

Revision 1 , Feb 22, 2019

- 1) Decrease lot coverage from 1546 sqft to 1258 sqft. Allowed 1320 sqft
- 2) Decrease total square feet to 2112 sqft, allowed 2112 Sqft.

Revision 2, March 26, 2019

- 1) Fix Garage Square footage.
- 2) Removed rear court.
- 3) Revised Drainage plan
- 4) Revised Road Plan
- 5) Revised Landscaping Plan.

Revision 3 April 25th 2019 (After Design Review Meeting)

- 1) Roof redesigned
- 2) Roof deck completely hidden from public eye
- 3) Roof deck now integrated into roof.
- 4) Roof deck Privacy concerns met with roof on the edges
- 5) Shorten the front Patio for neighbor privacy concerns.
- 6) Added Patio privacy for neighbor by creating hidden spiral stair case on Patio.
- 7) Windows on the west side are now minimum
- 8) Colors are now softer, removed black trim.
- 9) Roof deck and Patio and stair case glass panel removed.
- 10) Landscape completely redone
- 11) Vertical windows are now shorten from 10ft to 6ft.
- 12) Black stucco trim around windows removed.
- 13) Use of cable rails on Patio and Front stairs.
- 14) Verticalness of walls and windows are now removed.
- 15) House now fully articulated.
- 16) Use of Mahogany color wood and Vinyl siding has been introduce to soften stucco look.
- 17) Reduce size of roof fascia board from 2ft to 18 inches.
- 18) Removed vertical Mullions from windows.
- 19) Windows sills have been removed.
- 20) Removed all exterior lights except just one light per entry.

Revision 4 April 23rd 2019 (After Second Design review meeting feedback)

- 1) Made the roof deck more smaller, pulled it to the front to mitigate privacy concerns.
- 2) Roof redesign at the front and Right side per Design review feedback.
- 3) Roof height above front door is now at the lowest level. (Matching the ceiling)
- 4) Roof articulation at the right and front with multiple eaves per Design review feedback.
- 5) Broke roof into multiple eaves at the front.
- 6) Replace roof deck Parapet wall with exposed deck railing to decrease mass at the front.
- 7) Garage Step have been added.
- 8) Color pallet is now decreased from 4 to 3 using softer colors and wood stain.
- 9) Fixed setback of second story , closet and bookshelf in now under 7 ft setback.
- 10) Changes wood siding stain to light brown.
- 11) Added couple of windows to garage and on the right side to break long walls.
- 12) Spiral stair case now in code compliance measurements.



Layout Page Table			
Label	Title	Description	Comments
A0		COVER PAGE	
1		Survey	
2		SITE PLAN	1/4" = 1'0"
3		Drainage Plan	
4		LANDSCAPING Plan	
5		FLOOR PLANS	1/4" = 1'0"
6		Elevations	
7		ROOF and Roof Deck Plan	
8		CROSS SECTIONAL ELEVATIONS	
10		Exterior LIGHTENING PLAN	
11		Road Plan	
12		Road Plan	

Second Design Review Feedback

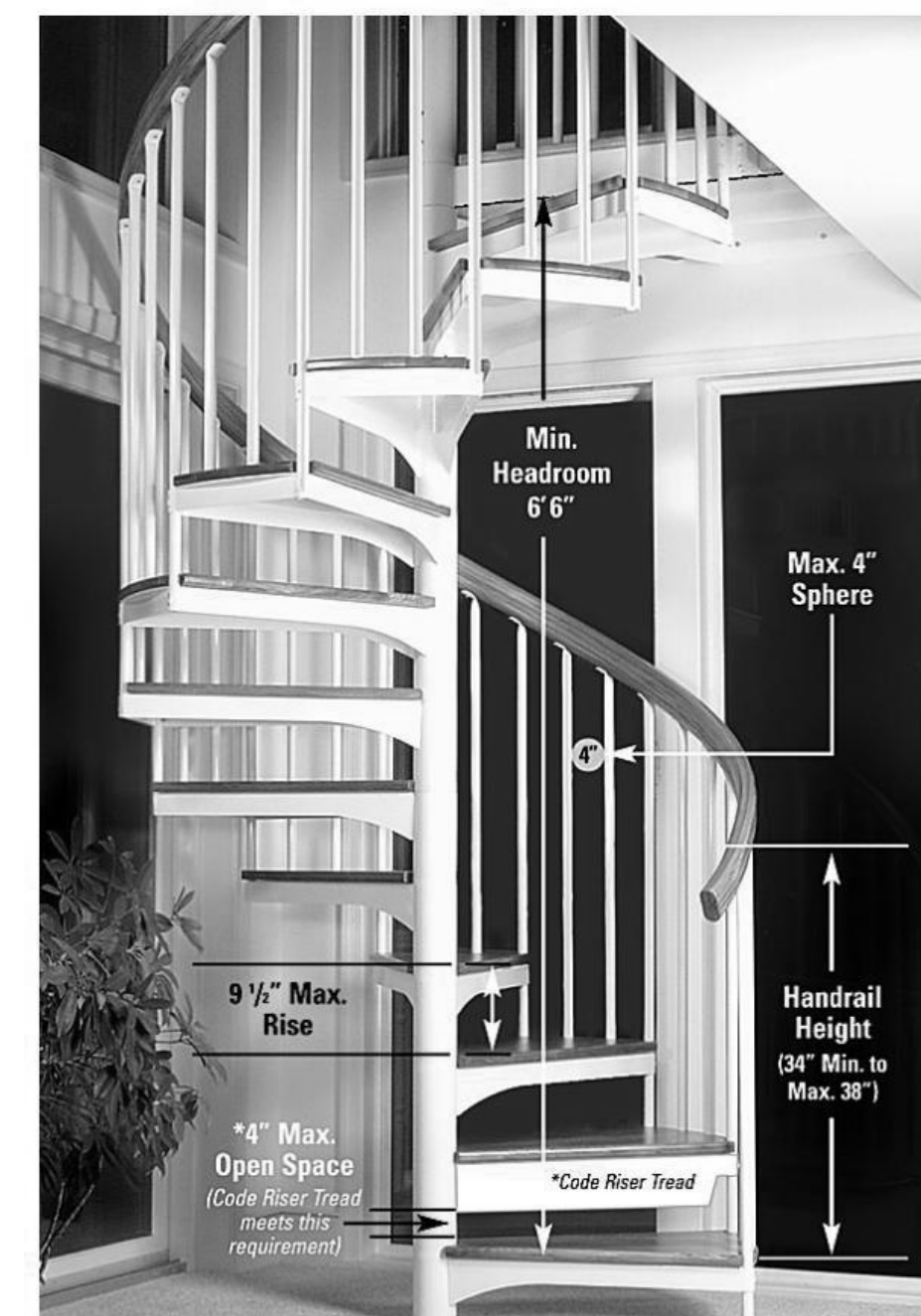
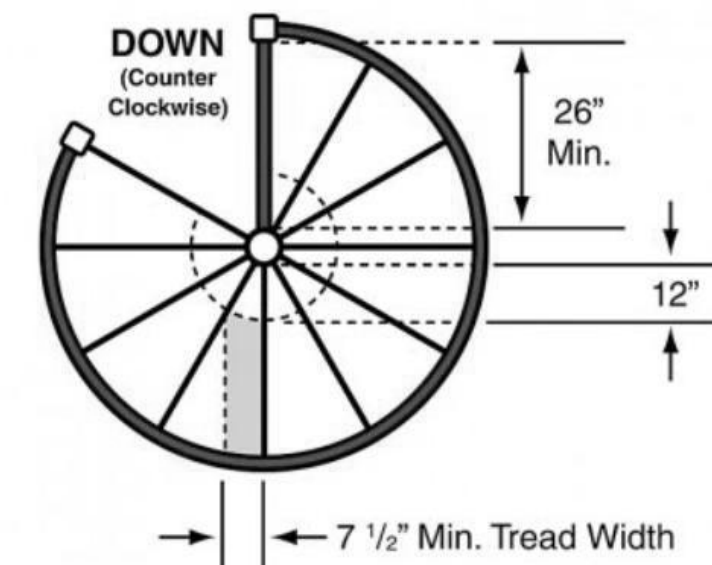
Recommendations:

1. Add a step up from garage into house.
2. If contemporary massing is intended, select a color palette more compatible with the predominantly pastel/earth-tone palette in the neighborhood. Consider overall composition for the color and materials. The current proposed palette is very busy with too many colors and materials in locations that do not create cohesive design.
3. Reduce the height of vertical wall sections to modulate the roof form to add roof articulation.
4. Provide greater roof and wall articulation to mitigate the boxy form of the residence per Section 6565.20(D) Elements of Design 1.c, Second Stories.
5. Reduce second floor roof height at front of house and reduce visual mass by providing varying eave heights. Consider using a roof form that combines sloping sections in order to reflect other houses in the area.
6. Remove or reduce closet pop-out on 2nd floor, east side so that it is not in the setback. Ensure all exterior walls on all floors are represented with setback dimensions on the site plan.
7. Provide tread and riser dimensions for the spiral stair access to the upper roof deck that is compliant with applicable San Mateo County Building Code Regulations.
8. Consider eliminating the roof deck to ensure neighbor's privacy.
9. Vertical proportions on the right side of the residence need to be addressed along with the ones on the front facade.

2nd DESIGN REVIEW FEEDBACK April 2019

IRC Stair Building Code and IBC Stair Code

Stair Building Code Requirement Highlights



Stair Building Code Requirement Highlights

- Minimum clear walking path of 26 inches. A 5-foot diameter or larger stair will provide this standard stair width
- Stair tread codes states that each tread will have a minimum of 7 1/2 inch tread depth at 12 inches from the narrow edge
- All treads will be identical
- The tread rise shall not be more than 9 1/2 inches high
- Minimum headroom of 6 foot 6 inches shall be provided, measuring plumb from the edge of the platform down to the tread below
- Landing width shall not be less than the required staircase width. Minimum spiral stair tread width is 26 inches – Salter's code platforms start at 31 inches wide
- Stair balusters shall be spaced so a 4-inch object cannot pass between. The IRC Stair Code permits a 4 3/8 inch space
- Balcony/Well Enclosure guardrail balusters shall be spaced so a 4-inch object cannot pass
- Balcony/Well Enclosure guardrail height shall not be less than 36 inches – If your state or municipality requires 42-inch tall guardrails, the sales order must reflect this detail
- The stairway shall be equipped with one handrail on the wide edge of the tread according to stair codes
- Stair railing height code, measured vertically from the tread nosing, shall be not less than 34 inches and not more than 38 inches
- Handrail grip size
- Type I-Handrails with a circular cross section shall have an outside diameter of at least 1 1/4 inches and not greater than 2 inches – Salter's standard circular handrail is 1 1/2 inch diameter. This will address the UBC minimum cross section of 1 1/2 inch diameter. If the handrail is not circular, it shall have a perimeter dimension not greater than 6 1/4 inches
- Type II-Handrails, with a perimeter greater than 6 1/4 inches, shall provide a graspable finger recess area on both sides of the profile. For further information on our Type II options, please contact our sales department
- Verify what handrail size and shape your inspector will require. Handrail size and shape are a very controversial area within stair code. We recommend that you use our standard 1 1/2" round handrails or our 1 3/4" x 1 3/4" solid wood handrail to comply with the proper circumference
- A 300 lb. concentrated load is required. On request, our sales department can provide structural calculations for your job specifications

Design review committee feedback March 2019

1. Outdoor lighting reduced to one light fixture near doors only
Redesign: Remove all lighting. Total exterior light now reduced to 5. 2 for front patio and then 1 each exterior door.
2. Reduce number of windows and amount of glass due to reflectivity and privacy concerns for neighbors
Redesign: Remove all unnecessary windows. Move the windows to rear for privacy neighbor privacy concerns. Remove Garage windows.
3. Coordinate window headrail heights to be consistent
Redesign: Exterior sills have been removed. Heights of all windows are now consistent.
4. Revise the proportions of vertical windows on South and East side of entry stair to reduce the vertical expression at the front door for better overall proportions.
Redesign: Remove 2 window on the south side and made it one square window to reduce the verticalness. East Side windows length shorten from 10ft to 6 ft.
5. Eliminate mullions/muntins in windows. Simulated horizontal divided lite on picture windows would be acceptable to coordinate with single hung windows.
Redesign: Remove the Vertical mullions from windows. Add horizontal lite to shorten the verticalness of the windows.
6. Use exterior colors closer in tonality, soften colors, no black trim, and roof.
Redesign: Remove black color completely. Soften color now chosen for the house and trim. Black roof has been replace with Dove Grey color.
7. Consider using cable rail and parapet wall sections on roof deck.
Redesign: Roof deck now complete hidden. Nogg part of the roof. Patio glass panel is now replaced with cable railing with black galvanized posts.

8. Reduce vertical wall sections, use of both glass and stucco should be lessened to modulate the roof form so that it does not have a single slab appearance.
Redesign: Soften patio and front now completely redesigned. Use of Mahogany color wood siding to soften the stucco front appearance. South side tall vertical windows now replaced with square window with horizontal lite.
9. Reduce height of roof fascia. Ensure fascia height is consistent for all rooflines.
Redesign: Roof fascia reduced from 2ft to 18inches. Soffit is now boxed.

Lower roof height to reduce vertical height at front door.

10. Roof now complete redesign. Vertical height at the front door has been replaced with one single roof that covers the front door and roof deck. This reduce the face verticalness at the front door.
11. Spiral stair access to upper roof deck needs to be internal, and size shown accurately.
Redesign: Spiral stair case now completely hidden. Spiral stair case is accessible now from inside and spiral stair case is now part of the roof design. Size now correctly shown.
12. Garage parking does not provide minimum clear dimensions (18' wide by 19' long). Correct this to ensure it does not affect the exterior design in the permit drawings.
Redesign: Garage now meeting the minimum clear dimension. Actually little bigger than what is required. 38x0.
13. Upper lever deck should be aesthetically subordinate to overall architectural style.
Redesign: Roof deck now completely hidden, part of roof, cannot be seen from any side. Only from top. Patio is now smaller because of hidden spiral stair case. This solve deck privacy concerns, aesthetics and make roof/Patio and roof deck proportional.

Group plantings for a more natural effect.

14. Landscape is now redone by a Landscape architect. We went over and make it really nice landscaping design. Groups of plants now introduce in the plan.
Redesign: Landscape is now redone by a Landscape architect. We went over and make it really nice landscaping design. Groups of plants now introduce in the plan.
15. Incorporate a tree/plant species, plants that grow to a more substantial height and have longevity in a coastal zone, in the landscape plan. Roses are not recommended.
Redesign: Landscape design is now done by landscape Architect. Adding tens of new plants to the plan by Landscape architect. Roses removed.
16. Replace and reduce concrete paving throughout the project. Replace with pervious material.
Redesign: No concrete anywhere...all Permeable pavers now.

Reduce grass area significantly.

17. Grass removed from the plans. Landscape design is now redone by a Landscape architect.

Recommendations (optional):

1. Consider pulling guardrails for roof decks away from the edge of roof to reduce the visual impact and improve privacy for neighboring property.
Redesign: Roof deck now complete hidden. Cannot be seen from anywhere. For privacy concerns roof has been added to the sides so even if someone is standing on the roof deck they cannot directly see below.
2. Consider adding stucco planters at edge of stair treads.
Redesign: Architecture software won't let be add the stucco planter. I request that small planters in nice pots will be added on both sides of the stairs to soften the stair look and adding nice small plants with colors.

PROJECT STATISTICS

LOT NUMBER: 048-032-070

LOT SIZE: 4,400 SF (0.10 ACRE)

Total Living area : 2112 SQFT , Allowed 2112 SQFT.

Lot coverage: Building 1165 SQFT + Exterior stairs 77 SQFT= 1242, Allowed 1320

MAIN FLOOR: 1165 SQFT

SECOND: 947 SQFT

DRIVEWAY : 400 SQFT

ZONING : S-94

LOT COVERAGE

Building + Exterior Stairs

1165 SQFT + 77 SQFT = 1242 SQFT

1320 SQFT)

(Allowed

3D Views are Not to Scale and May Not Reflect The Actual Conditions

COVER PAGE

Owner: Zafar Irfan & Bina Mojin

LOT 9 BLOCK 8, SHORE ACRES, 3-RSM-PG095 COUNTY OF SAN MATEO, CA APN 048-032-070

DATE:

5/23/2019

Rev 4

SHEET:

A0

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 9, BLOCK 8, SHORE ACRES, 3-RSM-PG095
 COUNTY OF SAN MATEO, CA
 APN 048-032-070

BASIS OF BEARINGS

CORTEZ AVE: S45°40'W PER SOUTH BALBOA TRACT VOLUME: 5 PAGE 6

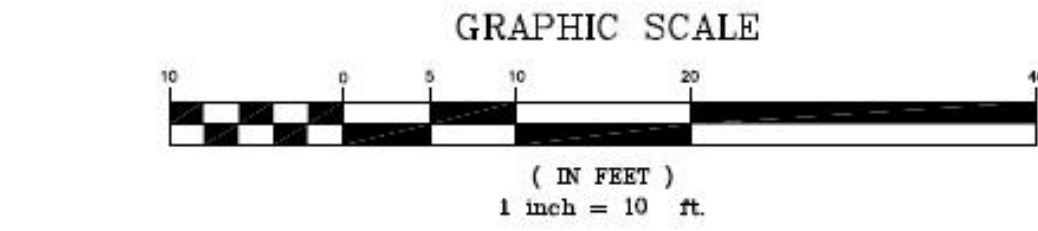
FD. 1 1/2" IP NO TAG (NO REF.) AT FENCE COR.
 ATTACHED TAG PLS 6997
 (ELEV. = 33.50') DATUM ASSUMED

CORNER RECORD
 BEING SUBMITTED 03/2019

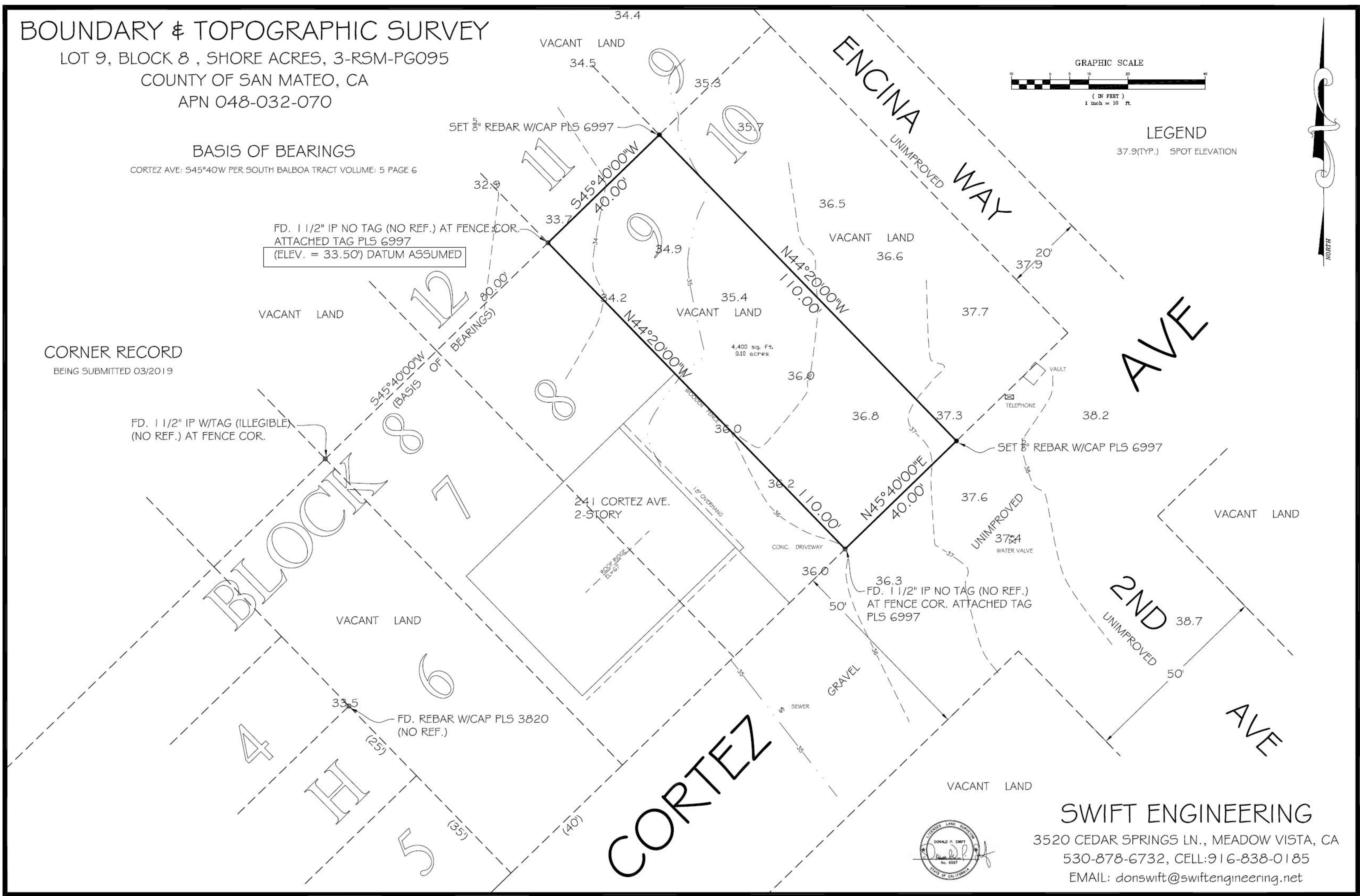
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 (NO REF.) AT FENCE COR.

FD. REBAR W/CAP PLS 3820
 (NO REF.)

SET 5" REBAR W/CAP PLS 6997



LEGEND
 37.9(TYP.) SPOT ELEVATION



SWIFT ENGINEERING
 3520 CEDAR SPRINGS LN., MEADOW VISTA, CA
 530-878-6732, CELL: 916-838-0185
 EMAIL: donsift@swiftengineering.net

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Survey

Owner: **Zafar Irfan & Bina Mojin**

LOT 9 BLOCK 8, SHORE ACRES,
 3-RSM-PG095
 COUNTY OF SAN MATEO, CA
 APN 048-032-070

DATE:

5/23/2019

Rev 4

SHEET:

1

PROJECT STATISTICS:

LOT NUMBER: 048-032-070
LOT SIZE: 4,400 SF (0.10 ACRE)

Lot coverage: 1165 SQFT + 77 SQFT Exterior stairs
= 1242 SQFT (ALLOWED 1320 SQFT)

MAIN FLOOR: 1165 SQFT
SECOND: 947 SQFT
Total Structure = 2112 SQFT (Allowed 2112 (SQFT))

PERMEABLE PAVERS DRIVEWAY: 400 SQFT

ZONING : S-94

NOTES:

NOTES: 1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES 2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM 3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING 4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD FRENCH DRAIN 5. AREAS TO BE FILLED SHALL BE CLEARED, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.

SITE PLAN NOTES:

SOIL TYPE: SHALLOW AND MODERATELY DEEP, WELL- DRAINED SOIL FORMED IN MATERIAL WEATHERED FORM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE MODERATE.

SOIL: *2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION.
 FROST DEPTH: *2'-0"
 SEISMIC ZONE: C
 WIND: 90 MPH (90 MPH 3 SEC GUST)
 EXPOSURE C

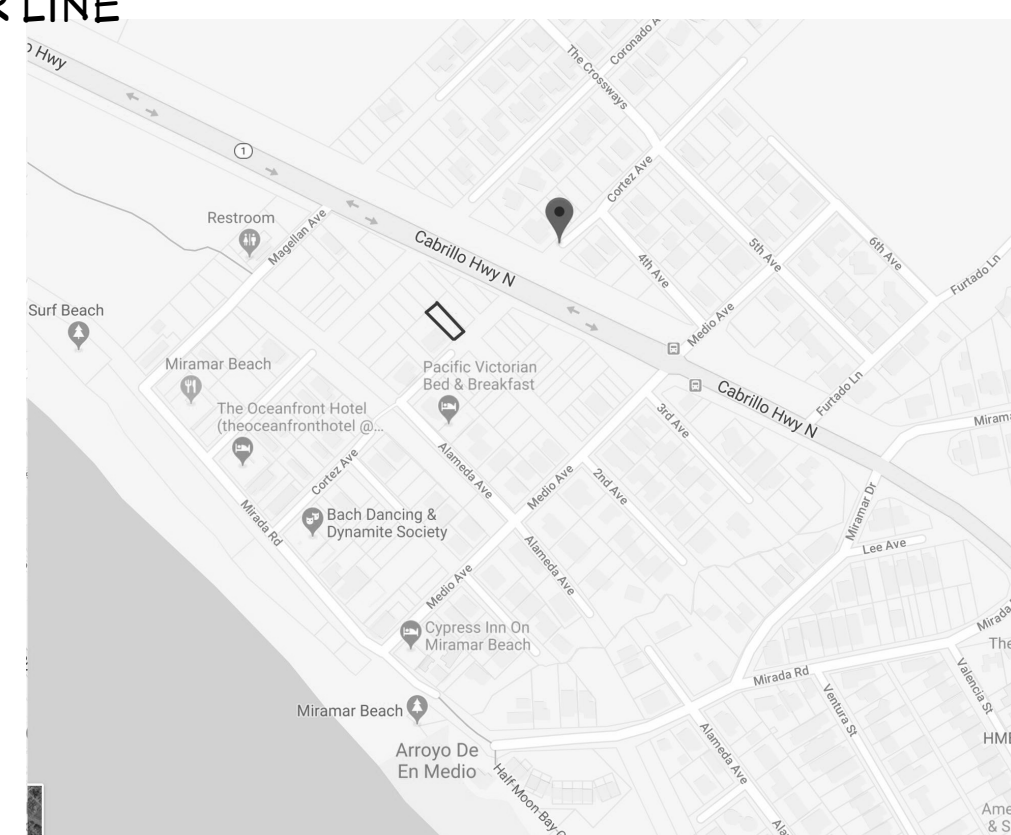
SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION

CALL BEFORE YOU DIG: 800.428.4950

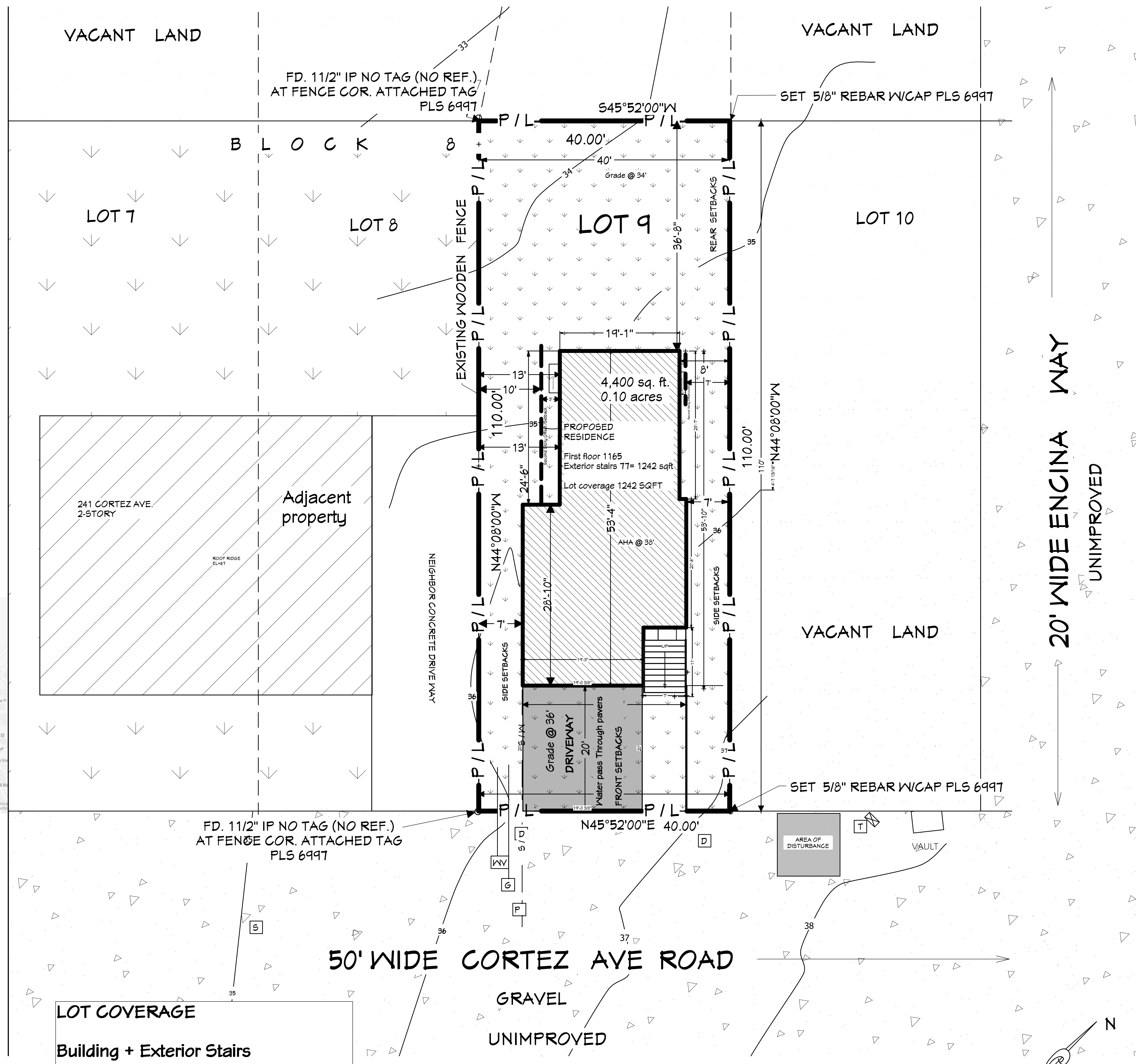
No TREES on site
 (PLANNED UTILITY LINES)

LEGEND:

- TELEPHONE / CABLE POA
- NATURAL GAS LINE
- UNDERGROUND POWER LINE
- SEWER WASTE LINE
- DRAINAGE TO STREET
- 5/8" MAIN WATER LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE



OVERALL RENDERING



LOT COVERAGE
Building + Exterior Stairs
1165 SQFT + 77 SQFT = 1242 SQFT

SITE PLAN
LEVELLED LOT , NO GRADING REQUIRED

3D Views are Not to Scale and May Not Reflect The Actual Conditions

SITE PLAN

Owner: Zafar Irfan & Bina Moin

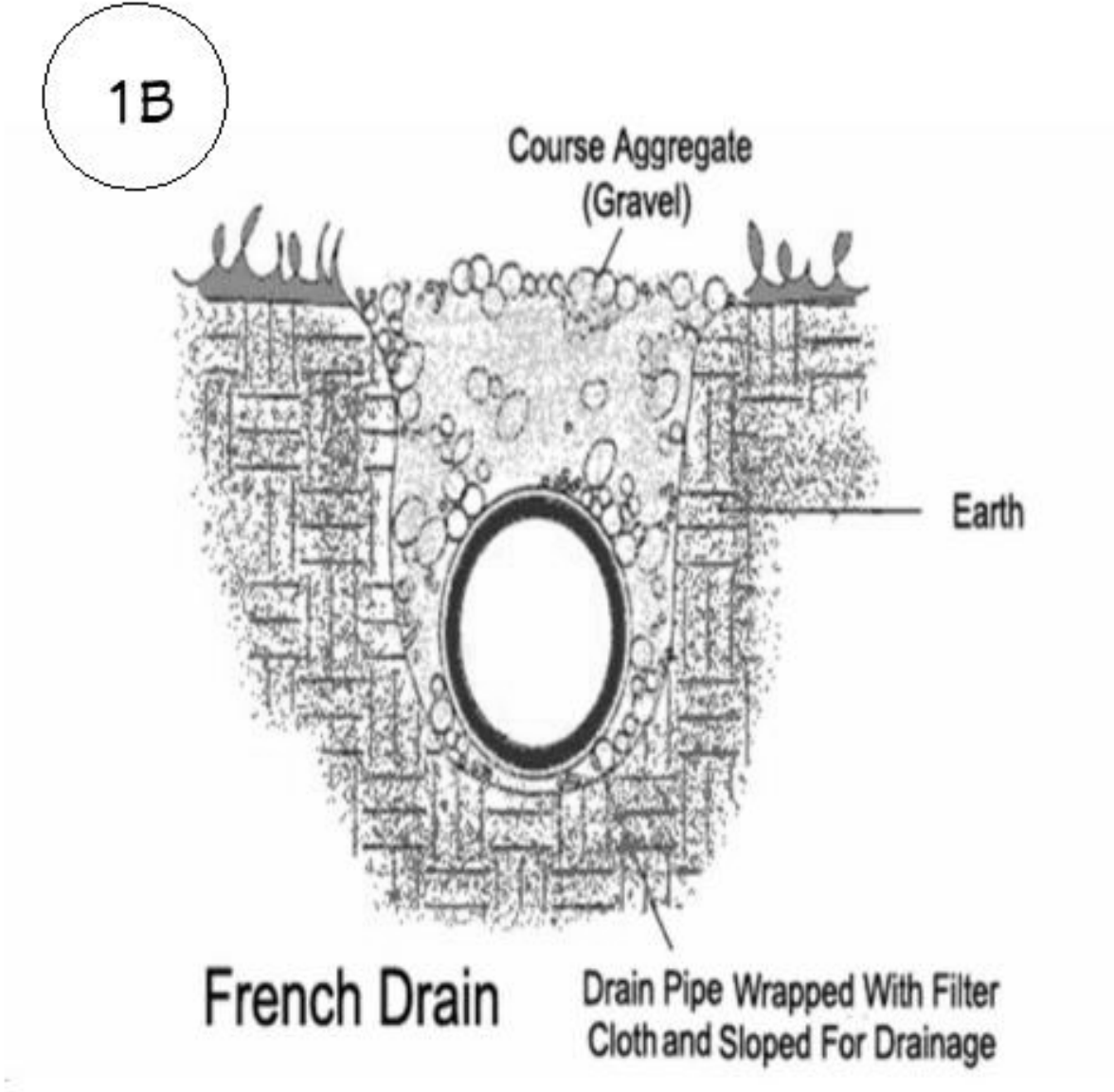
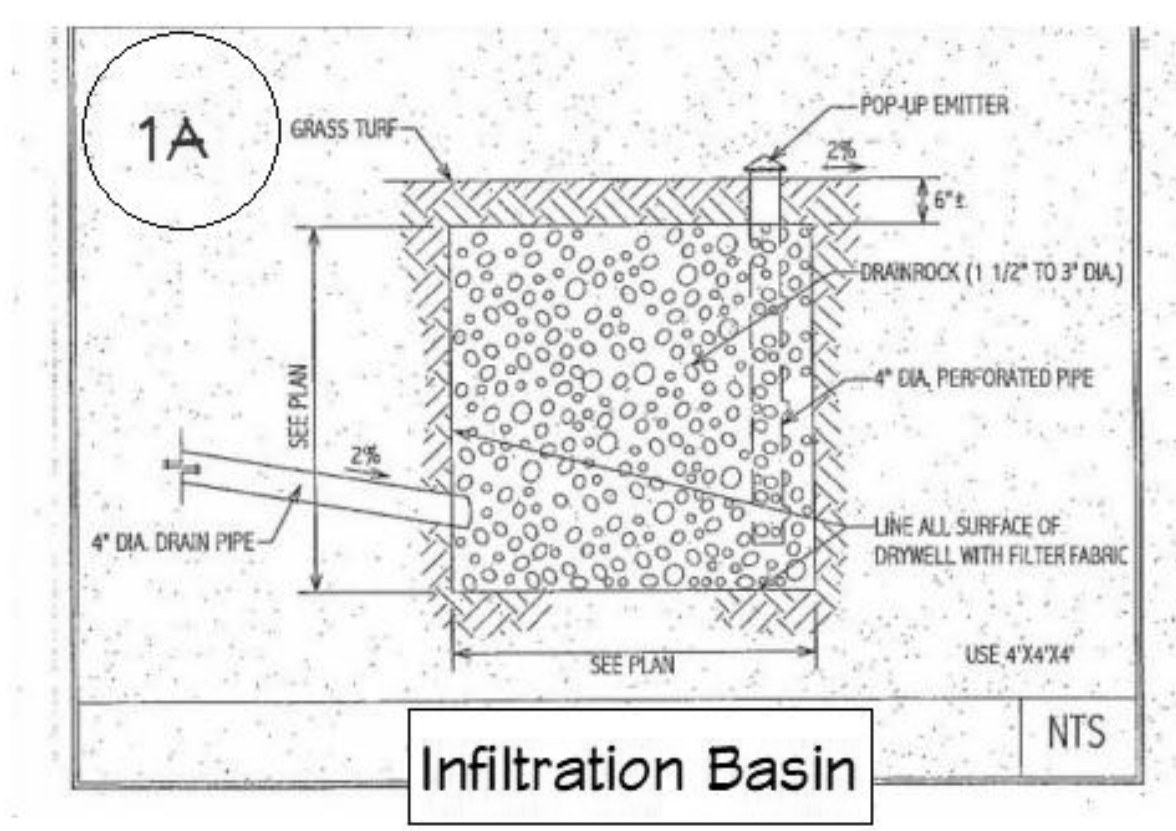
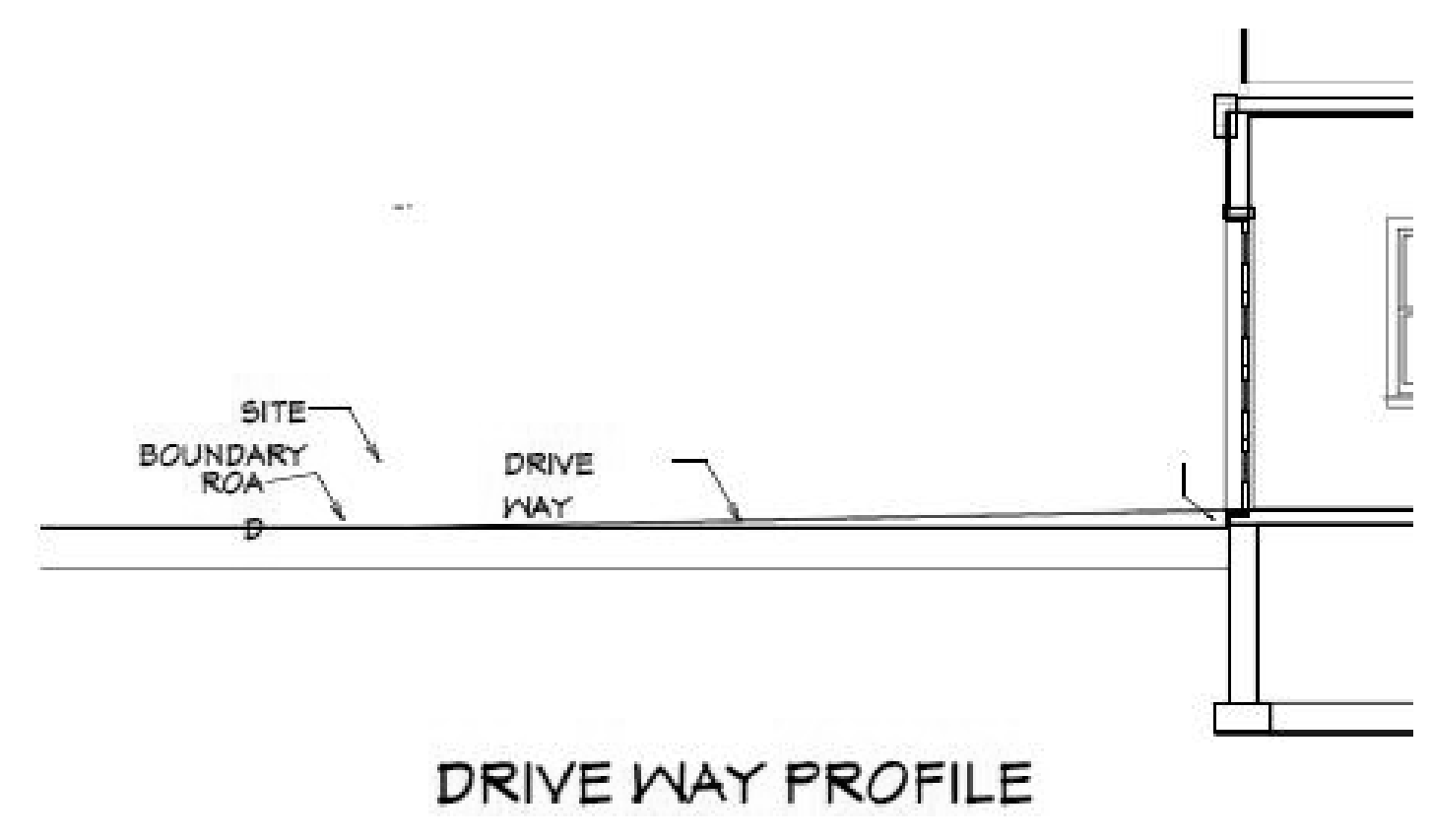
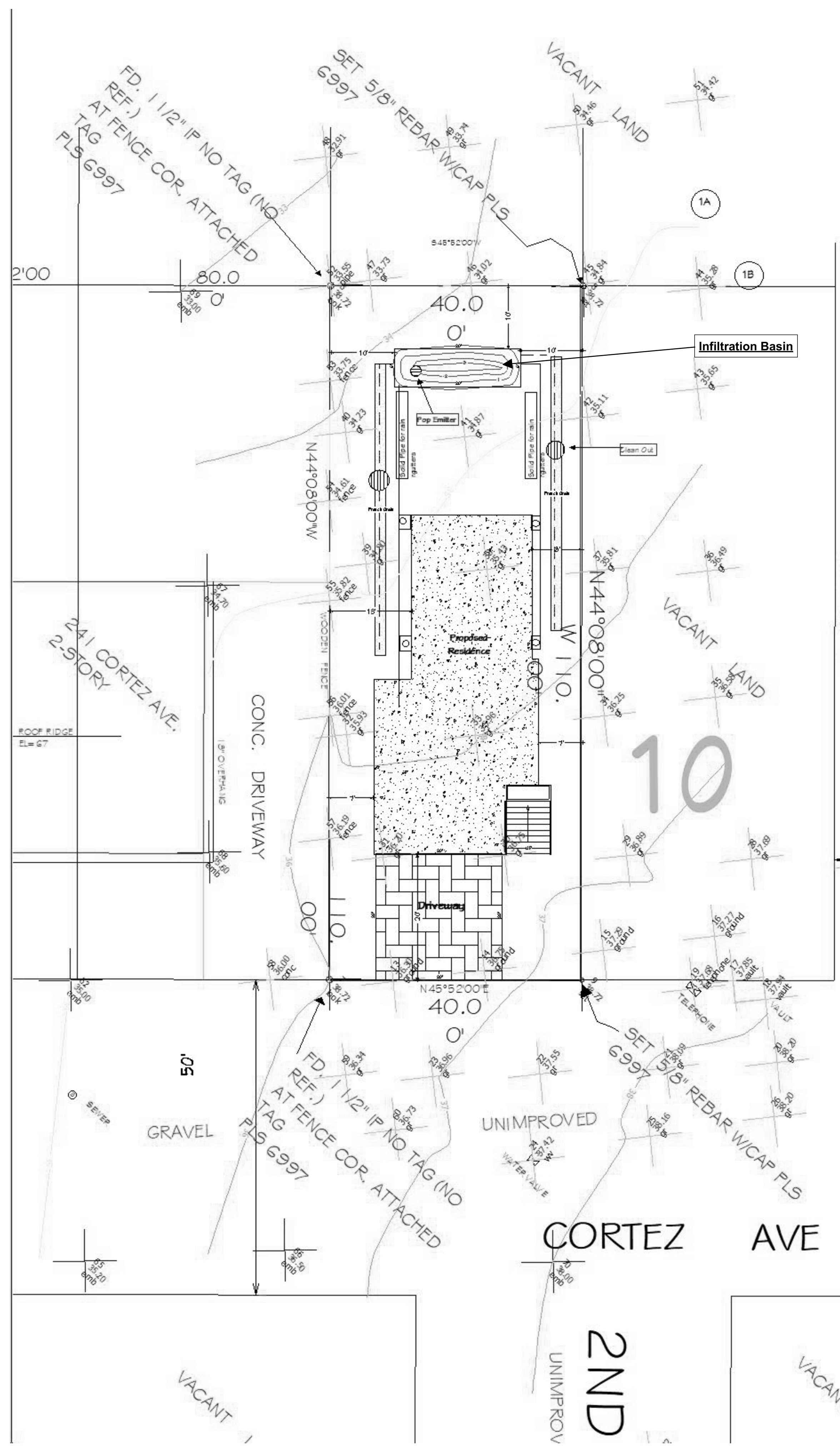
LOT 9 BLOCK 8, SHORE ACRES,
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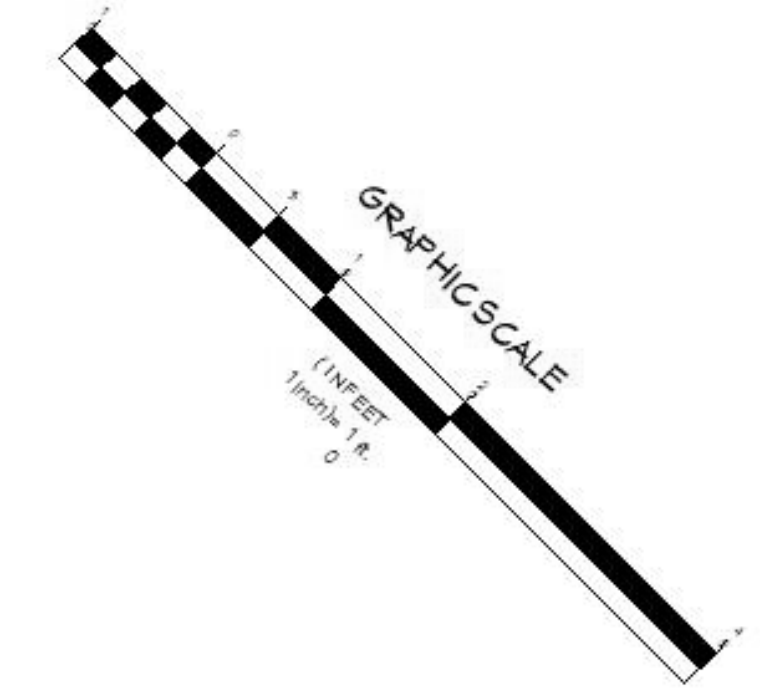
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 1/4" = 1'0"

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ENCINA WAY
UNIMPROVED



Drainage SYMBOLS	
Cleanout	
Pop up	
Rain Gutters	

- GRADING NOTES:**
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
 2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
 3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
 4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
 5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

- Notes**
- 1) Rain gutters should be connected to solid pipes which slope towards Infiltration basin.
 - 2) French drain should slope towards Infiltration basin.
 - 3) Grade around the infiltration basin should slope towards basin.
 - 4) One cleanout on each french basin

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Drainage Plan

Owner: Zafar Irfan & Bina Mojin

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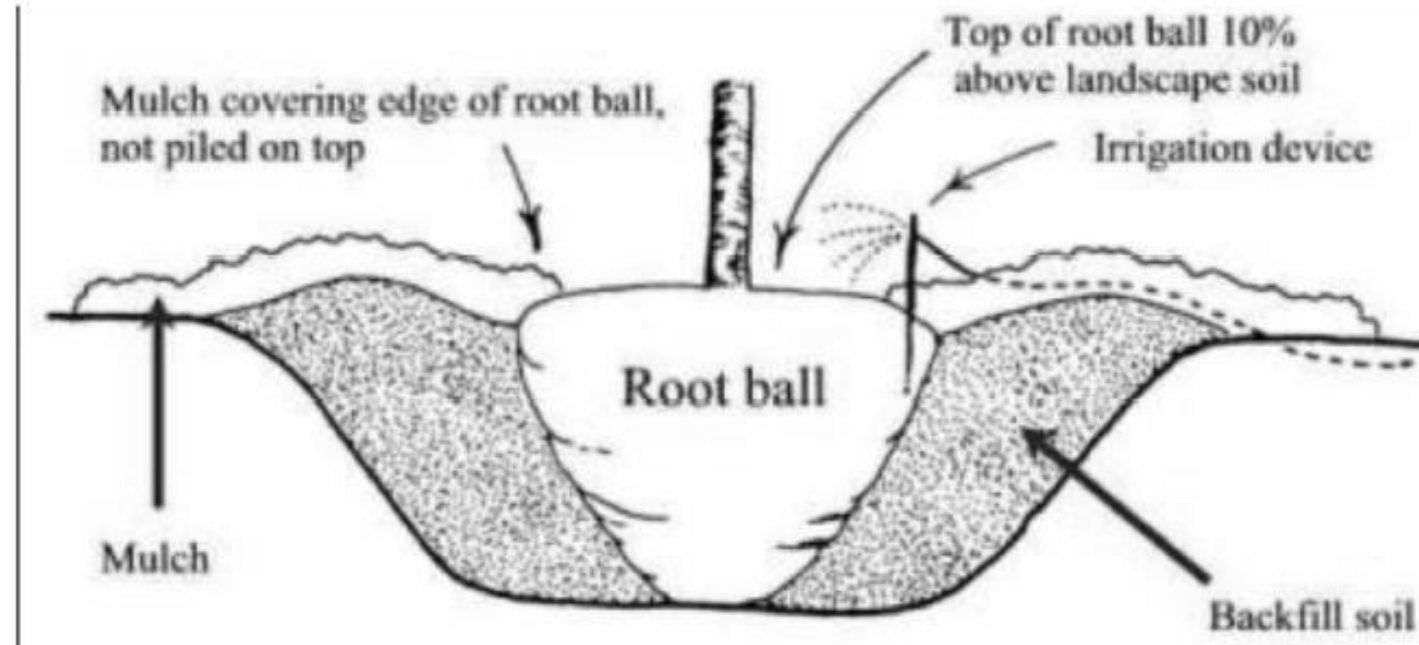
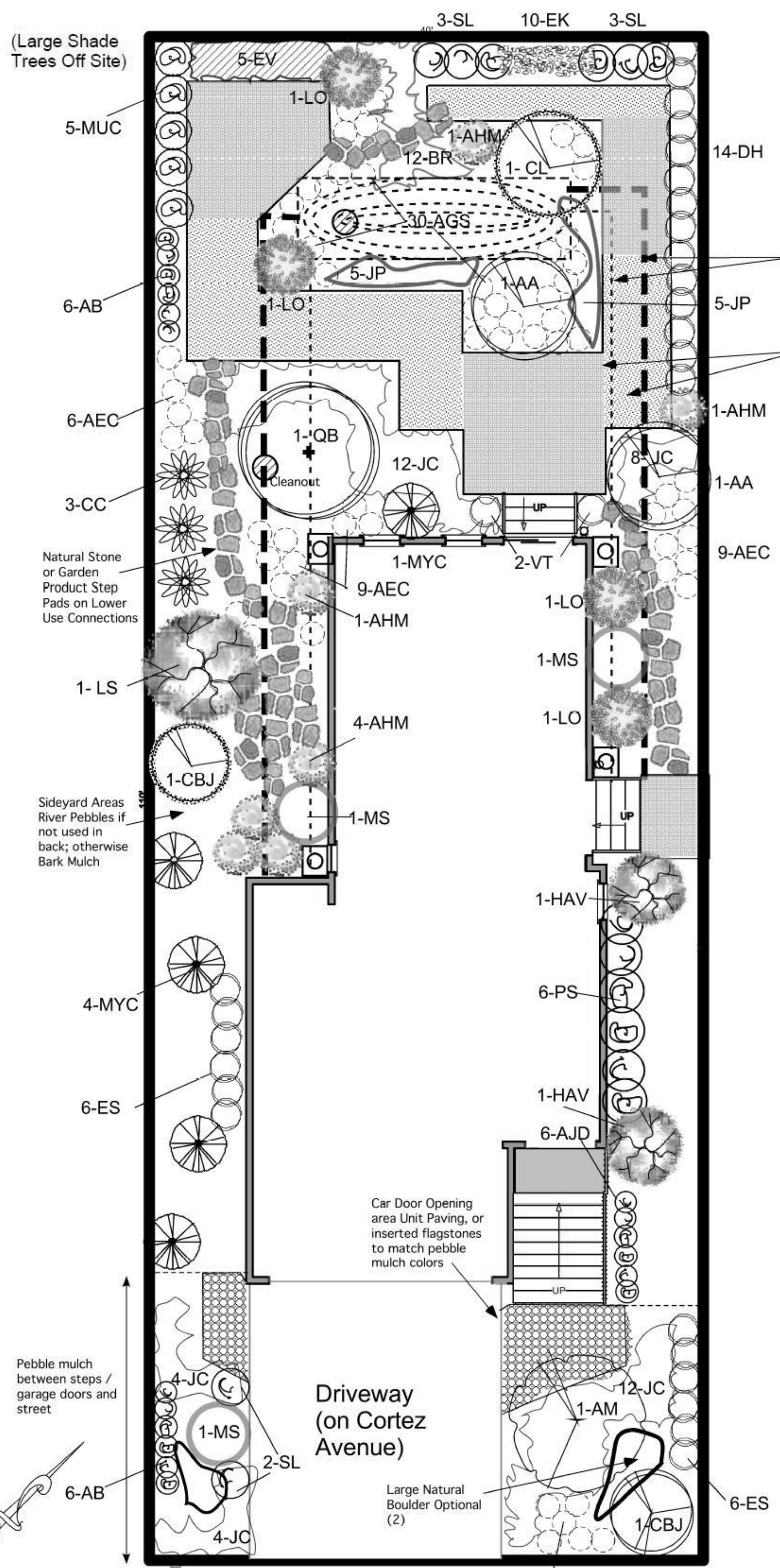
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NOTES: TYPICAL SHRUB PLANTING, INDIVIDUAL PLANTING HOLE

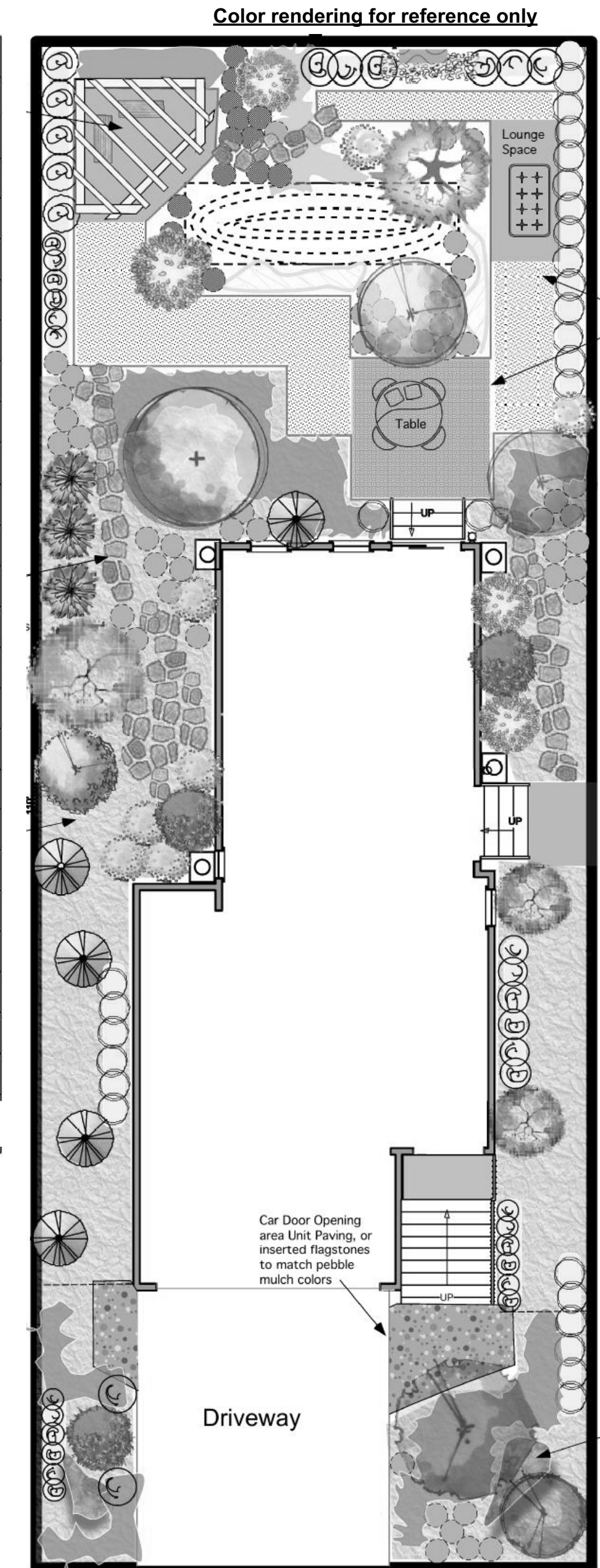
1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
4. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER. DISTURB THE ROOTS.
5. IF B&B PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE ALL CORD FROM THE TRUNK. REMOVE BURLAP AND WIRE BASKET (IF PRESENT) FROM THE ROOT BALL.
6. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS. DO NOT ADD AMENDMENTS.
7. PLACE PINE STRAW OR BARK MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 1 TO 3 INCHES.
8. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
9. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of creeping or rooting groundcovers.

Plant List

KEY	Quant	Name(s)	Habit	WELO Value
AA *	2	Amelanchier alnifolia /Western Service Berry	Medium Shrub	Medium
AB	12	Abelia floribunda /Mexican Abelia	Low Ev Shrub	Medium
AEC	30	Arctostaphylos 'Emerald Carpet	Low Ev Shrub	Medium
AGS	30	Arctostaphylos uva-ursi /Kinnikinnick (add clumps of Iris optional)	Ground Cover	Low
AHM	7	Arctostaphylos densiflora 'Howard McMinn'	Large Shrub	Low
AJD	6	Arctostaphylos 'John Dourley' or "Pacific Mist"	Low Ev Shrub	Low
AM*	1	Arctostaphylos 'Dr Hurd' or "St. Helena" Manzanita	Small Tree	Low
BR	12	Berberis aquifolium repens /Creeping Barberry	Low Shade Shrub	Low
CC	3	Callistemon citrinus /Lemon Bottlebrush	Med Shrub	Low
CBJ	2	Ceanothus concha /Wild Lilac	Med Shrub	Low
CL*	1	Chilopsis linearis /Desert Willow	Small Tree	Very Low
DH	14	Dendromecon harfordii /Island Bush Poppy	Lg Ev Shrub	Low
EK	10	Engeron karvinskianus /Santa Barbara Daisy	Perennial	Unknown
ES	12	Eragrostis spectabilis /Purple Love Grass	Ornamental grass	Unknown
EV	5	Euonymus japonicus, silver variegated - trim as hedge	Med Ev Shrub	Low
HAV	2	Hydrangea aspera villosa /Lacecap	Med Shrub	Medium
JC	40	Juniperus chinensis 'Gold Coast'	Low Ev. Shrub	Low
JP	10	Juniperus procumbens /Dwarf Japanese Garden Juniper	Ev GrdCover	Low
LO*	4	Ligustrum ovalifolium /California Privet, pruned as specimen	Large Shrub	Low
LS*	1	Leptospermum "Dark Shadows" /Tea Bush	Large Shrub	Low
MYC*	5	Myrica cerifera or Myrica californica /Waxmyrtle	Ev hedge shrub	Medium
MS	3	Miscanthus sinensis 'Morning Light' /Maiden Grass	Ornamental grass	Medium
MUC	5	Muhlenbergia capillaris /Pink Muhly Grass	Ornamental grass	Low
PS	6	Podocarpus macrophyllus trimmed to wall hedge	Ev Shrub/Tree	Medium
QB*	1	Quercus berberidifolia /Scrub Oak, treat as specimen	Small Ev Tree	Very Low
SL	8	Salvia leucophylla /Purple Sage	Med Ev Shrub	Low
VT	2	Viburnum odoratissimum /Sweet Viburnum	Med Shrub	

Size:s min 2-3 gal. unless otherwise noted with *
 plant 3 -5 gal. evergreens and 4-5 ft. trees as available;
 Natives: Source Yerba Buena Nursery

1/4"=1'-0" Planting Layout (See Rendering Sheet for Reference Measurements)



6 ft Horizontal fence Redwood on the north and east side

3D Views are Not to Scale and May Not Reflect The Actual Conditions

LANDSCAPING Plan
 Designed by Leslie B. Wagle

Owner: Zafar Irfan & Bina Mojin

**LOT 9 BLOCK 8, SHORE ACRES,
 3-RSM-PG095
 COUNTY OF SAN MATEO, CA
 APN 048-032-070**

DATE:
 5/23/2019

Rev 4
 1/4" = 1'0"

SHEET:

INSPECTION NOTES:

1. PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE LOCAL BUILDING CODE.

2. SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS. DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:

A. OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR BUILDING OFFICIAL.

B. FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.

C. SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

3. DUTIES OF THE CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
A. NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.

B. MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.

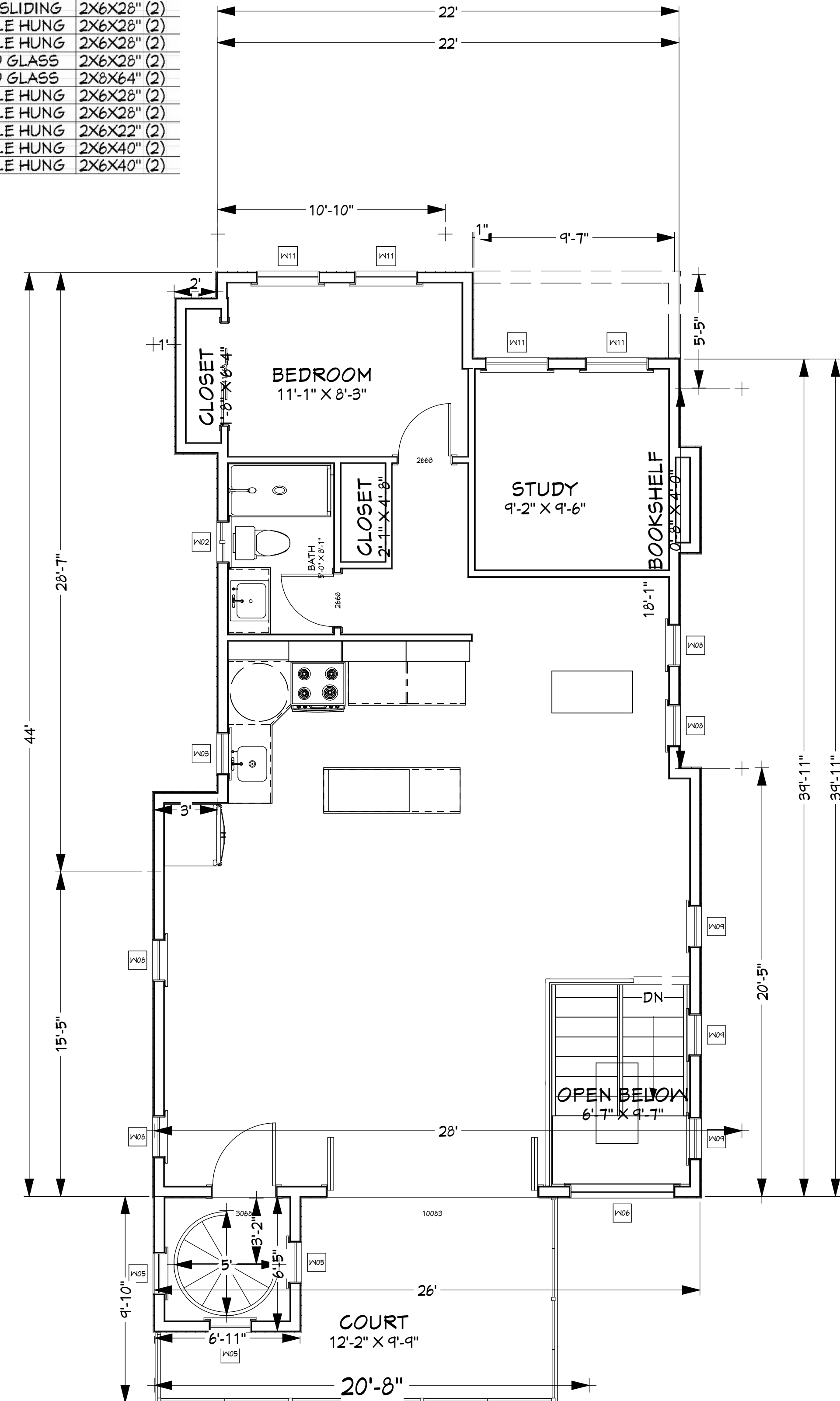
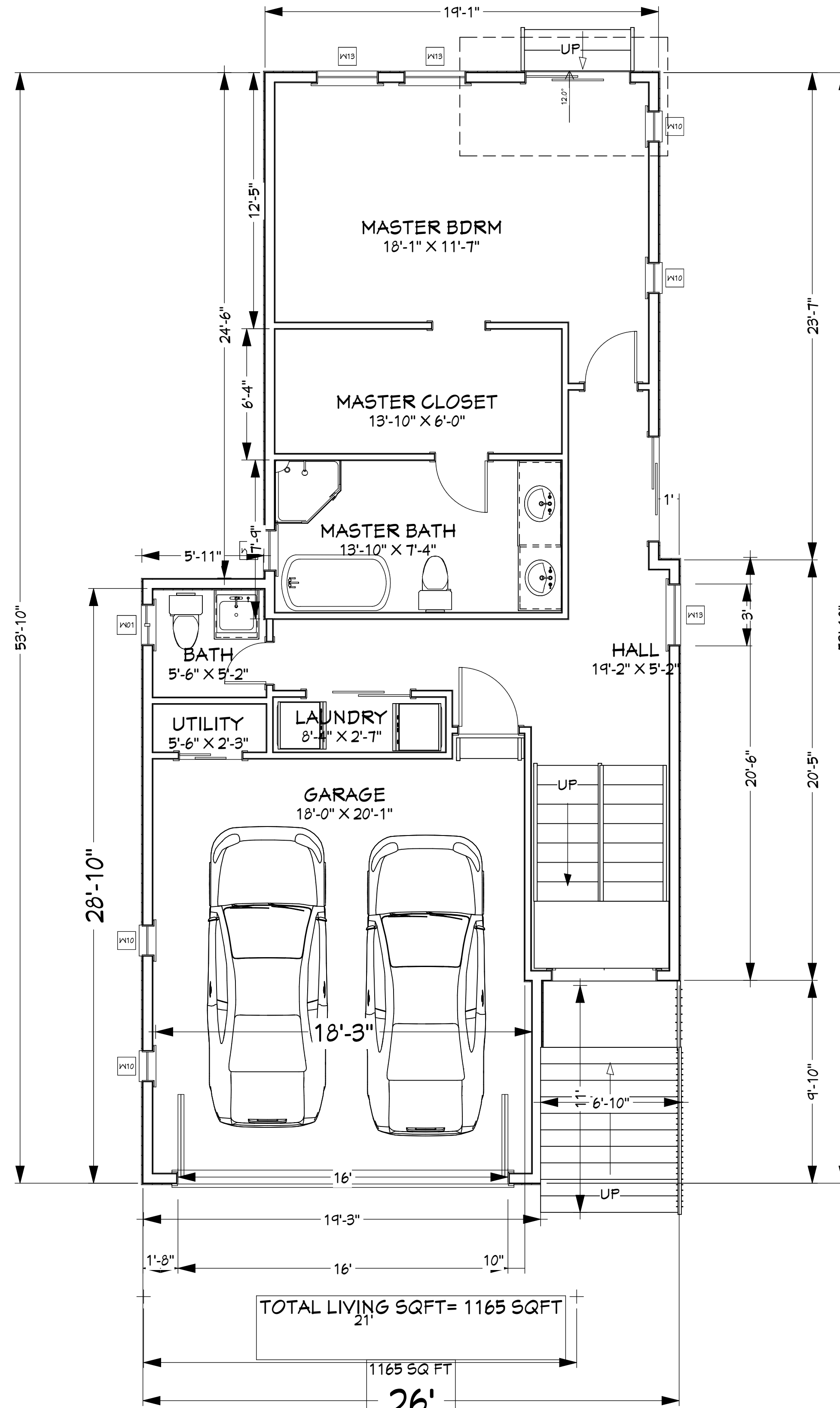
C. PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.

D. MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

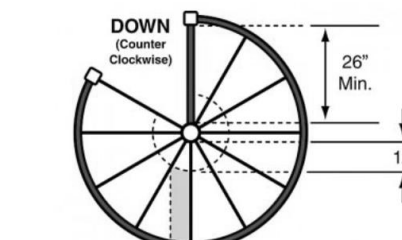
1. ALL EXTERIOR DIMENSIONS ARE TO THE MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING. INTERIOR DIMENSIONS ARE TO THE FINISHED WALL.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER	
W01	2010LS	1	1	2010LS	24"	12"	25"X13"		LEFT SLIDING	2X6X28" (2)	
W02	2010LS	1	2	2010LS	24"	12"	25"X13"		LEFT SLIDING	2X6X28" (2)	
W03	2040SH	1	2	2040SH	24"	48"	25"X49"		SINGLE HUNG	2X6X28" (2)	
W04	2040SH	1	1	2040SH	24"	48"	25"X49"		SINGLE HUNG	2X6X28" (2)	
W05	2060FX	3	2	2060FX	24"	72"	25"X73"		FIXED GLASS	2X6X28" (2)	
W06	5031FX	1	2	5031FX	60"	37"	61"X38"		FIXED GLASS	2X8X64" (2)	
W08	2060SH	4	2	2060SH	24"	72"	25"X73"		SINGLE HUNG	2X6X28" (2)	
W09	20411SH	3	2	20411SH	24"	59"	25"X60"		SINGLE HUNG	2X6X28" (2)	
W10	1640SH	4	1	1640SH	18"	48"	19"X49"		SINGLE HUNG	2X6X22" (2)	
W11	3040SH	4	2	3040SH	36"	48"	37"X49"		SINGLE HUNG	2X6X40" (2)	
W13	3040SH	3	1	3040SH	36"	48"	37"X49"		SINGLE HUNG	2X6X40" (2)	



Stair Building Code Requirement Highlights



- Minimum clear walking path of 36 inches. A 5-foot diameter or larger stair will provide the standard stair width.
- Stair tread codes states that each tread will have a minimum of 7 1/2 inch tread depth at 12 inches from the narrow edge.
- All treads will be identified.
- The tread rise shall not be more than 9 1/2 inches high.
- Minimum headroom of 6 feet 6 inches shall be provided, measuring plumb from the edge of the platform down to the tread below.
- Landing width shall not be less than the required staircase width. Minimum open stair tread width is 36 inches - Saller's code platforms start at 37 inches wide.
- Stair balusters shall be spaced so a 4 inch object cannot pass between. The IRC Stair Code permits a 4 inch space.
- Balcony/Wall Enclosure guardrail balusters shall be spaced to a 4-inch object cannot pass.
- Balcony/Wall Enclosure guardrail height shall not be less than 36 inches - If your state or municipality requires 42 inch tall guardrails, the sales order must reflect this detail.
- The stairway shall be equipped with handrail on the wide edge of the tread according to stair codes.
- Stair railing height code, measured vertically from the tread nosing, shall be not less than 34 inches and not more than 38 inches.
- Handrail grip size
- Type I handrail with a circular cross section shall have an outside diameter of at least 1 1/4 inches and not greater than 2 inches - Saller's standard circular handrail is 1 1/2 inch diameter. This will address the IRC minimum cross section of 1 1/2 inch diameter. If the handrail is not circular, it shall have a perimeter dimension not greater than 6 1/4 inches.
- Type II handrail with a perimeter greater than 6 1/4 inches, shall provide a graspable finger recess area on both sides of the profile. For further information on our Type II options, please contact our sales department.
- Well-vent handrail size and shape your inspector will require. Handrail size and shape are a very controversial area within stair codes. We recommend that you use our standard 1 1/2" round handrail or our 1 3/4" x 1 3/4" solid wood handrail to comply with the proper circumstance.
- A 200 lb. concentrated load is required. On request, our sales department can provide structural calculations for your job specifications.



LOT COVERAGE

BUILDING + EXTERIOR STAIRS

1165 SQFT + 77 SQFT = 1242 SQFT

1st Floor

First floor living area = 1165 sqft

Second floor living area= 947sqft

Total Square footage =1165+947 = 2112 SQFT, Allowed 2112 SQFT

LIVING AREA
947 SQ FT

2nd Floor

3D Views are Not to Scale and May Not Reflect The Actual Conditions

FLOOR PLANS

Owner: Zafar Irfan & Bina Mojin

LOT 9 BLOCK 8, SHORE ACRES,
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STUCCO
Weathered White , Behr Model #HDC-NT-21

Early American Stain
266196 -

ROOF FACIA BOARDS
Flannel Gray Model # N520-3

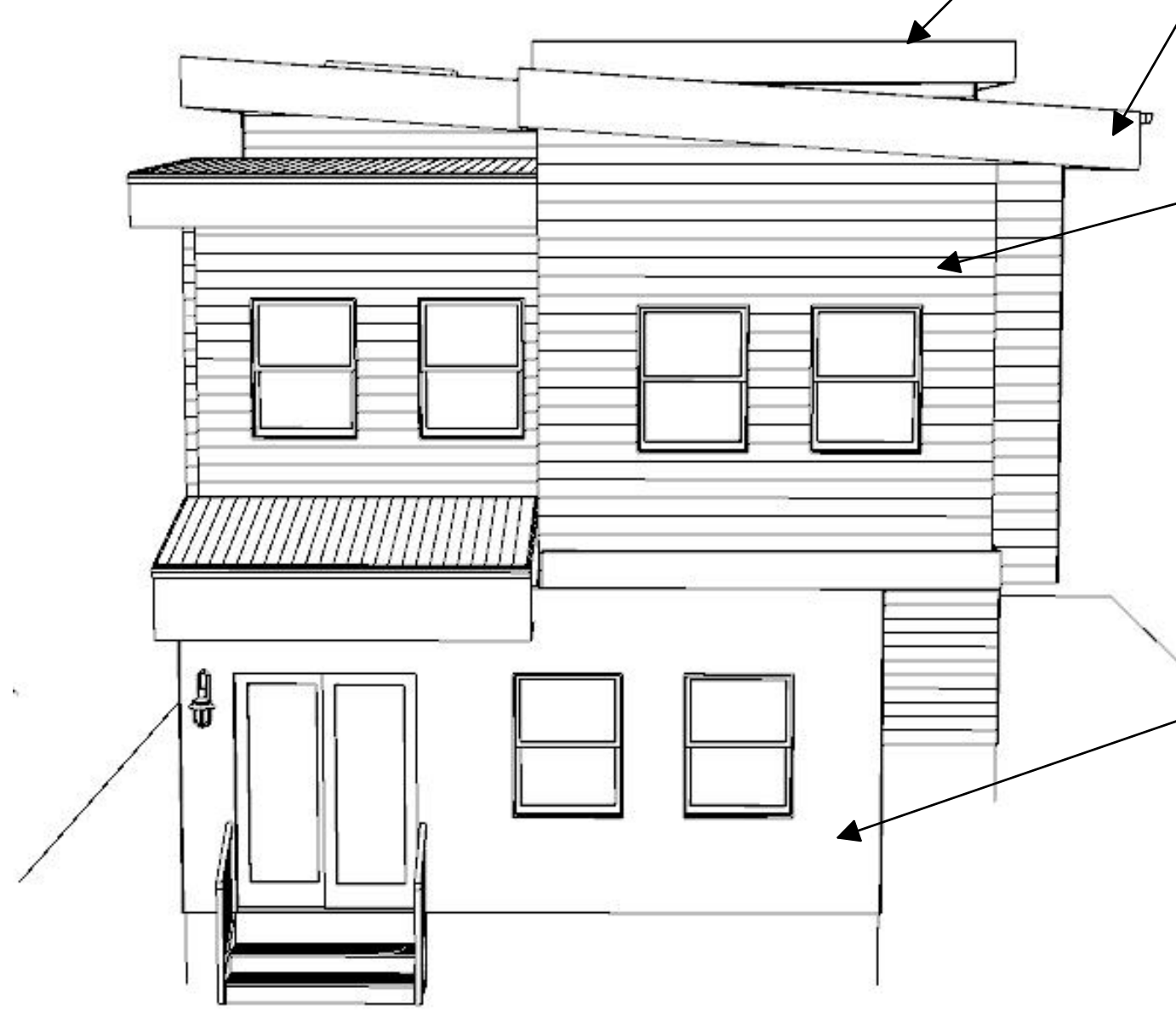
Wood Stain
Varathane Penetrating Stain
Red Oak



FRONT ELEVATION

Wood Stain
Varathane Early American Stain
266196 -

All Windows= Black Aluminium



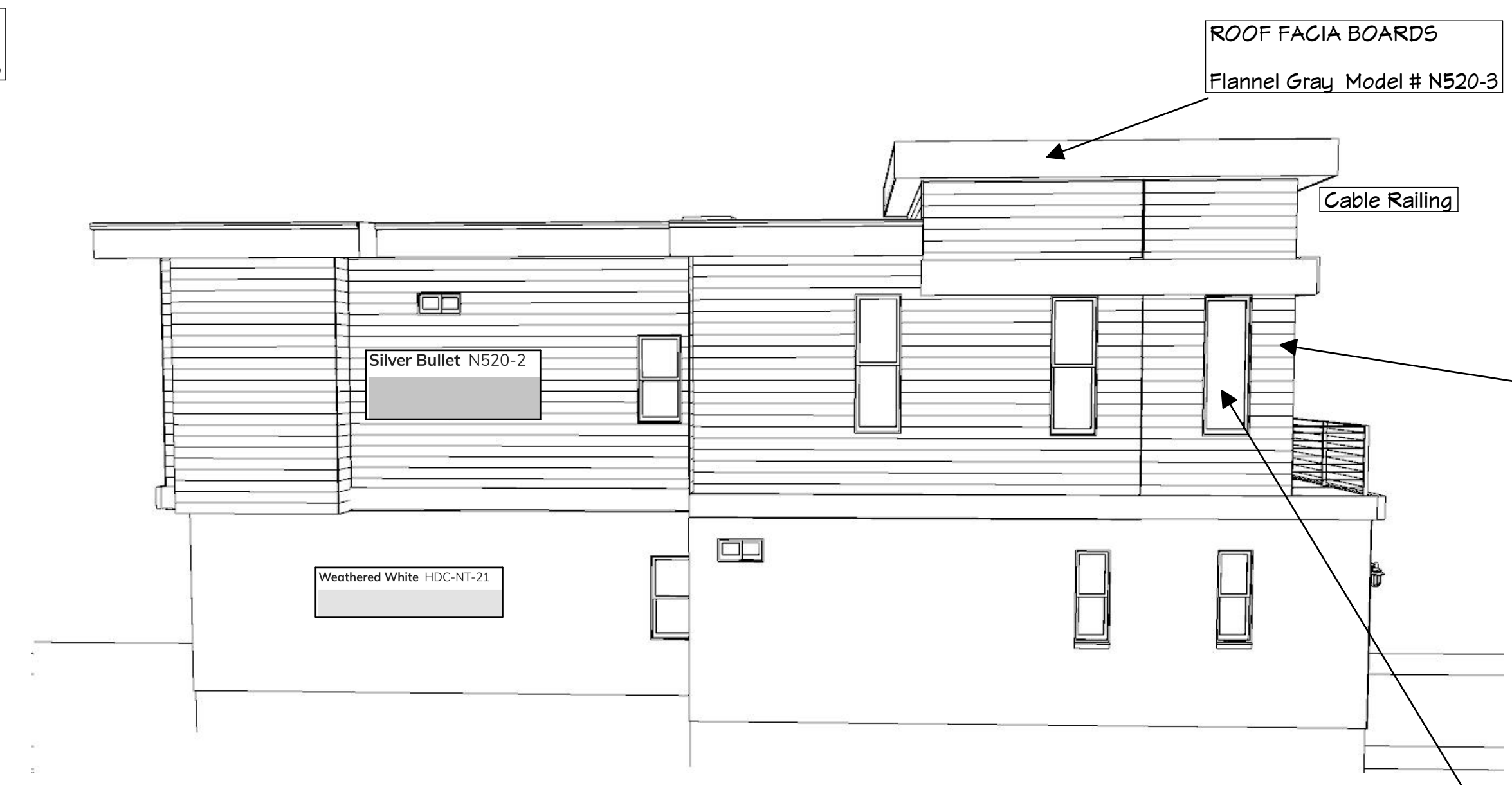
REAR SIDE ELEVATION

STUCCO
Weathered White , Behr Model #HDC-NT-21

Opaque window

Garage door = Aluminium and Glass

Cable Railing



Left SIDE ELEVATION

ROOF FACIA BOARDS
Flannel Gray Model # N520-3

Wood Stain
Varathane Early American Stain
266196 -

Early American
266196 - Half Pint

All Windows= Black Aluminium

Vinyl Siding
Color Behr Pencil Sketch N500-4 (TC-33)

Opaque window

Soft color Pallet

<p>Flannel Gray N520-3</p> <p>Behr</p> <p>Roof Trim</p>	<p>Silver Bullet N520-2</p> <p>Behr</p> <p>Second Story</p>	<p>Weathered White HDC-NT-21</p> <p>Behr</p> <p>Ground Floor</p>	<p>Varathane WOOD STAIN</p> <p>EARLY AMERICAN</p> <p>Early American 266196 - Half Pint</p>
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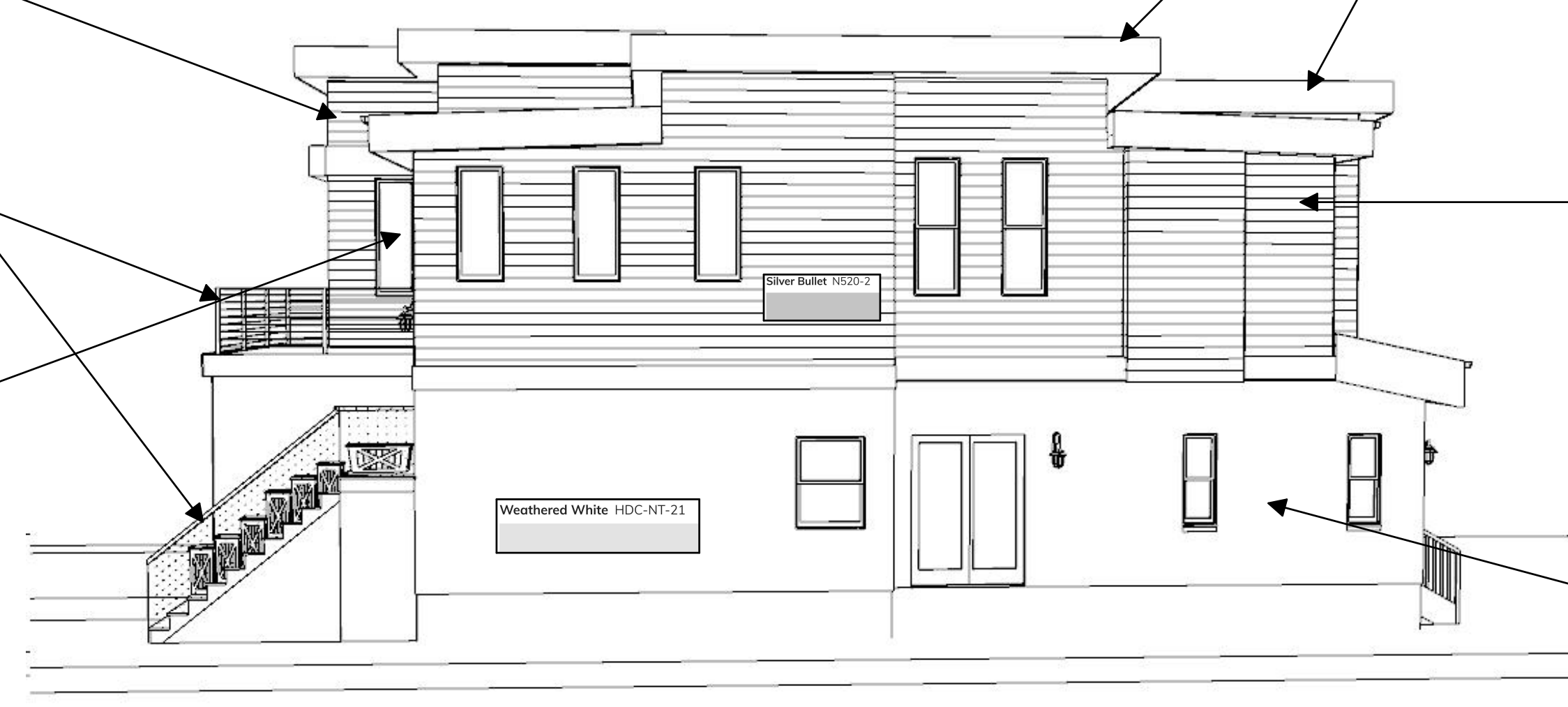
Early American
266196 - Half Pint

ROOF FACIA BOARDS
Flannel Gray Model # N520-3

Cable Railing

Vinyl Siding
Color Behr Silver Bullet N520-2 (tc-34)

Opaque windows



Right SIDE ELEVATION

All Windows= Black Aluminium

STUCCO
Weathered White , Behr Model #HDC-NT-21

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Elevations

Owner: Zafar Irfan & Bina Mojin

LOT 9 BLOCK 8, SHORE ACRES,
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ELEVATIONS

RMS-Snap Lock Series

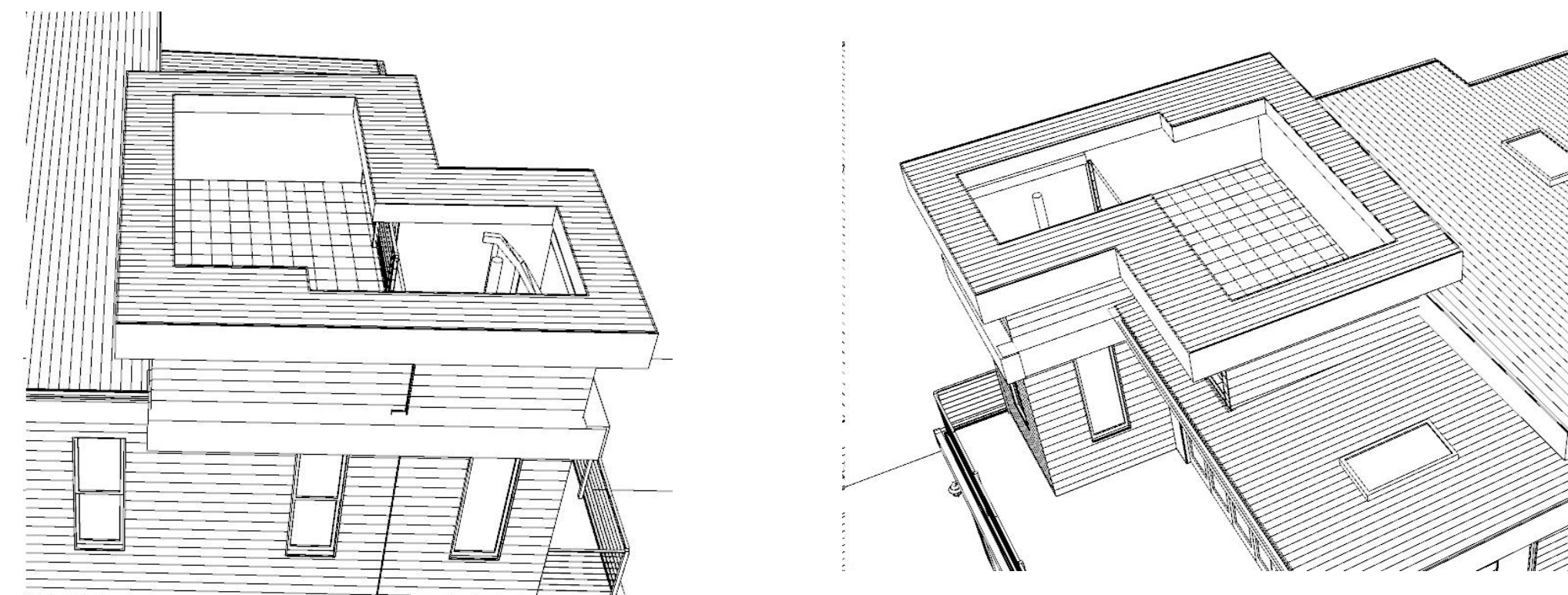
- Lok Seam metal roofing system
- Galvanized, Galvalume, Aluminum, and Copper
- Available 12", 16" and 20"
- UL90 rated
- Kynar 500 Finish with a twenty year warranty
- Continuous length panels
- Optional stiffening ribs and striations (to minimize oil canning)
- 100 mph Wind Driven Rain Infiltration Resistance Tested

Steel Roof Panel Details

Color = Dove Grey

RMS STEEL ROOFING ,SAN JOSE

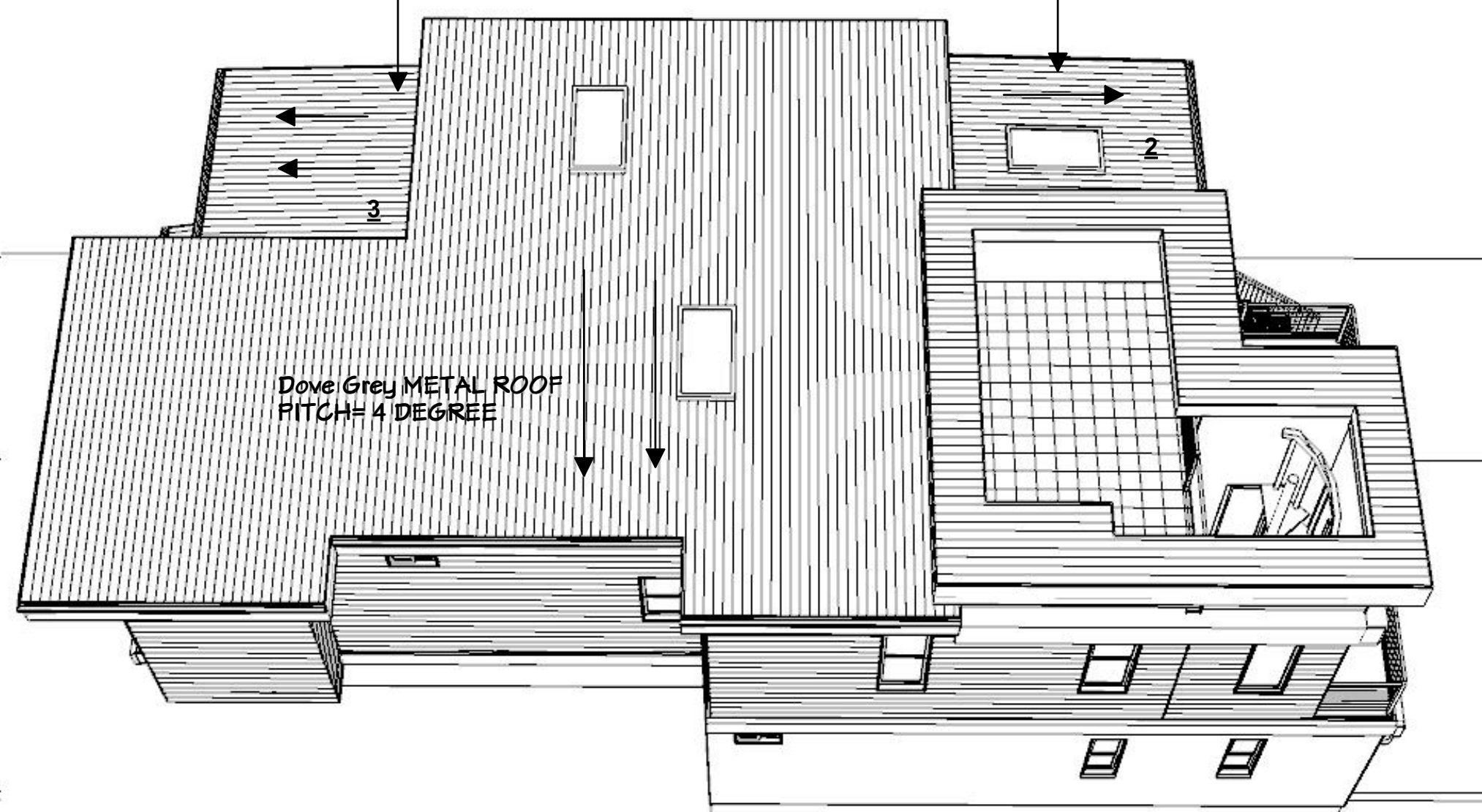
Hidden & Integrated Roof Deck (Close up)



Dove Grey METAL ROOF
PITCH= 2 DEGREE

Dove Grey METAL ROOF
PITCH= 2 DEGREE

Dove Grey METAL ROOF
PITCH= 4 DEGREE



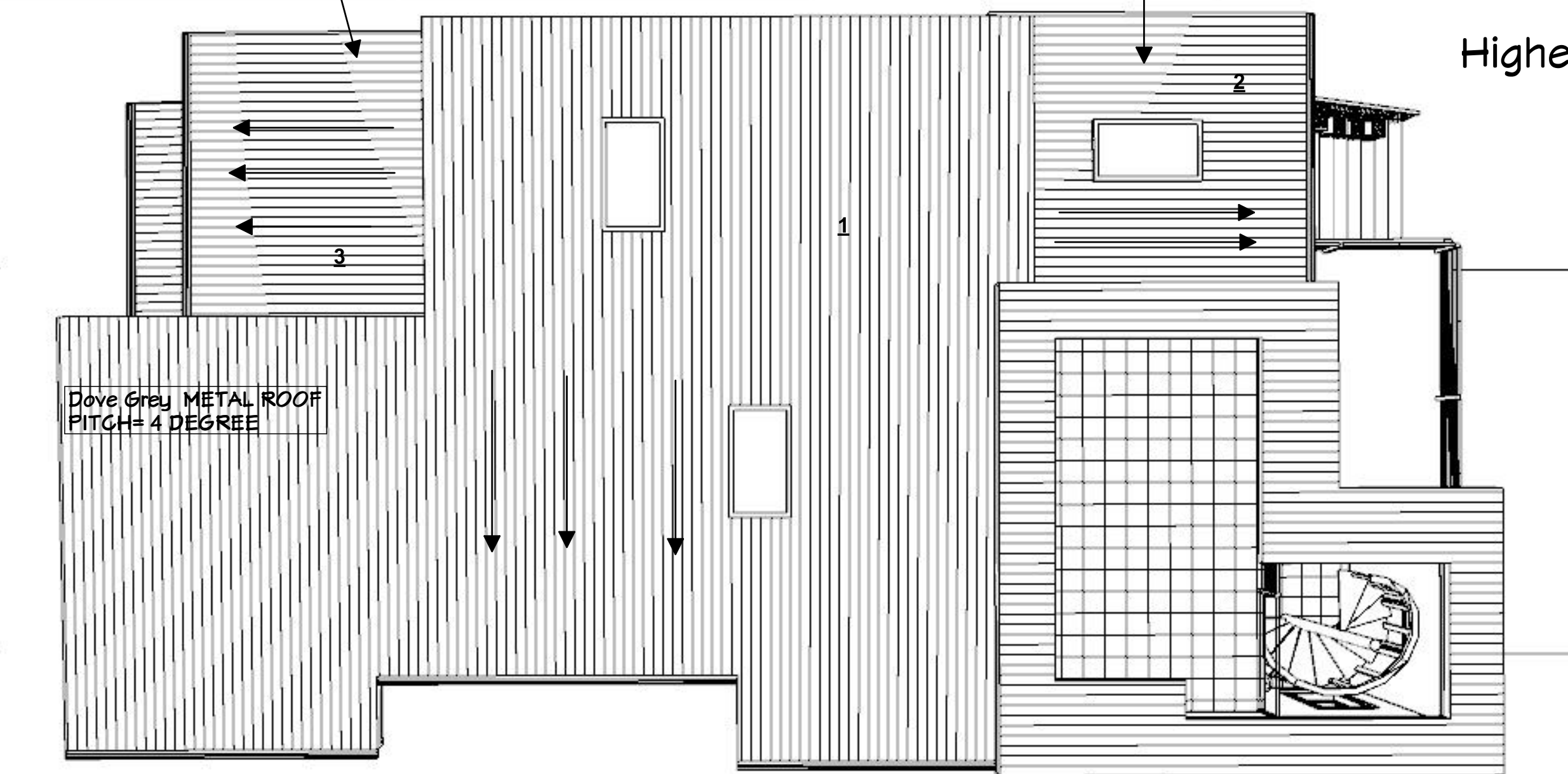
ROOF FACIA BOARD WIDTH = 18 inches (Box Soffit)

Roof Deck completely hidden , integrated into the roof design

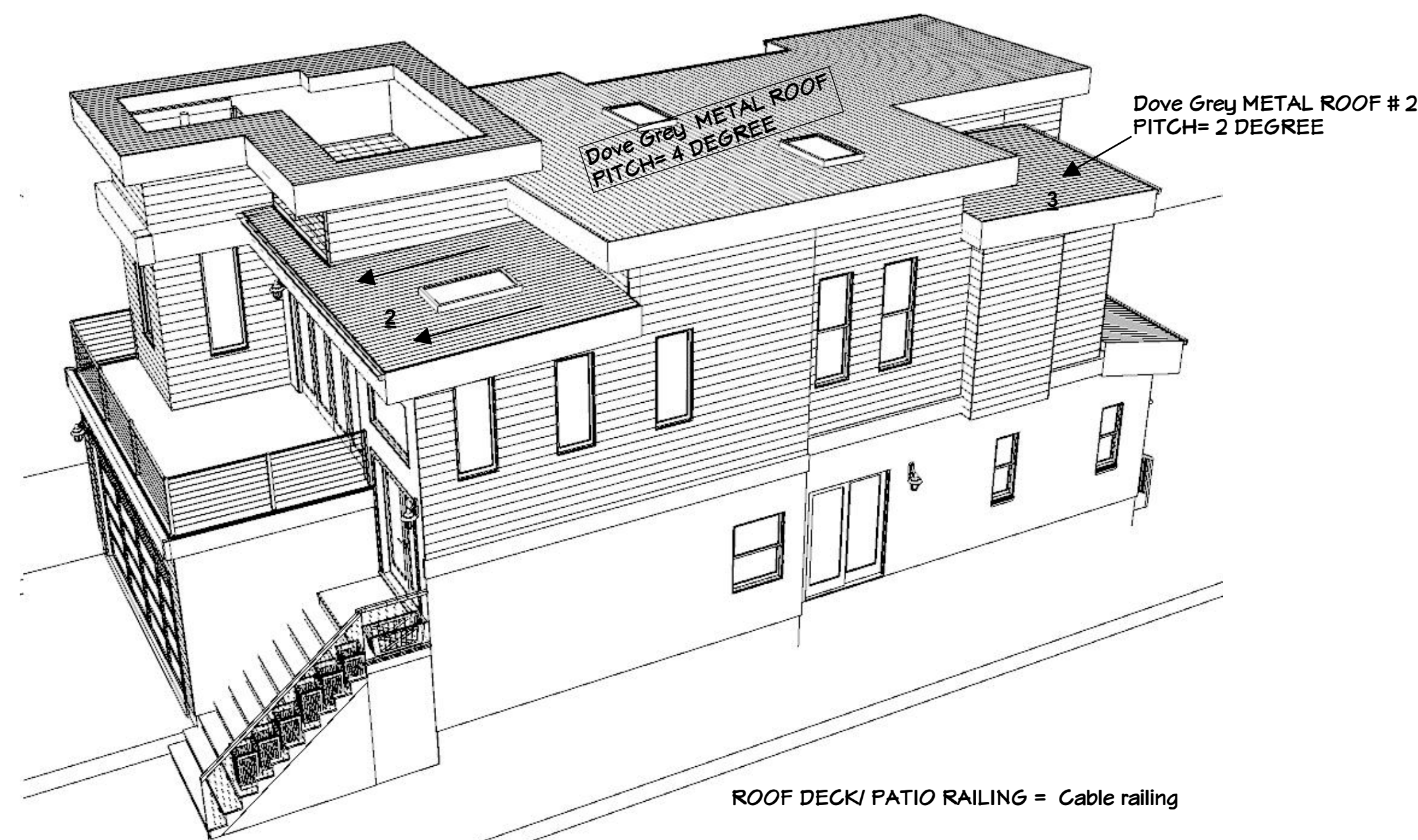
Dove Grey METAL ROOF
PITCH= 2 DEGREE

Dove Grey METAL ROOF
PITCH= 2 DEGREE

Dove Grey METAL ROOF
PITCH= 4 DEGREE



Highest Roof Ridge line 27'



3D Views are Not to Scale and May Not Reflect The Actual Conditions

ROOF and Roof Deck Plan

Owner: Zafar Irfan & Bina Mojin

LOT 9 BLOCK 8, SHORE ACRES,
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ROOF / DECK PLAN

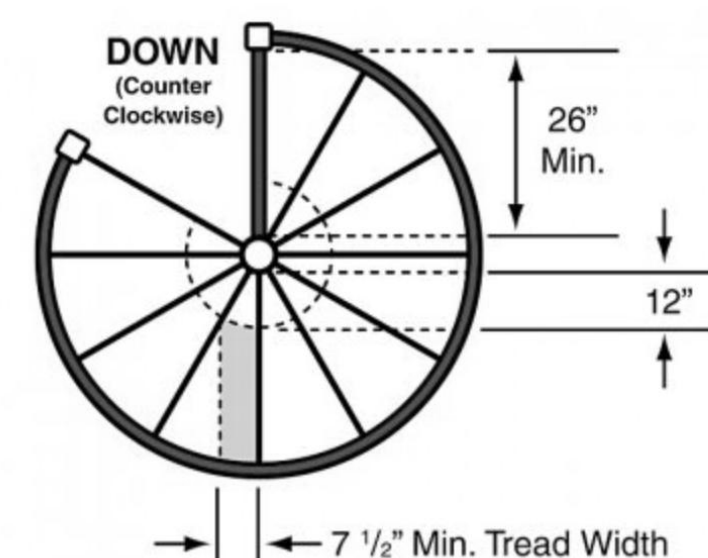
ROOF # 1 AREA = 794 SQFT

ROOF # 2 AREA = 148 SQFT

Roof # 3 Areas = 128 SQFT

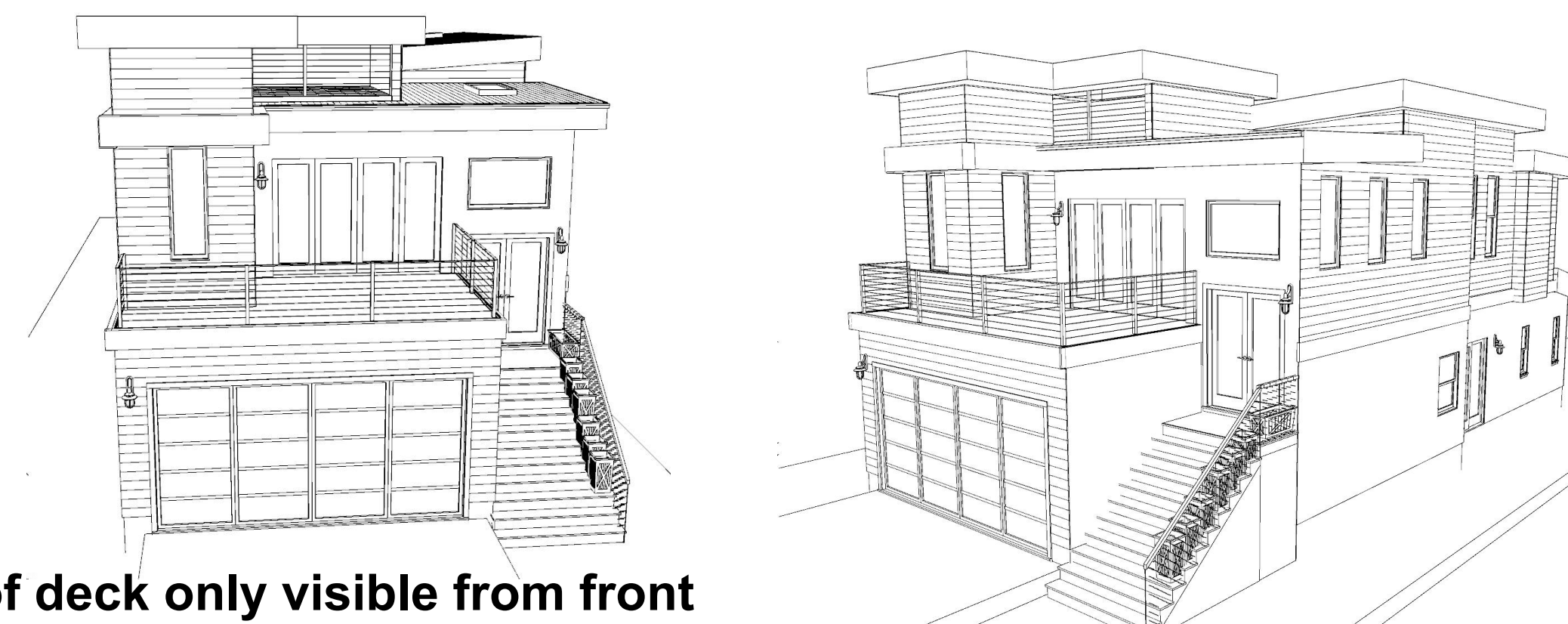
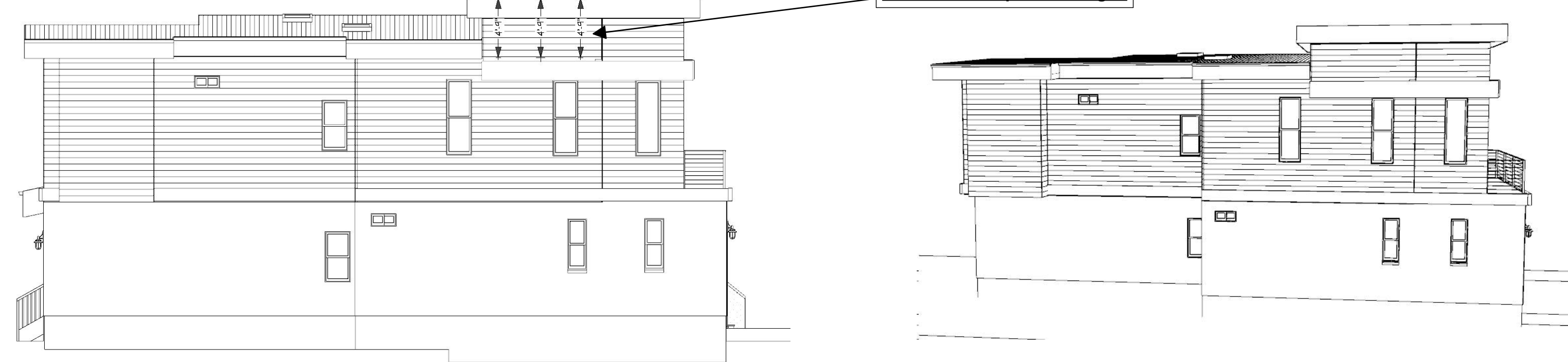
ROOF DECK AREA = 120 Sft now (Rev 3= 194 SQFT) (Rev 2 = 300 SQFT)

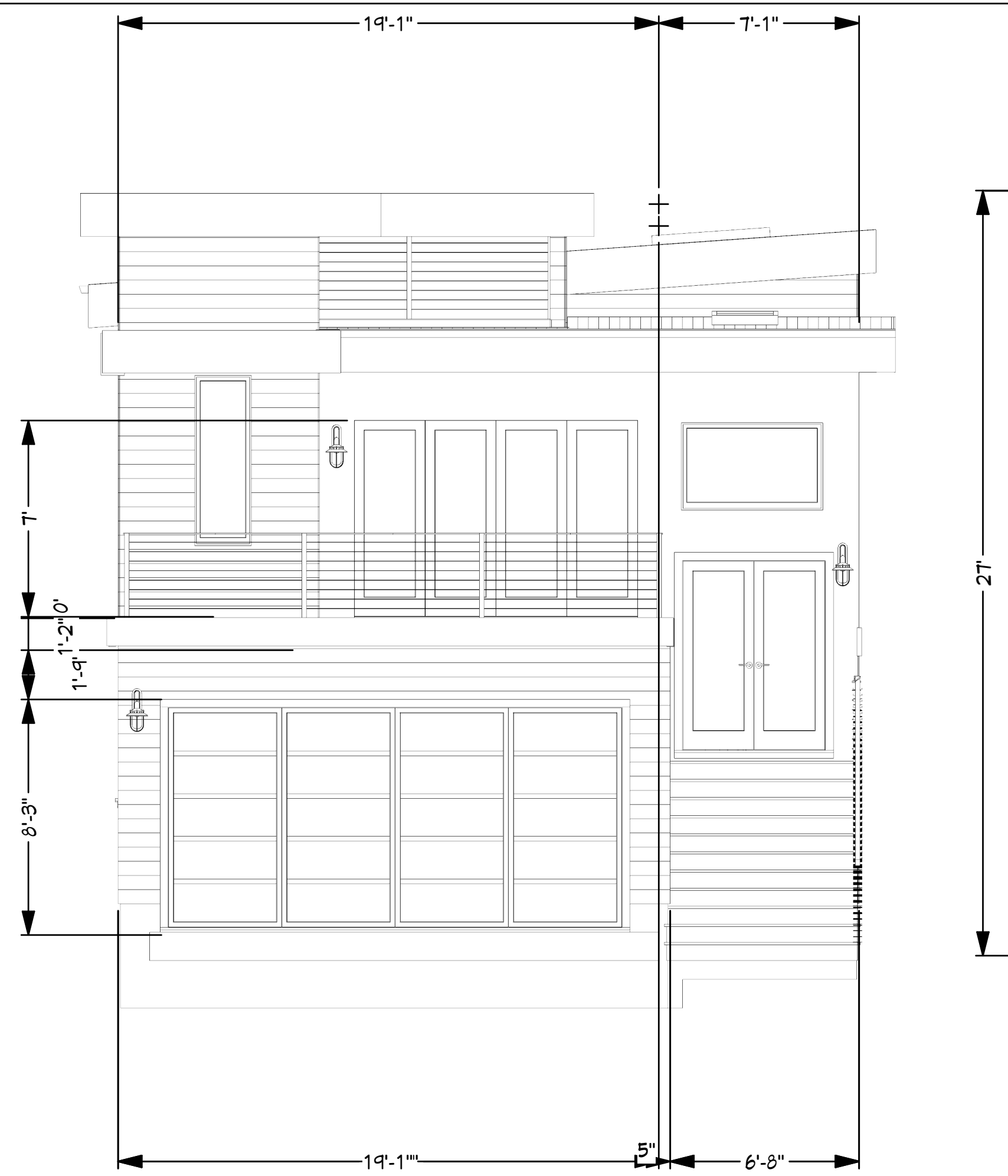
Stair Building Code Requirement



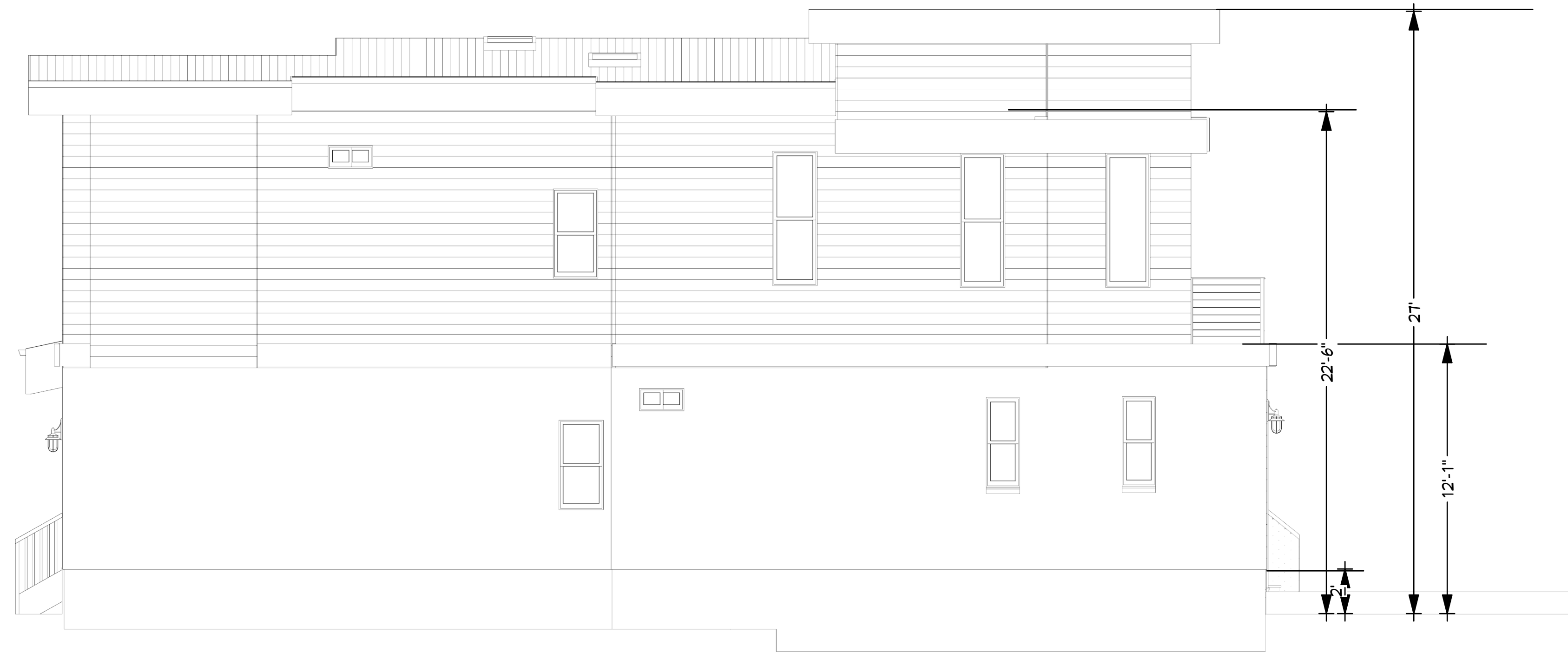
Stairs not visible from any side, roof deck only visible from front

Roof Deck Parapet wall Height

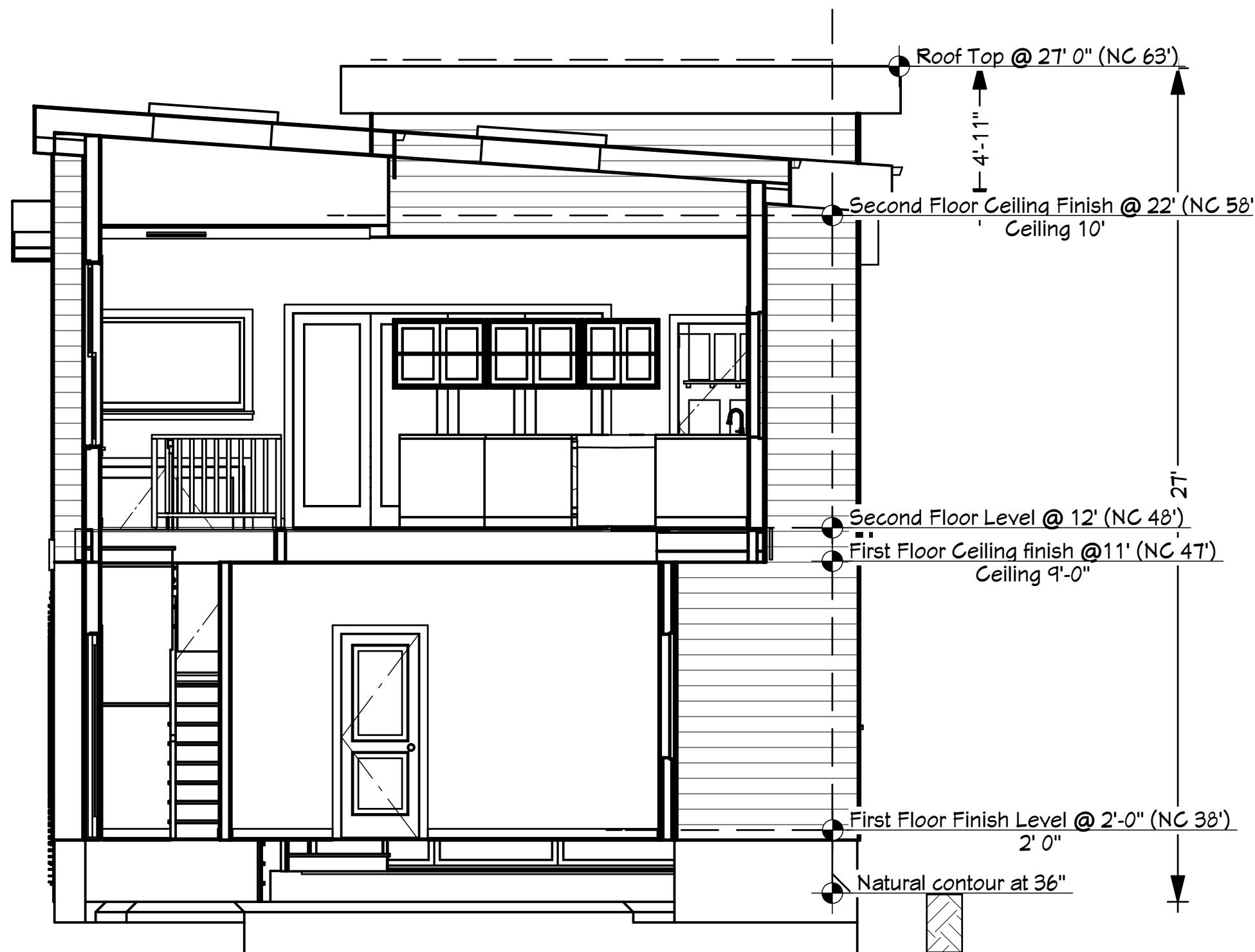




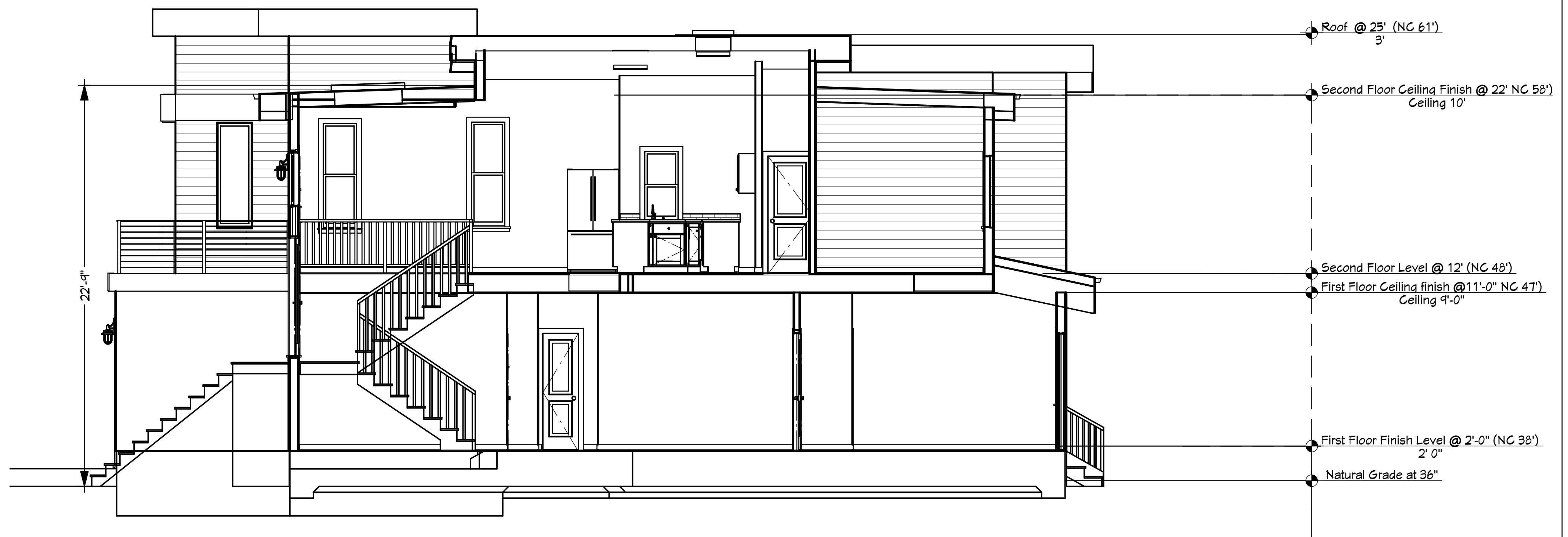
FRONT CROSS SECTION



LEFT SIDE CROSS SECTION



REAR CROSS SECTION



RIGHT SIDE CROSS SECTION

SCALE 1/4" = 1'

3D Views are Not to Scale and May Not Reflect The Actual Conditions

CROSS SECTIONAL ELEVATIONS

Owner: Zafar Irfan & Bina Mojin

LOT 9 BLOCK 8, SHORE ACRES,
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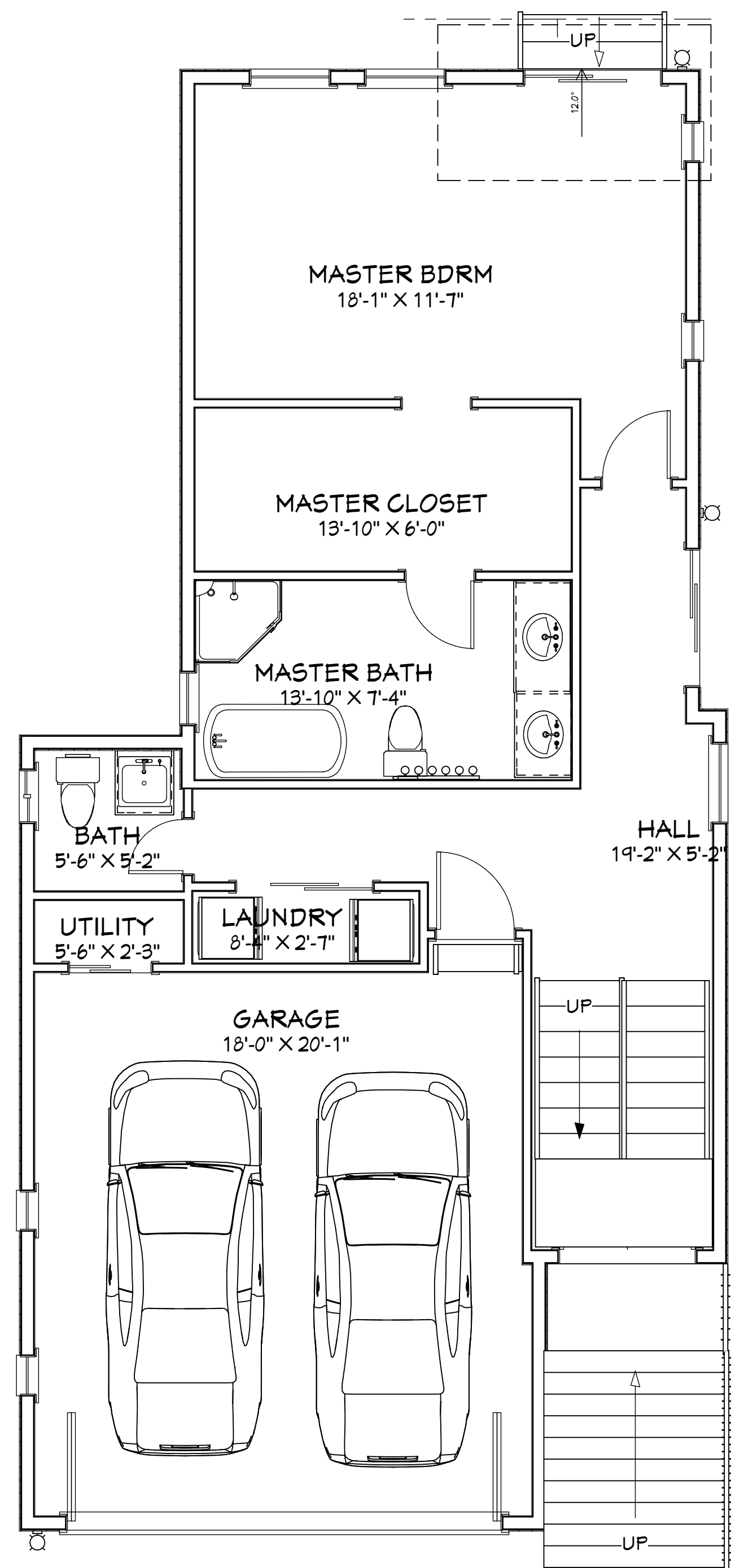
5/23/2019

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1/4" = 1'0"

SHEET:

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TOTAL LIVING SQFT= 1165 SQFT
1165 SQ FT

1st Floor

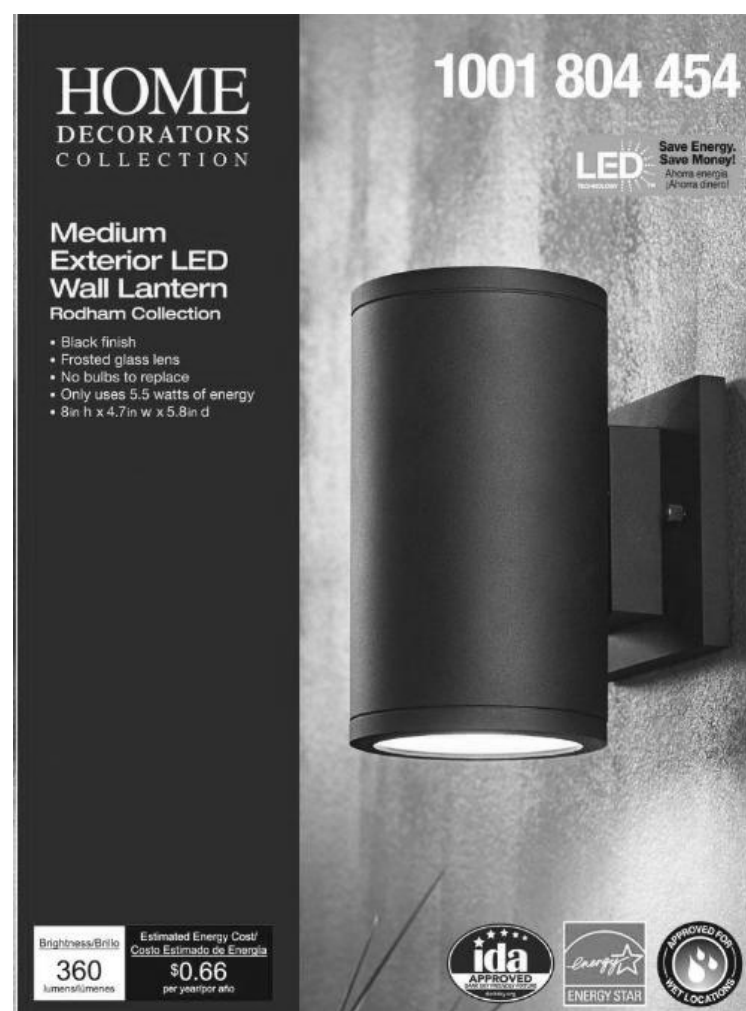
EXTERIOR LIGHTENING PLAN

DARK SKY CERTIFIED LIGHT

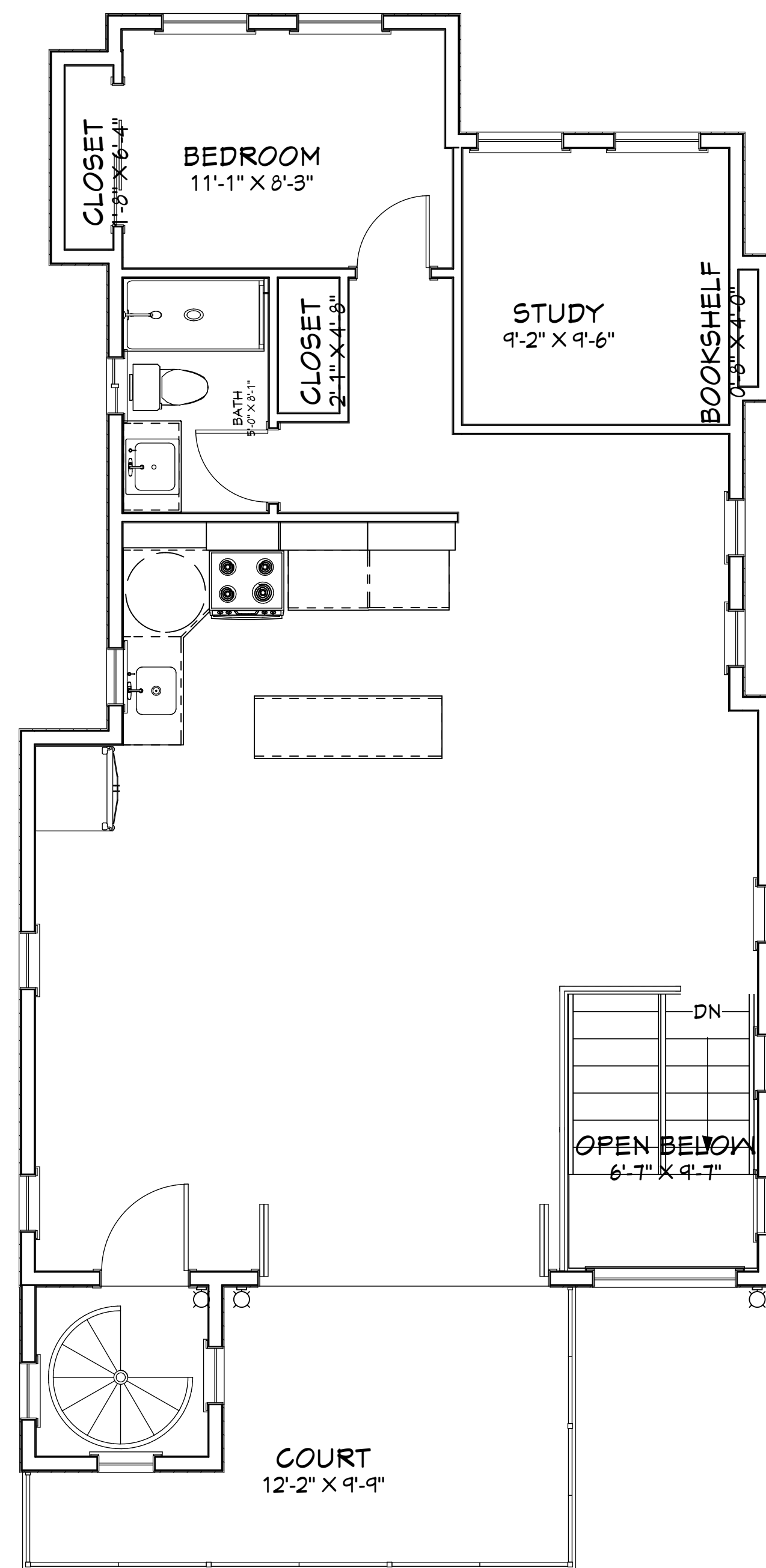


EXTERIOR WALL LIGHTS:

Model # IZC1691L-2
Black LED Outdoor Wall Lantern with Frosted Glass



LED lighting facts	
A Program of the U.S. DOE	
Light Output (Lumens)	360
Watts	5.5
Lumens per Watt (Efficacy)	65.45
Color Accuracy Color Rendering Index (CRI)	80
Light Color Correlated Color Temperature (CCT)	3000 (Bright White)
<small>All results are according to IESNA LM-79-08: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.</small>	
<small>Visit www.lightingfacts.com for the Label Reference Guide.</small>	
<small>Registration Number: SETH-HRNQHS (3/2/2016) Model Number: IZC1691L-2 Type: Luminaire - Directional</small>	



LIVING AREA
947 SQ FT

2nd Floor

Reduced Ligtening only 5 exteiror lights total

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Exterior LIGHTENING Plan

Owner: **Zafar Irfan & Bina Mojin**

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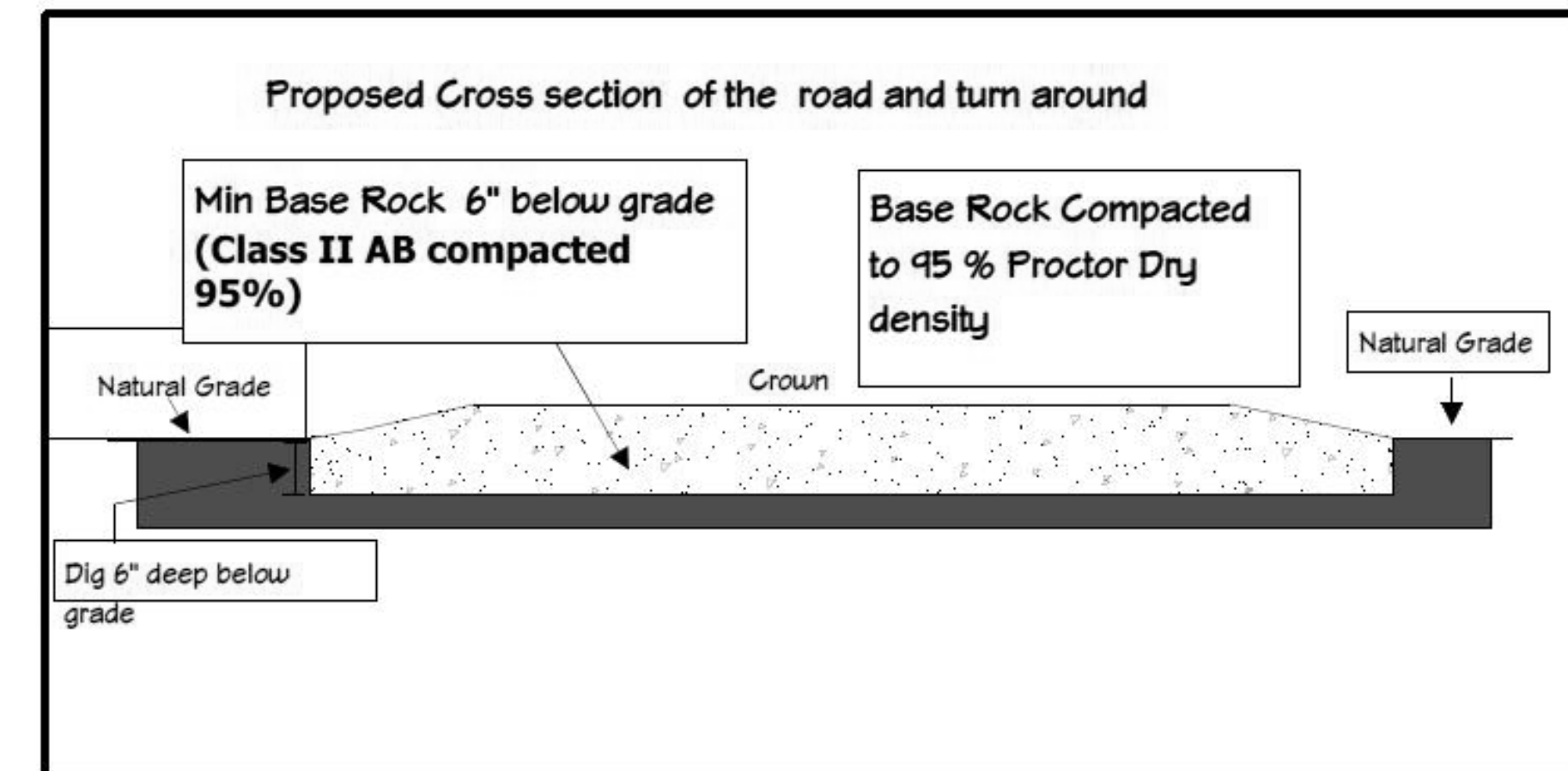
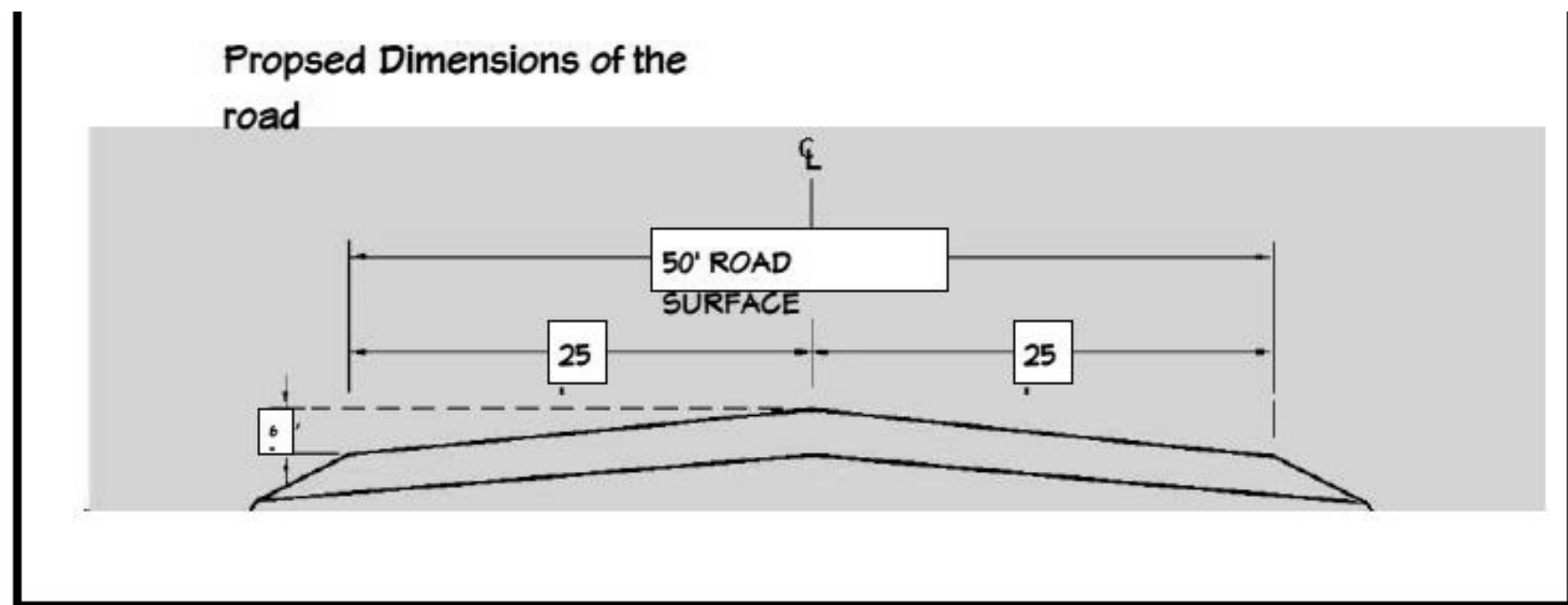
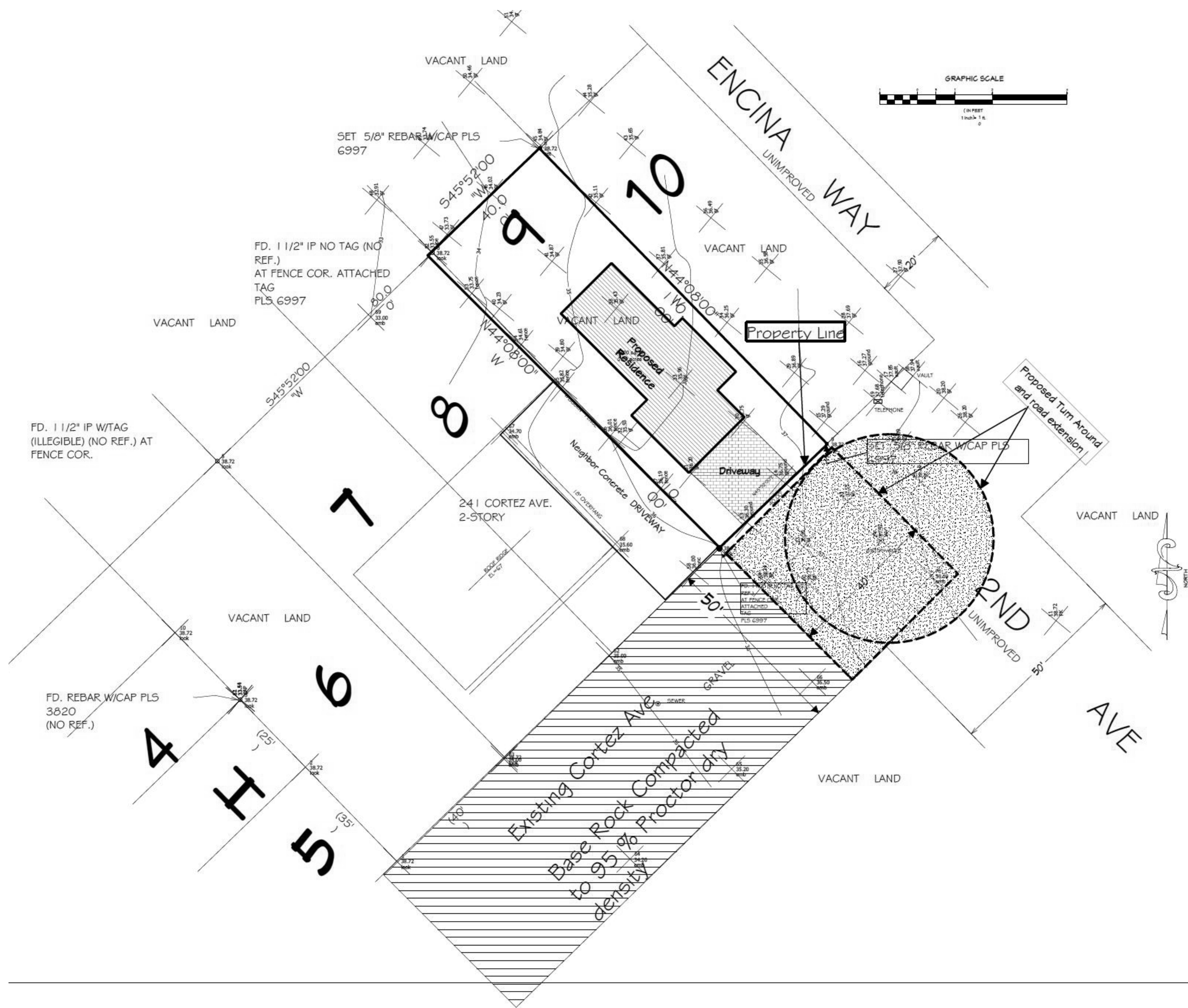
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5/23/2019

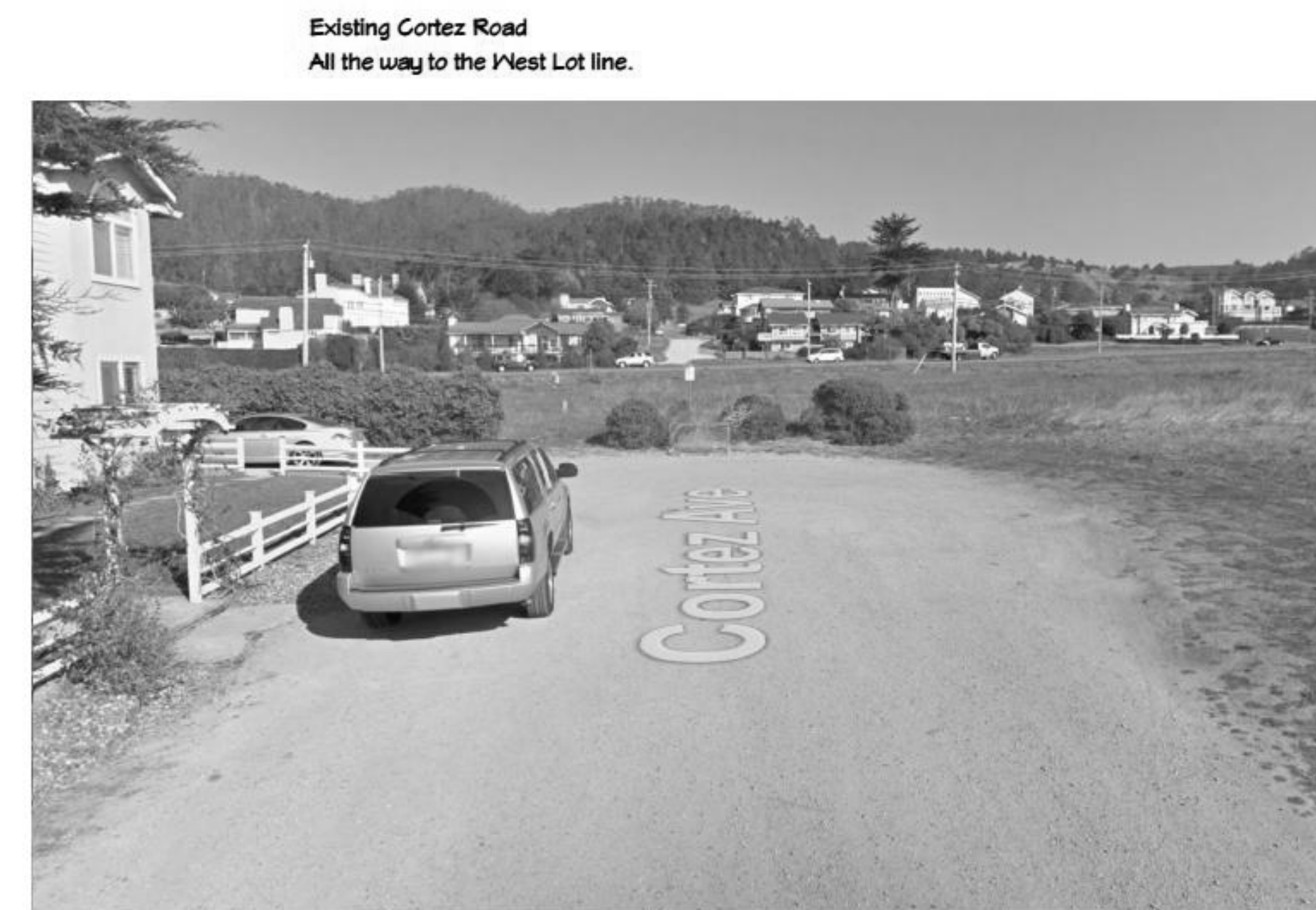
Rev 4

SHEET:

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- Notes:**
- 1) Level the road area, remove any vegetation.
 - 2) Remove 6" inch of sand from grade level.
 - 3) Use 6" Base Rock ONLY (NO GRAVEL)
 - 4) Compact Base rock to 95% Proctor Dry Density
 - 5) Make a crown on top of the road as shown on the plans



Extending Cortez Ave, 40ft and turn around for fire Truck

No tree needs to be removed.

Leveled area.

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Road Plan

Owner: Zafar Irfan & Bina Mojin

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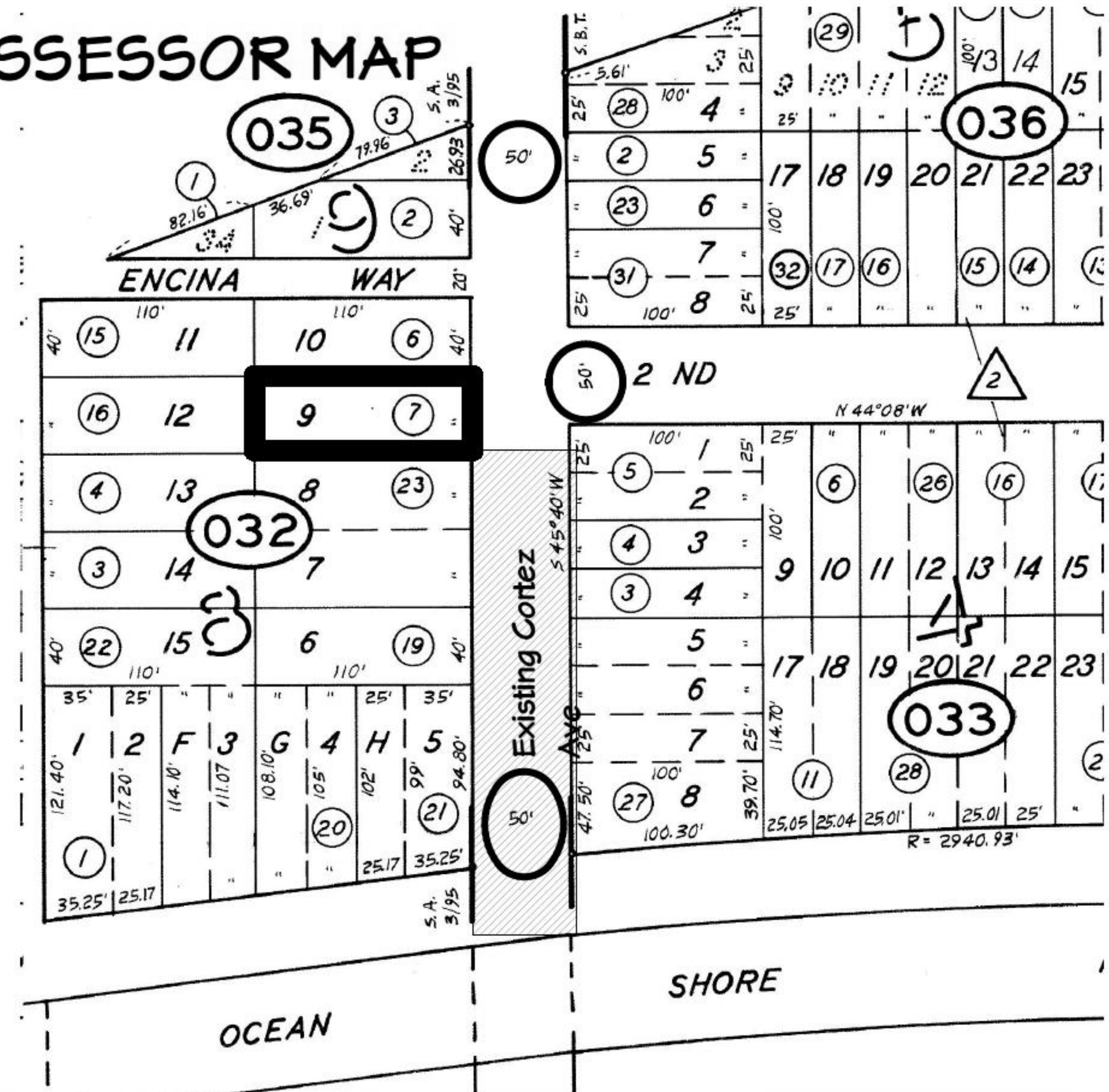
Rev 4

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SAN MATEO ASSESSOR MAP



3D Views are Not to Scale and May Not Reflect The Actual Conditions

Road Plan

Owner: Zafar Irfan & Bina Mojin

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