

GENERAL NOTES

- PRIOR TO SUBMITTING COST PROPOSAL, THE CONTRACTOR/OWNER SHALL VERIFY EXISTING CONDITIONS ON SITE & REVIEW MODIFICATIONS AND DIMENSIONS REQUIRED TO SUIT THE CONTRACT DOCUMENTS.
- CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS CALLED FOR ON ANY DOCUMENT WILL BE BINDING AS IF CALLED FOR ON ALL DOCUMENTS. ALL WORK SHOWN OR REFERENCED ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DOCUMENTS.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATION OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR/OWNER IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONTRACTOR INVOLVED.
- ALL WORK SHALL MEET FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING FINISHED AREAS IN OR OUTSIDE OF THE JOB SITE. THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE WITHOUT PERMISSION FROM BUILDING OWNER.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- THE CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR OCCUPANCY AT THE END OF THE PROJECT.
- THE CONTRACTOR/OWNER SHALL SUBMIT TO THE OWNER FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING AND TIME ALLOTMENT OF WORK.
- THE CONTRACTOR/OWNER, OR SUBCONTRACTORS, SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES AND COORDINATE THE WORK ACCORDINGLY.
- CONSTRUCTION LIABILITY: CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR ACCURATE LOCATION OF PLOT LINES, BOUNDARIES, AND FOR MAINTAINING PROPER RELATIONSHIPS TO SUCH AS INDICATED ON CIVIL DRAWINGS IF APPLICABLE.
- THE CONTRACTOR/OWNER SHALL PROVIDE POSITIVE DRAINAGE OF SURFACE WATER WITHOUT PONDING OF WATER ADJACENT TO BUILDING OR ON PAVEMENTS. DRAINAGE OF PAVED AREAS TO BE AS SHOWN ON CIVIL ENGINEER'S DRAWINGS.
- ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- ALL VENTS THROUGH ROOF SHALL BE KEPT AT A MINIMUM HEIGHT CONSISTENT WITH APPLICABLE CODES.
- ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS ARE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS AS WELL AS EQUIPMENT SIZES ARE TO BE REVIEWED BY THE DESIGNER AND OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING LOCATIONS SHOWN ON DESIGNERS PLANS ARE FOR DESIGN INTENT ONLY. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK ARE TO BE PROVIDED AS PART OF THIS PACKAGE PER THE LOCAL JURISDICTION.
- PLUMBING AND EQUIPMENT VENTING: WHERE FEASIBLE, VENT ALL PLUMBING FIXTURES, EXHAUST VENTS, FURNACE, AND WATER HEATER TO ROOF. VERIFY ALL LOCATIONS OF VENTS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL BATH, TOILET, AND LAUNDRY ROOM WALLS THAT WILL BE PAINTED.
- CONTRACTOR/OWNER TO COORDINATE WITH OWNER FOR OWNER-PROVIDED MATERIALS AND PRODUCTS.
- ANY AND ALL MATERIALS SUPPLIED BY OWNER SHALL BE INSTALLED BY CONTRACTOR/OWNER (I.B.C.), UNLESS OTHERWISE NOTED. CONTRACTOR/OWNER SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING AND ORDERING INFORMATION. CONTRACTOR/OWNER SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.
- ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE TO PROPER BONDING OF THE PAINT. PREP EACH SUBSTRATE AS RECOMMENDED BY MANUFACTURER. THOROUGHLY CLEAN ALL SURFACES. REMOVE ANY PAINT WHERE BONDING FAILURE IS EVIDENT AND ROUGHEN SURFACES AS REQUIRED FOR ADHESION OF NEW PAINT.
- ALL WOOD SHALL BE PAINTED AS FOLLOWS: EXTERIOR - THREE COAT (STAIN AND SEAL WHERE INDICATED); INTERIOR: TWO COAT (STAIN AND SEAL WHERE INDICATED)
- COLORS WILL BE PROVIDED AND SELECTED BY OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL-COAT FINISH SAMPLES ON SURFACE WITH A MINIMUM SIZE OF 25 S.F. FOR APPROVAL BY OWNER.
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION. CMC 303.1.
- ROOFING ASSEMBLIES
 - ROOFING ASSEMBLIES SHALL BE DESIGNED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS BETWEEN THE ROOF COVERING AND THE ROOF DECKING.
 - ROOF VALLEY FLASHING SHALL BE MADE OF NOT LESS THAN 26-GAUGE GALVANIZED SHEET METAL INSTALLED OVER A MINIMUM 36" WIDE UNDER-LAYMENT OF ONE LAYER OF 72" CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.

BUILDING INFORMATION

APPLICABLE CODES	
RESIDENTIAL CODE	CRC, 2016
BUILDING CODE	CBC, 2016
MECHANICAL CODE	CMC, 2016
PLUMBING CODE	CPC, 2016
ELECTRICAL CODE	CEC, 2016
FIRE CODE	CFC, 2016
STATE AMENDMENTS	CBC 2016
CALIFORNIA GREEN BUILDING CODE	2016
CA TITLE 24 BUILDING CODES	2016
ENERGY CODE	CEC 2016

BUILDING PLANNING

ZONE	R1-S-17
OCCUPANCY	R3 (RESIDENTIAL) / U (GARAGE)
REQ'D FIRE SEPARATION	NONE
CONSTRUCTION TYPE	V, B
SPRINKLERED	YES
FRONT SETBACK	20'-0"
REAR SETBACK	20'-0"
SIDE SETBACK	8'-0"
SIDE SETBACK	7'-0"
WILDLAND URBAN INTERFACE	NO
FLOOD ZONE	NO

DEFERRED SUBMITTALS

- RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM PER NFPA 13D REQUIREMENTS, FOR RESIDENCE AND ITS ATTACHED GARAGE WILL BE UNDER A SEPARATE PERMIT APPLICATION TO BE SUBMITTED TO THE COUNTY FOR FIRE PLAN REVIEW.

BUILDING INFORMATION

PROJECT NAME	NEW RESIDENCE
PROJECT ADDRESS	900 THE ALAMEDA
APN NUMBER	047282160
PROPOSED USE	PRIVATE RESIDENCE

GEOTECHNICAL REQUIREMENTS

- THE GEOTECHNICAL REPORT, NAMED "STEADMAN PROPERTY APN 047-282-140", DATED MAY 2020 BY SIGMA PRIME GEOSCIENCES SHALL BE RETAINED ON THE CONSTRUCTION SITE.
- THE GEOTECHNICAL ENGINEER OF RECORD IS CHARLES M. KISSICK WITH THE CONTACT NUMBER 650-728-3590 AND THE EMAIL ADDRESS SIGMAPRM@GMAIL.COM. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK.
- THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.

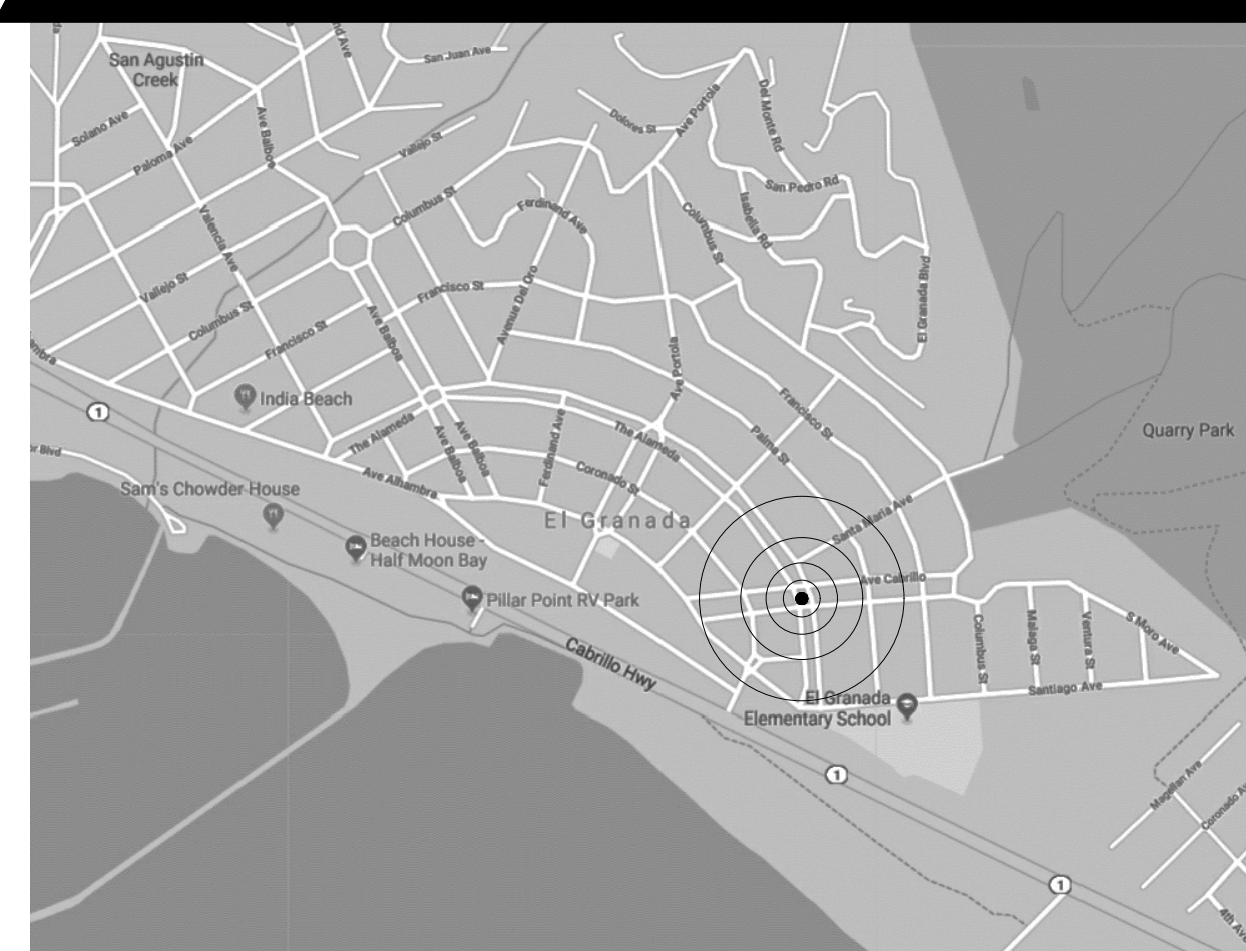
CALGREEN REQUIREMENTS

- SECTION 4.406.1 - PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
- SECTION 4.504.2.1 - ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS
- SECTION 4.504.2.2 - PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS
- SECTION 4.504.5 - PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- SECTION 4.505.3 - CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE

PROJECT DESCRIPTION

- NEW 2-STORY CUSTOM HOME TOTAL 2,650 SQFT. WITH ATTACHED GARAGE

VICINITY MAP



SHEET INDEX

ARCHITECTURAL

A0.0	GENERAL NOTES / SHEET INDEX / SYMBOL LEGEND / CONTACT INFO
A1.0	SITE PLAN
A1.1	LANDSCAPE PLAN
A2.0	FIRST FLOOR PLAN
A2.1	SECOND FLOOR PLAN
A2.2	FIRST FLOOR REFLECTED CEILING PLAN
A2.3	SECOND FLOOR REFLECTED CEILING PLAN
A2.4	FIRST FLOOR ELECTRICAL PLAN
A2.5	SECOND FLOOR ELECTRICAL PLAN
A3.0	ROOF PLAN
A3.1	WINDOW AND DOOR SCHEDULE
A5.0	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A6.0	MISC. DETAILS
A6.1	RENDERING & MATERIALS

TOPOGRAPHIC SURVEY

TS-1	TOPOGRAPHIC SURVEY
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BEST MANAGEMENT PRACTICES

BMP-1	BEST MANAGEMENT PRACTICES
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CIVIL ENGINEER

C1	GRADING AND DRAINAGE
C2	EROSION CONTROL PLAN

STRUCTURAL

S1	FOUNDATION & FIRST FLOOR FRAMING
S2	2ND FLOOR FRAMING
S3	FIRST FRAMING PLAN
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
WSW1	SIMPSON STRONG WALL
WSW2	SIMPSON STRONG WALL
WSW4	SIMPSON STRONG WALL

CALGREEN

CG-1	CALGREEN MANDATORY MEASURES
CG-2	CALGREEN MANDATORY MEASURES

TITLE 24

T24-1	TITLE 24 ENERGY CALCULATIONS
T24-2	TITLE 24 ENERGY CALCULATIONS

CONTACT LIST

OWNER	JOHN STEADMAN EL GRANADA, CA 94019 [CONTACT] JOHN STEADMAN 650.743.2275
DESIGNER DESIGN EVEREST STRUCTURAL DESIGN	425 1ST ST #4904 SAN FRANCISCO, CA, 94105 [T] 650.793.4151 [CONTACT] JOSH KRUMM
STRUCTURAL ENGINEER VELLEND ENGINEERING	1690 WOODSIDE ROAD REDWOOD CITY, CA, 94061 [T] 650.556.1137 [CONTACT] HARRY VELLENO
CIVIL ENGINEER GEOTECHNICAL ENGINEER SIGMA PRIME GEOSCIENCES	332 PRINCETON AVENUE HALF MOON BAY, CA, 94019 [T] 650.728.3590 [CONTACT] INFO@SIGMAPRIME.NET
TITLE 24 BAY AREA ENERGY COMPLIANCE	7408 POTRERO AVE. EL CERRITO, CA, 94530 [T] 510.932.5858 [CONTACT] FRNK.CUTHBERT [E] TITLE24ANDGREENPOINT@GMAIL.COM

SYMBOL LEGEND

KEY NOTE	
ELEVATION TAG	
SECTION TAG	
RENDERING/PHOTO TAGS	
DETAIL TAG	
DOOR TAG	
WINDOW TAG	

DESIGN EVEREST

CONSULTING ENGINEERS



365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

COVER SHEET, INDEX, GENERAL NOTES

NEW RESIDENCE

APN # 047282160
EL GRANADA, CA 94019

DESCRIPTION

RESPONSE TO CITY COMMENTS

DATE

06/18/2020

REV

1

2

3

4

5

SIGN DATE: 01-18-2019

DATE: AS NOTED

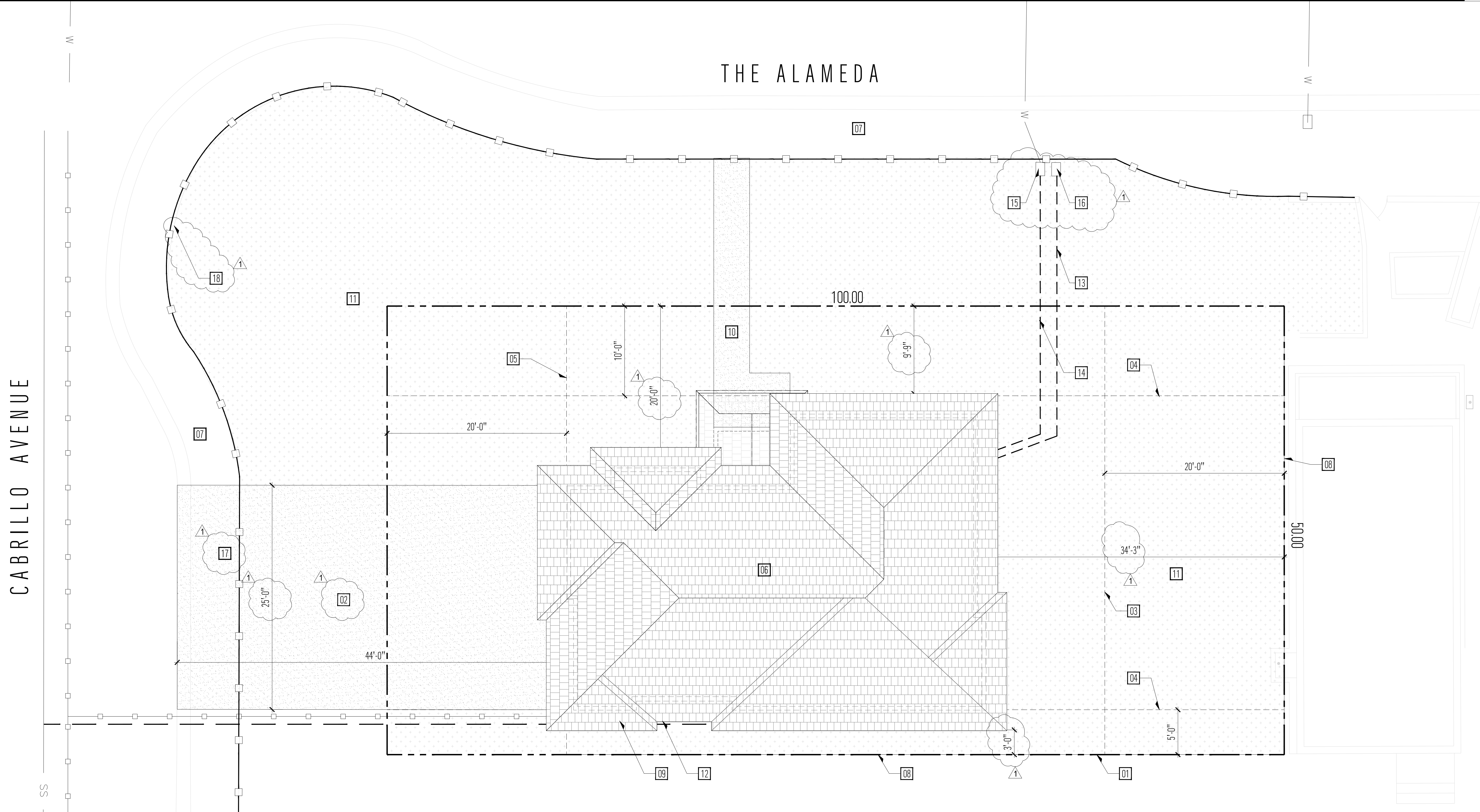
SCALE: AS NOTED

DRAWN BY: JM

CKD BY: AP

PROJECT # 201908086

A0.0



SITE INFORMATION / CALCULATIONS

FIRST FLOOR LIVING (INCLUDING STAIRS)	859 SQ. FT.
SECOND FLOOR LIVING	1,269 SQ. FT.
GARAGE	497 SQ. FT.
COVERED PORCH	25 SQ. FT.
TOTAL LIVING	2,128 SQ. FT.
TOTAL (INCLUDING GARAGE & PORCH)	2,650 SQ. FT.
MAXIMUM FLOOR AREA RATIO	5,000 x .53 = 2,650 SQFT=53%
PROPOSED FLOOR AREA RATIO	2,650 / 5,000 = 53%
MAXIMUM LOT COVERAGE	5,000 x .35 = 1,750 SQFT=35%
PROPOSED LOT COVERAGE	1,381 / 5,000 = 28%
SIDE SETBACK CALCULATION	
SIDE SETBACK DETERMINATION	15'-0" TOTAL

SYMBOL LEGEND

PROPERTY LINE	100.00
NEW CONCRETE PAVING	[Pattern]
NEW LANDSCAPING	[Pattern]
SETBACK LINE	---
NEW GAS LINE	—□—
NEW SANITARY SEWER LINE	—■—
EXISTING FENCE TO BE REMOVED	—□—

SITE PLAN GENERAL NOTES

- ANY CONSTRUCTION WITHIN THE CITY'S PUBLIC ROAD RIGHT-OF-WAY SHALL HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. CONSTRUCTION PHASING SHALL BE COORDINATE TO KEEP MATERIALS AND EQUIPMENT ONSITE.
- THE CONTRACTOR MAY BE REQUIRED TO SUBMIT A LOGISTICS PLAN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK THAT ADDRESSES ALL IMPACTS TO THE CITY'S RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO: PEDESTRIAN CONTROL, TRAFFIC CONTROL, TRUCK ROUTES, MATERIAL DELIVERIES, CONTRACTOR'S PARKING, CONCRETE POURS, CRANE LIFTS, WORK HOURS, NOISE CONTROL, DUST CONTROL, STORM WATER POLLUTION PREVENTION, CONTRACTOR'S CONTACT, NOTICING OF AFFECTED SURROUNDING PROPERTIES, AND SCHEDULE OF WORK. THE REQUIREMENT TO SUBMIT A LOGISTICS PLAN WILL BE DEPENDENT ON THE NUMBER OF APPLICATIONS PUBLIC WORKS ENGINEERING RECEIVES WITHIN CLOSE PROXIMITY TO HELP MITIGATE AND CONTROL THE IMPACT TO THE PUBLIC-RIGHT-OF-WAY. IF NECESSARY, PUBLIC WORKS MAY REQUIRE A LOGISTICS PLAN DURING CONSTRUCTION.

SITE PLAN KEYNOTES

- 01 PROPERTY LINE
- 02 NEW CONCRETE DRIVEWAY
- 03 REAR SETBACK
- 04 SIDE SETBACK
- 05 FRONT SETBACK
- 06 NEW ROOF AREA
- 07 EXISTING SIDEWALK
- 08 NEW 6'-0" FENCE
- 09 NEW GAS METER LOCATION
- 10 NEW CONCRETE PATIO & WALKWAY

- 11 NEW LANDSCAPE AREAS
- 12 NEW 200 AMP ELEC. PANEL
- 13 NEW 1 1/2" WATER LINE FOR FIRE SPRINKLERS
- 14 NEW 1" WATER LINE
- 15 NEW 5/8" WATER METER
- 16 NEW 1" WATER METER
- 17 PROVIDE NEW CURB AND DRIVEWAY PER COUNTY DETAIL D-1
- 18 REMOVE EXISTING FENCE

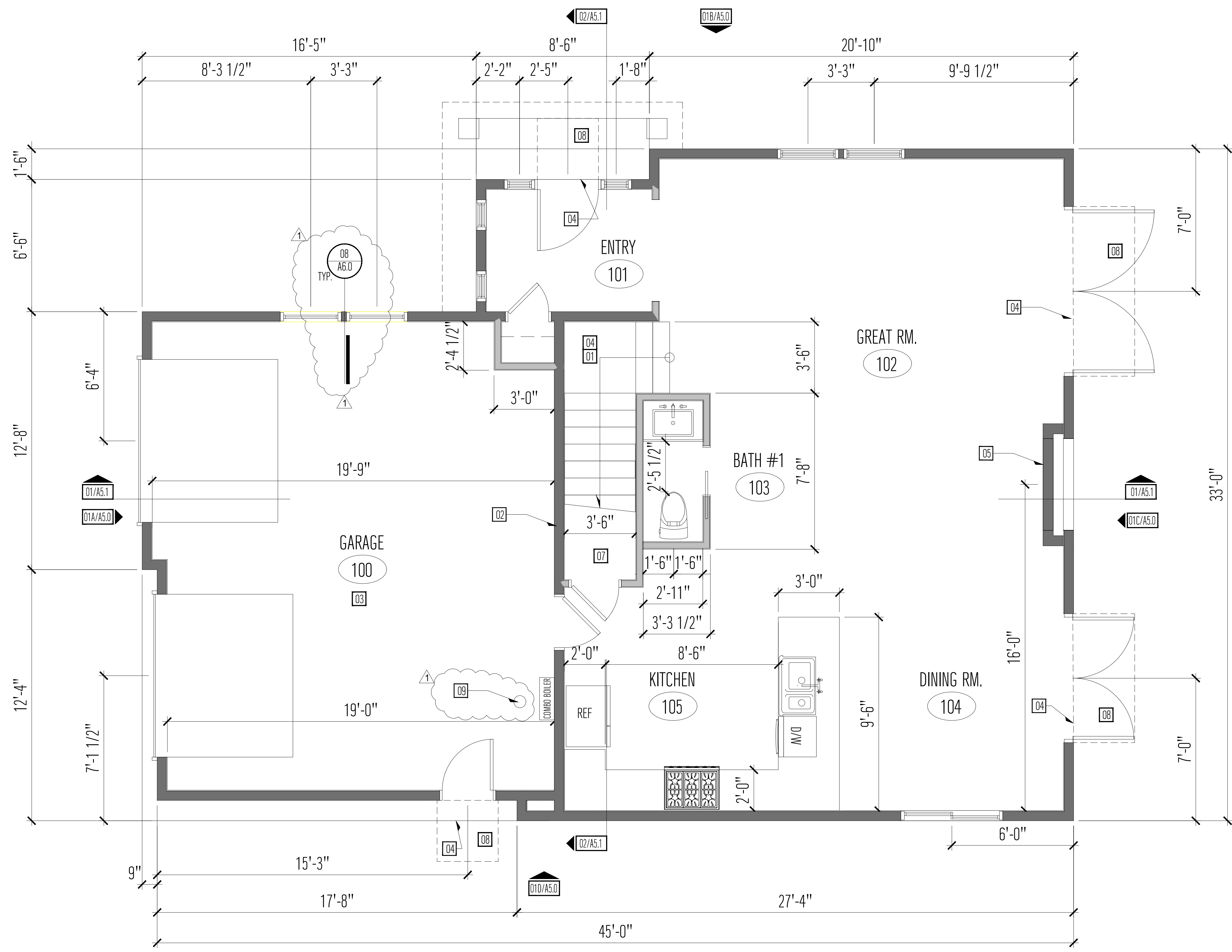
DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

SITE PLAN
NEW RESIDENCE
APN # 047282160
EL GRANADA, CA 94019

REV	DATE	DESCRIPTION
1	06/18/2020	RESPONSE TO CITY COMMENTS
2		
3		
4		
5		

SIGN DATE: 12-02-2019
DATE: AS NOTED
SCALE: AS NOTED
DRAWN BY: JM
CKD BY: AP
PROJECT # 201908086

A1.0



FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE GIVEN TO FACE OF STUD. U.O.N.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- SEE SHEET A2.2 FOR LIGHTING & SWITCH LOCATIONS AND INFORMATION.
- ALL DOORS TO MAINTAIN A 4" JAMB CLOSES TO THE HINGE SIDE U.O.N.
- FOR ALL DOOR AND WINDOW INFORMATION SEE DOOR AND WINDOW SCHEDULE ON SHEET A2.3
- ALL DIMENSIONS FOR WINDOWS AND DOORS ARE TO THE CENTERLINE
- TANKLESS WATER HEATER TO BE GAS TYPE CONDENSING TANKLESS WATER HEATER INSTALLED AND VENTED PER MANUFACTURER'S SPECIFICATIONS. T&P VALVE DRAIN LINE FOR WATER HEATER TO DISCHARGE TO THE EXTERIOR PER CPC 608.5

FLOOR PLAN KEYNOTES

- 01 NEW STAIR, RISER (7.75" MAXIMUM), RUN (10" MINIMUM) AND WIDTH PER CRC R 311.7.4
- 02 APPLY 5/8" TYPE 'X' GYP. BD. TO THE INTERIOR SIDE OF GARAGE WALL & CEILING. THE GYPSUM BOARD ON THE GARAGE SIDE ADJACENT TO THE LIVING SPACE SHALL EXTEND UP TO ROOF SHEATHING PER CRC R302.6. SEE DETAIL 10/A6.0
- 03 SLOPE GARAGE FLOOR MAX 2% TOWARDS GARAGE DOOR OPENING PER CRC R309.1
- 04 PROVIDE MINIMUM 36" DEEP LANDING AT ALL EXTERIOR DOORS PER CRC R311.3. LANDING TO BE NOT MORE THAN 7.75" LOWER THAN DOOR THRESHOLD PER CRC R311.3.1. SEE DETAIL 07/A6.0
- 05 2-SIDED GAS FIRE PLACE, DIRECTLY VENTED TO THE EXTERIOR, TWILIGHT-II-MDC, ANSI Z21.50-2016 - CSA2.2-2016. FIREPLACE IS TESTED IN ACCORDANCE WITH UL 127, PER CRC
- 06 NOT USED
- 07 APPLY 1/2" GYPSUM BOARD ON ALL WALLS AND CEILING OF CLOSET UNDER STAIR
- 08 EXTERIOR LANDING TO BE SLOPED NO MORE THAN 2% IN ANY DIRECTION
- 09 NEW CONCRETE BOLLARD, (INPPA54-9.1.10.2) PER 2016 CPC 507.13.1.
- 10 NORITZ MODEL NRCB1800V (GHQ-C2801WX-FF US) RESIDENTIAL CONDENSING GAS COMBINATION BOILER

WATER CONSERVATION REQUIREMENTS CBGSC 2016

4.303.1.1 WATER CLOSETS: THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR TANK-TYPE TOILETS.

4.303.1.3 SHOWERHEADS: SINGLE SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GPM AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.

4.303.1.1 FAUCETS: RESIDENTIAL LAVATORY FAUCETS: THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 80 PSI. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

4.303.1.4.4 KITCHEN FAUCETS: LESS THAN OR EQUAL TO 1.8 GPM @60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.

* ALL EXISTING AND NEW FIXTURES TO COMPLY WITH THE REQUIRED FLOW RATES PER THE CALIFORNIA GREEN BUILDING STANDARDS CODE 2016.

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	DENOTES NEW WALL

DESIGN EVEREST
CONSULTING ENGINEERS

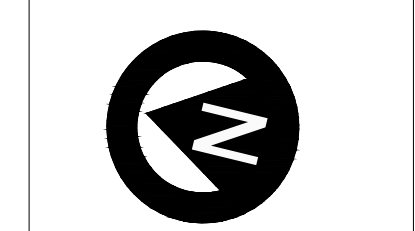
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

FIRST FLOOR PLAN

NEW RESIDENCE

APN # 047282160
EL GRANADA, CA 94019

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1	06/18/2020	RESPONSE TO CITY COMMENTS
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CKD BY: AP
PROJECT #: 201908086

A2.0

1. ALL DIMENSIONS ARE GIVEN TO FACE OF STUD. U.O.N.
2. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
3. SEE SHEET A2.2 FOR LIGHTING & SWITCH LOCATIONS AND INFORMATION.
4. ALL DOORS TO MAINTAIN A 4" JAMB CLOSES TO THE HINGE SIDE U.O.N.
5. FOR ALL DOOR AND WINDOW INFORMATION SEE DOOR AND WINDOW SCHEDULE ON SHEET A2.3
6. ALL DIMENSIONS FOR WINDOWS AND DOORS ARE TO THE CENTERLINE

FLOOR PLAN KEYNOTES

- 01 INSTALL NEW AUTOMATIC WASHER STANDPIPE. REQUIRED PER CPC TABLE 411.1. INSTALL PER CPC 804.1. NO STANDPIPE FOR A CLOTHES WASHER SHALL EXTEND MORE THAN 30", OR NOT LESS THAN 18" ABOVE ITS TRAP. NO TRAP FOR A CLOTHES WASHER STANDPIPE RECEPTOR SHALL BE INSTALLED BELOW FLOOR, BUT SHALL BE ROUGHED IN NOT LESS THAN 6" AND NOT MORE THAN 18" ABOVE THE FLOOR.
- 02 NEW BUILT-IN SHOWER, WITH TEMPERED GLASS DOOR AND WALLS
- 03 NEW STAIR, RISER (7.75" MAXIMUM), RUN (10" MINIMUM) AND WIDTH PER CRC R 311.7.4
- 04 NEW BUILT-IN SHOWER/TUB COMBO
- 05 SHOWER HEAD AND CONTROL VALVE LOCATION
- 06 NEW CLOTHES DRYER
- 07 PROVIDE GUARDRAIL ON BOTH SIDES OF STAIR. MIN. GUARD HEIGHT MUST BE 42" A.F.F AND THE OPENING SPACING MUST NOT ALLOW FOR THE PASSAGE OF A 4" SPHERE. PER CRC R312.1.3.
- 08 WHOLE HOUSE INDOOR AIR QUALITY VENTILATION FAN, 110 CFM ON PLAN PER 2016 CALIFORNIA ENERGY CODE SECTION 150(O) AND ASHRAE 62.2.

WATER CONSERVATION REQUIREMENTS CBGSC 2016

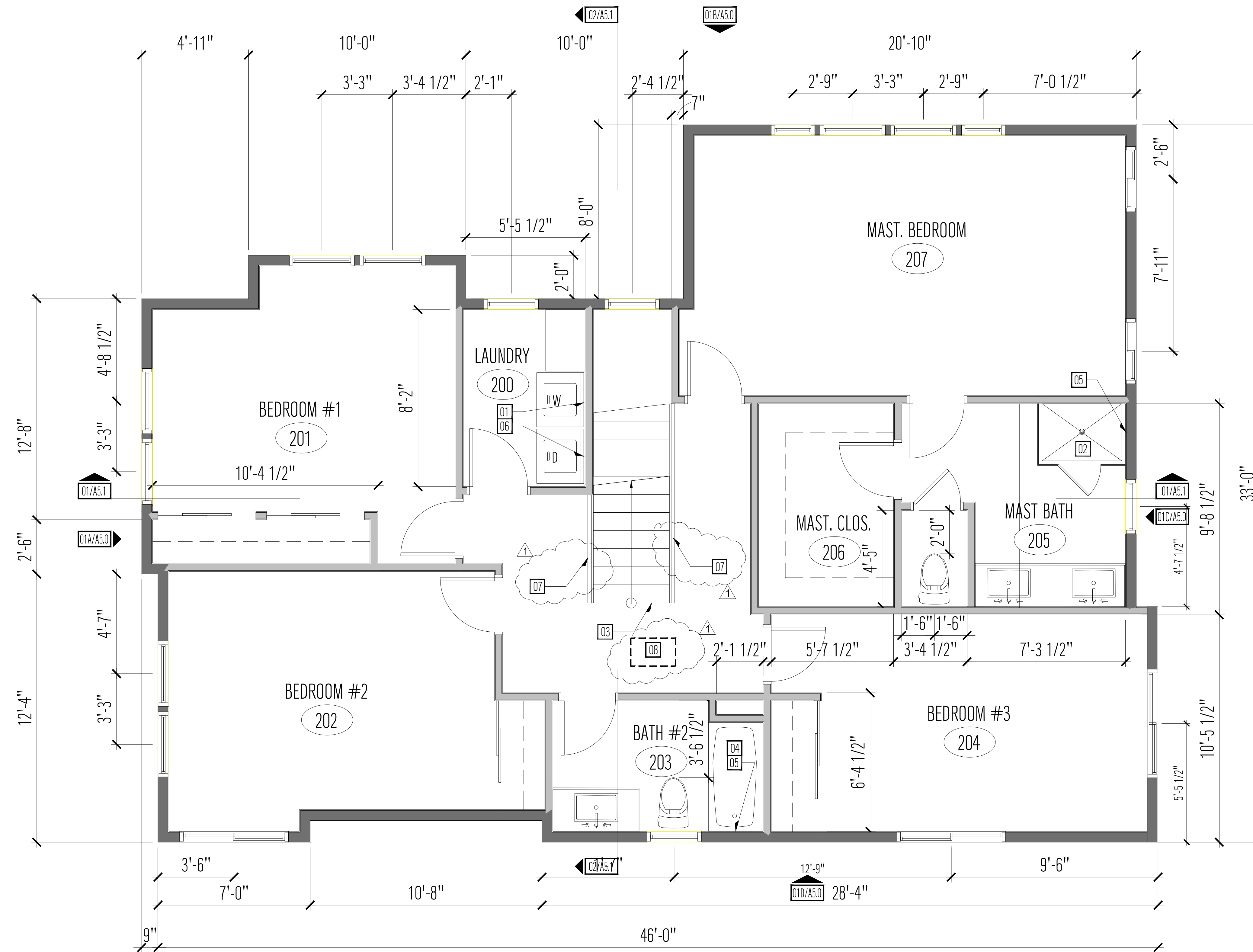
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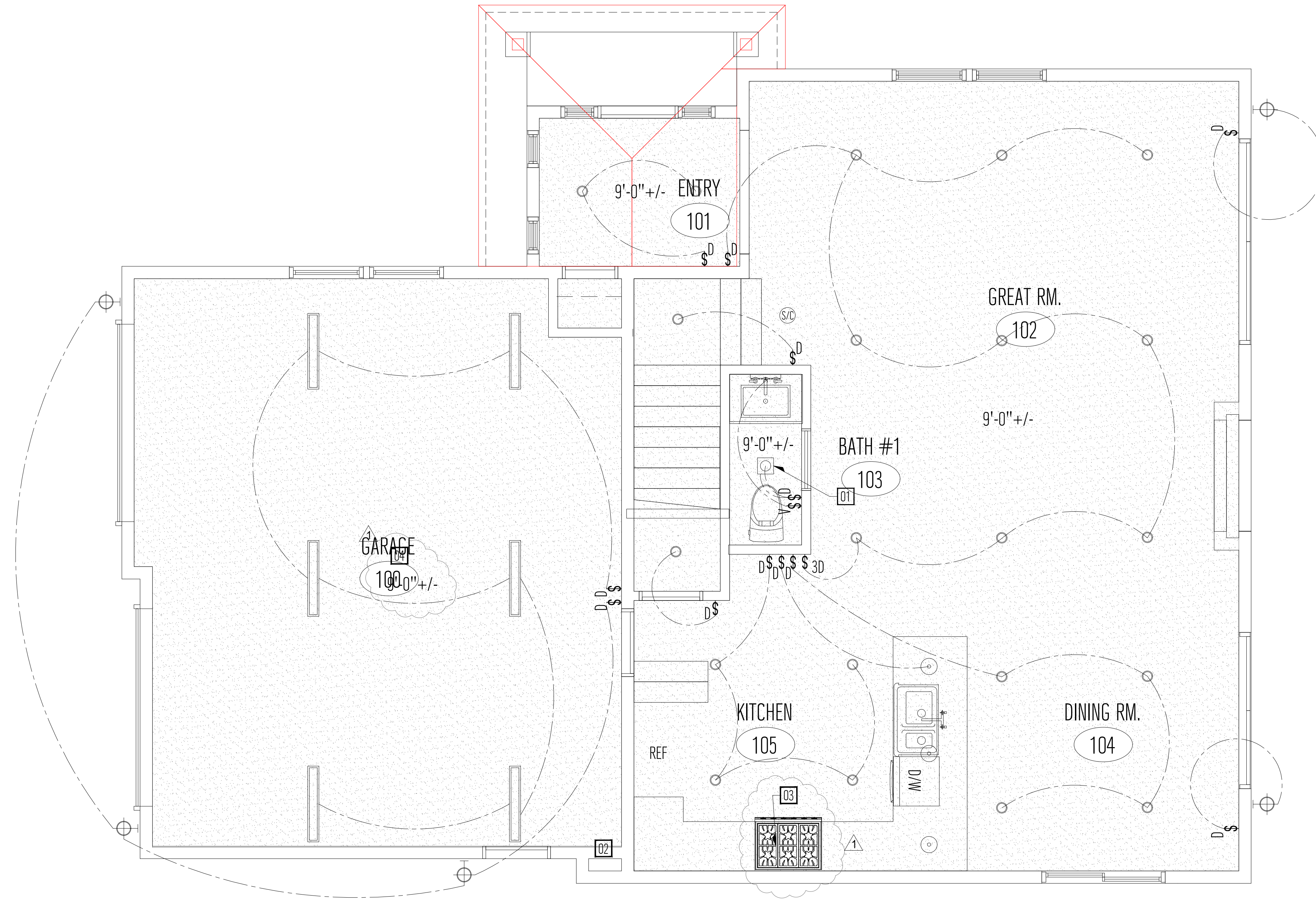


FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	DENOTES NEW WALL

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SYMBOL	DESCRIPTION
	DENOTES NEW GYP. BD CEILING
	DENOTES NEW 6" DIA. RECESSED CAN LIGHT
	DENOTES NEW HANGING PENDANT LIGHT FIXTURE
X'-X +/-	DENOTES CEILING HEIGHT
\$ D	SWITCH (D) - DIMMER SWITCH (V) - VACANCY SENSOR (X) - MULTIPLE SWITCH (3) - 3-WAY SWITCH
WP	DENOTES EXHAUST FAN / LIGHT NOTE: SWITCHED SEPARATELY WP = WATER PROOF
	DENOTES LED WALL MOUNTED LIGHT FIXTURE W/MOTION SENSOR & PHOTO SENSOR
	DENOTES SWITCHING
	CARBON MONOXIDE ALARM
	SMOKE ALARM
	SMOKE & CARBON MONOXIDE ALARM
	DENOTES LED HANGING LIGHT FIXTURE
	DENOTES LED WALL MOUNTED LIGHT FIXTURE
ELEC.	DENOTES NEW 200 amp ELECTRICAL PANEL

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801



FIRST FLOOR REFLECTED CEILING PLAN / LIGHTING PLAN
NEW RESIDENCE
APN # 047282160
EL GRANADA, CA 94019

REV	DATE	DESCRIPTION
1	06/18/2020	RESPONSE TO CITY COMMENTS
2		
3		
4		
5		

REFLECTED CEILING PLAN GENERAL NOTES

- BATHROOM LIGHTING SHALL BE HIGH EFFICACY LUMINARIES (40 LUMENS PER WATT) OR CONTROLLED BY VACANCY (OCCUPANCY) SENSOR CERTIFIED TO COMPLY WITH SEC. 119(D) CECS. THIS IS A MANUAL ON, AUTO OFF DEVICE. AUTOMATIC ON OR DEVICES WITH AN OVERRIDE SWITCH POSITION ARE NOT APPROVED. AT LEAST ONE HIGH EFFICACY LIGHTING SHALL BE INSTALLED IN EACH BATHROOM. CEC SECTION 150.0(K)5A
- LED LIGHTING ASSEMBLIES SHALL BE LISTED AND CEC APPROVED. LED LIGHT COMPONENTS ARE NOT ALLOWED TO BE USED WITH HALO OR OTHER HOUSING/CANS.
- ALL NEW HALLWAY AND BATHROOM LIGHTS TO BE INSTALLED SHALL BE HIGH EFFICIENCY.
- RECESSED LUMINARIES IN INSULATED CEILINGS SHALL BE RATED FOR ZERO CLEARANCE INSULATION COVER (IC), AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) DESIGNATION.
- OUTDOOR LIGHTING SHALL BE HIGH-EFFICACY OR CONTROLLED BY A MOTION SENSOR AND PHOTO-CONTROL CERTIFIED. NO LIGHTING SHALL BE ON THE REQUIRED 20 AMP SMALL APPLIANCE BRANCH CIRCUITS.
- ALL RECEPTACLES AND SWITCHES TO BE GROUNDED AND OR THE GROUNDING TYPE.
- DUAL SENSOR PHOTOELECTRIC/IONIZATION SMOKE ALARMS ARE REQUIRED IN ALL AREAS/ROOMS USED FOR SLEEPING. IN THE IMMEDIATE VICINITY OUTSIDE THESE AREAS/ROOMS AND AT BOTH THE TOP AND BOTTOM LANDING OF THE INTERIOR STAIRCASE. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN, BATHROOM, OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE.
- DUAL SENSOR PHOTOELECTRIC/IONIZATION SMOKE ALARMS SHALL BE INSTALLED ON CEILING OR WALL AT EACH FLOOR LEVEL. IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SMOKE ALARMS THAT NO LONGER FUNCTION SHALL BE REPLACED. SMOKE ALARMS INSTALLED IN ONE-AND TWO-FAMILY DWELLINGS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT, OR IF THE DATE OF MANUFACTURE CANNOT BE DETERMINED.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
- POWER SUPPLY FOR SMOKE ALARMS/DETECTORS AND CARBON MONOXIDE ALARMS SHALL BE HARDWIRED AND AC-DC INTERCONNECTED.
- ALL LIGHT FIXTURES TO BE HIGH EFFICACY LED
- WALL SWITCHES SHALL BE AT 48". RECEPTACLES SHALL BE AT 12" (WALL) AND 42" (COUNTER) U.O.N.
- PER 2016 CA ENERGY CODE. AT LEAST ONE FIXTURE IN GARAGE AND LAUNDRY ROOM MUST BE CONTROLLED BY A VACANCY SENSOR PER CEC 150.0(K)2). REVISE LIGHT CONTROL SWITCH SYMBOLS/LEGEND TO COMPLY WITH THIS CODE REQUIREMENT.
- NEW RESIDENTIAL GARAGE DOOR. OPENER TO HAVE BATTERY BACKUP. PER CA SENATE BILL SB969.

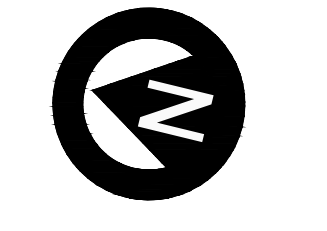
NEW REFLECTED CEILING PLAN KEYNOTES

- 01** FAN/LIGHT FLUSH MOUNTED FIXTURE. CENTER IN SPACE.
- 02** NORITZ MODEL NRCB1800V (GHQ-C2801WX-FF US) RESIDENTIAL CONDENSING GAS COMBINATION BOILER
- 03** INSTALL A 100-CFM VENTED RANGE HOOD FAN (FOR ENCLOSED OR NON-ENCLOSED) KITCHEN, AS A MEANS OF LOCAL AREA EXHAUST FOR LOCAL VENTILATION OF INDOOR AIR QUALITY. PER 2016 CA ENERGY CODE SECTION 150.0(Q) AND ASHRAE 62.2-2016 SECTION 5.1 AND TABLE 5.1.
- 04** NEW RESIDENTIAL GARAGE DOOR INSTALL WITH A GARAGE DOOR OPENER. THE OPENER MUST HAVE BATTERY BACKUP. PER CA SENATE BILL SB969

RESIDENTIAL INDOOR AIR QUALITY AND MECH. VENTILATION

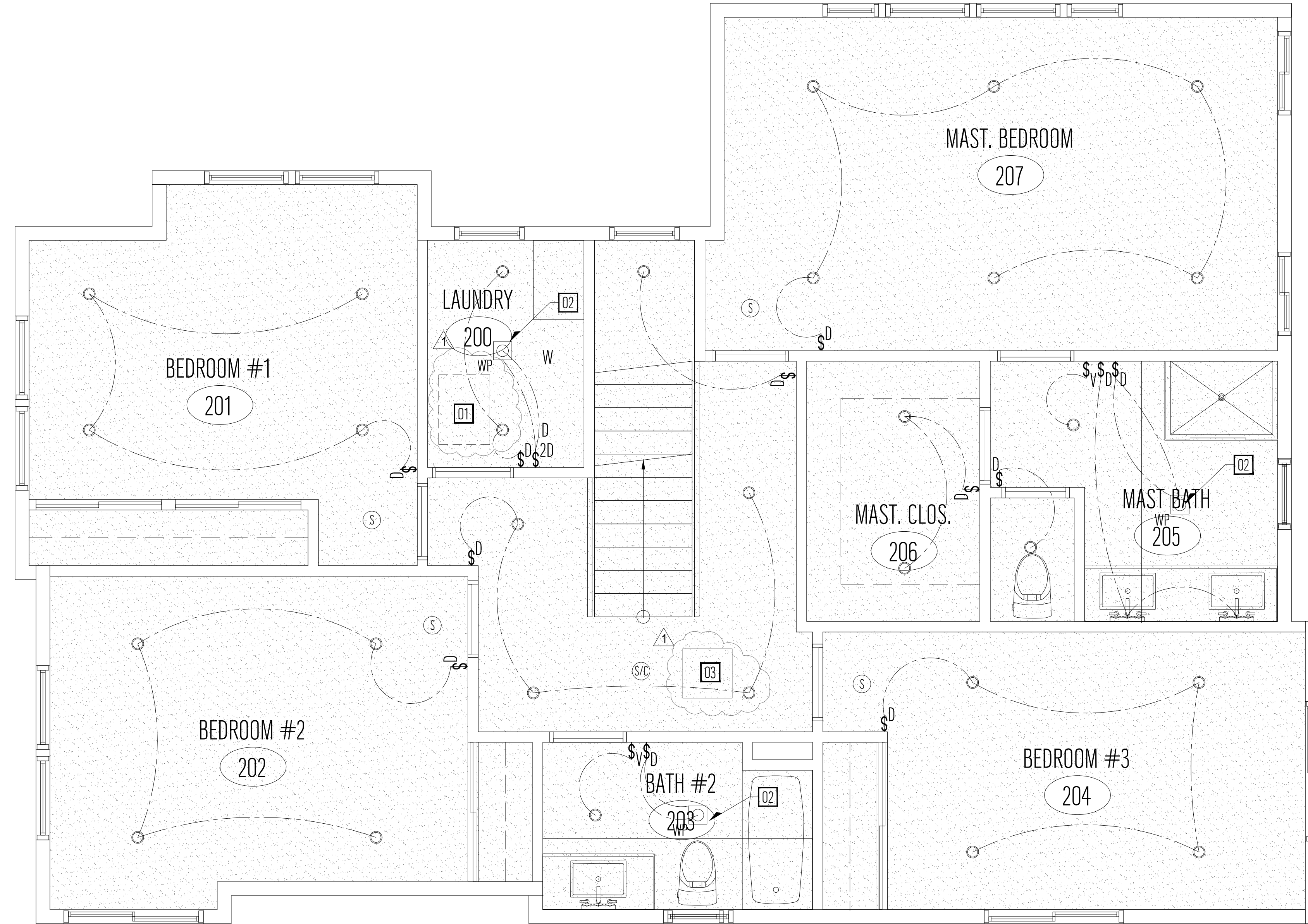
TOTAL SQUAREFOOTAGE/100+7.5 CFM x (NO. OF BEDROOMS +1) =
 2,128 / 100 +7.5 CFM x (3+1) = 60 CFM
 22 +38 = 60 CFM

DOWNSTAIRS BATHROOM- PANASONIC WHISPER GREEN - FV-08VKS3, 80 CFM
 UPSTAIRS MASTER BATH - PANASONIC WHISPER GREEN - FV-08VKS3, 80 CFM
 BATHROOM FANS ALLOW FAN TO RUN CONTINUOUSLY AT A PRE-SET OMER LEVEL 30-70 CFM



SIGN DATE: 12-02-2019
 DATE: AS NOTED
 SCALE: AS NOTED
 DRAWN BY: JM
 CKD BY: AP
 PROJECT # 201908086

A2.2



SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DENOTES NEW GYP. BD CEILING
	DENOTES NEW 6" DIA. RECESSED CAN LIGHT
	DENOTES NEW HANGING PENDANT LIGHT FIXTURE
X'-X +/-	DENOTES CEILING HEIGHT
\$ _D	SWITCH (D) - DIMMER SWITCH (V) - VACANCY SENSOR (X) - MULTIPLE SWITCH (3) - 3-WAY SWITCH
WP	DENOTES EXHAUST FAN / LIGHT NOTE: SWITCHED SEPARATELY WP = WATER PROOF
	DENOTES LED WALL MOUNTED LIGHT FIXTURE W/MOTION SENSOR & PHOTO SENSOR
	DENOTES SWITCHING
	CARBON MONOXIDE ALARM
	SMOKE ALARM
	SMOKE & CARBON MONOXIDE ALARM
	DENOTES LED HANGING LIGHT FIXTURE
	DENOTES LED WALL MOUNTED LIGHT FIXTURE
ELEC.	DENOTES NEW 200 amp ELECTRICAL PANEL

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

SECOND FLOOR REFLECTED CEILING PLAN / LIGHTING PLAN
NEW RESIDENCE
APN # 047282160
EL GRANADA, CA 94019

REFLECTED CEILING PLAN GENERAL NOTES

- BATHROOM LIGHTING SHALL BE HIGH EFFICACY LUMINARIES (40 LUMENS PER WATT) OR CONTROLLED BY VACANCY (OCCUPANCY) SENSOR CERTIFIED TO COMPLY WITH SEC. 119(D) CECS. THIS IS A MANUAL ON, AUTO OFF DEVICE. AUTOMATIC ON OR DEVICES WITH AN OVERRIDE SWITCH POSITION ARE NOT APPROVED. AT LEAST ONE HIGH EFFICACY LIGHTING SHALL BE INSTALLED IN EACH BATHROOM. CEC SECTION 150.0(K)(5)A
- LED LIGHTING ASSEMBLIES SHALL BE LISTED AND CEC APPROVED. LED LIGHT COMPONENTS ARE NOT ALLOWED TO BE USED WITH HALO OR OTHER HOUSING/CANS.
- ALL NEW HALLWAY AND BATHROOM LIGHTS TO BE INSTALLED SHALL BE HIGH EFFICIENCY.
- RECESSED LUMINARIES IN INSULATED CEILINGS SHALL BE RATED FOR ZERO CLEARANCE INSULATION COVER (IC), AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT (AT) DESIGNATION.
- OUTDOOR LIGHTING SHALL BE HIGH-EFFICACY OR CONTROLLED BY A MOTION SENSOR AND PHOTO-CONTROL CERTIFIED. NO LIGHTING SHALL BE ON THE REQUIRED 20 AMP SMALL APPLIANCE BRANCH CIRCUITS.
- ALL RECEPTACLES AND SWITCHES TO BE GROUNDED AND OR THE GROUNDING TYPE.
- DUAL SENSOR PHOTOELECTRIC/IONIZATION SMOKE ALARMS ARE REQUIRED IN ALL AREAS/ROOMS USED FOR SLEEPING. IN THE IMMEDIATE VICINITY OUTSIDE THESE AREAS/ROOMS AND AT BOTH THE TOP AND BOTTOM LANDING OF THE INTERIOR STAIRCASE. SMOKE ALARMS INSTALLED WITHIN 20 FT. OF A KITCHEN, BATHROOM, OR ROOM CONTAINING A FIREPLACE OR WOOD BURNING STOVE SHALL BE OF THE PHOTOELECTRIC TYPE.
- DUAL SENSOR PHOTOELECTRIC/IONIZATION SMOKE ALARMS SHALL BE INSTALLED ON CEILING OR WALL AT EACH FLOOR LEVEL. IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
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- ALL LIGHT FIXTURES TO BE HIGH EFFICACY LED.
- WALL SWITCHES SHALL BE AT 48". RECEPTACLES SHALL BE AT 12" (WALL) AND 42" (COUNTER) U.O.N. PER 2016 CA ENERGY CODE. AT LEAST ONE FIXTURE IN GARAGE AND LAUNDRY ROOM MUST BE CONTROLLED BY A VACANCY SENSOR PER CEC 150.0(K)(2). REVISE LIGHT CONTROL SWITCH SYMBOLS/LEGEND TO COMPLY WITH THIS CODE REQUIREMENT.
- 14.
- 15.

NEW REFLECTED CEILING PLAN KEYNOTES

- ATTIC ACCESS. 22"x30" CLEAR OPENING PER CRC R807.
- FAN/LIGHT FLUSH MOUNTED FIXTURE. CENTER IN SPACE.
- WHOLE HOUSE INDOOR AIR QUALITY VENTILATION FAN. 110 CFM ON PLAN PER 2016 CALIFORNIA ENERGY CODE SECTION 150(X) AND ASHRAE 62.2. A LABEL OR SIGN IS REQUIRED AT THE CONTROLLER OF SWITCH TO INFORM THE OCCUPANT THAT THE FRESH AIR VENTILATOR IS AN INDOOR AIR QUALITY FAN THAT SHOULD OPERATE WHENEVER THE BUILDING IS OCCUPIED.

REV	DATE	DESCRIPTION
1	06/18/2020	RESPONSE TO CITY COMMENTS
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SIGN DATE: 12-02-2019
DATE: AS NOTED
SCALE: AS NOTED
DRAWN BY: JM
CKD BY: AP
PROJECT #: 201908086

A2.3



SYMBOL	DESCRIPTION
ELEC.	DENOTES NEW 200 AMP ELECTRICAL PANEL
XX	DENOTES NEW DUPLEX OUTLET. INSTALL 18" A.F.F TO CENTER OF COVER PLATE. PER 2016 CBC AF = ARC FAULT CIRCUIT BREAKER
●	DENOTES NEW 220 AMP OUTLET TYP.
XXXX	DENOTES NEW G.F.C.I. DUPLEX OUTLET 42" A.F.F. PROVIDE WHEN OUTLET IS LOCATED WITHIN 3'-0" OF WATER SOURCE. TYP. WP - WATERPROOF WITH BUBBLE COVER

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

FIRST FLOOR ELECTRICAL PLAN
NEW RESIDENCE
APN # 047282160
EL GRANADA, CA 94019

ELECTRICAL PLAN GENERAL NOTES

- WALL SWITCHES SHALL BE AT 48", RECEPTACLES SHALL BE AT 12" (WALL) AND 42" (COUNTER) UNLESS OTHERWISE NOTED.
- ALL RECEPTACLES AND SWITCHES TO BE GROUNDED AND OR THE GROUNDING TYPE.
- PROVIDE OUTLETS ALONG THE WALLS IN NEW ROOMS NOT TO EXCEED 12 FEET APART HORIZONTALLY.
- PROVIDE AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN SIX FEET SIX INCHES ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE HOUSE. THE ENCLOSURE FOR SUCH RECEPTACLES SHALL BE WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (TYPICALLY REFERRED TO AS A BUBBLE COVER).
- ALL REQUIRED 15/20 AMPERE RECEPTACLES LISTED IN SECTION 210.52 FOR DWELLING UNITS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA, ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11, CEC 210.52.
- AT LEAST ONE 20 AMP CIRCUIT IS REQUIRED FOR BATHROOMS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM.
- ALL 120-VOLTS, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LAUNDRY RM, KITCHENS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROVIDED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- PROVIDE GFCI PROTECTED ELECTRICAL OUTLET WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM SINK BASIN. OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE COUNTERTOP.
- BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE.
- NAIL PLATE PROTECTION IS REQUIRED WHEN WIRING IS CLOSER THAN 1 1/4" TO THE EDGE OF THE STUD.
- ALL SWITCHES, OUTLETS AND JUNCTION BOXES SHALL BE FLUSH WITH THE FINISHED SURFACE. INSTALL GOOF RINGS AS REQUIRED.
- ALL RECEPTACLE OUTLETS MUST BE INSTALLED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, SUNROOM, PARLOR, LIBRARY, DEN, BEDROOM, RECREATION ROOM, AND SIMILAR ROOM OR AREA SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY ALONG THE FLOOR LINE, FROM A RECEPTACLE OUTLET. PER 2016 CBC 210.52
- RECEPTACLE HEIGHTS, ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48 INCHES (1219 MM) MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX NOR LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER A PHYSICAL BARRIER OR AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET), RECEPTACLES SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. PHYSICAL BARRIERS AND OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25 INCHES (635 MM) FROM THE WALL BENEATH THE RECEPTACLE. PER 1136A.1 2016 CBC

NEW ELECTRICAL PLAN KEYNOTES

- NEW 200 AMP ELECTRICAL-PANEL, INSTALL 48" MIN. TO CENTER OF PANEL ON EXTERIOR WALL SURFACE. USE COPPER CONDUCTOR #2/0 AWG THHN20BK500.
- NEW EXTERIOR GFCI OUTLET WITH WEATHER-PROOFING COVER.
- NORITZ RESIDENTIAL CONDENSING GAS COMBINATION BOILER: MODEL NRCB199DV (GHO-C3201WX-FE US), 199,900 BTU, OR SIM.
- INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. PER CGBS SEC. 4.106.4.1
- SERVICE PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. DEDICATED BRANCH CIRCUIT FUTURE EV CHARGER LOCATION LISTED CABINET MUST BE LABELED "EV CAPABLE" INSTALL RACEWAY 1" INSIDE DIAMETER, IT SHALL TERMINATE INTO THE LISTED CABINET IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. PER CGBS SEC. 4.106.4.1.

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1	06/18/2020	RESPONSE TO CITY COMMENTS
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DESIGN EVEREST
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CKD BY: AP
PROJECT #: 201908086



SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DENOTES NEW DUPLEX OUTLET. INSTALL 18" A.F.F. TO CENTER OF COVER PLATE, PER 2016 CBC.
	AF = ARC FAULT CIRCUIT BREAKER
	DENOTES NEW 220 AMP OUTLET TYP.
	DENOTES NEW G.F.C.I. DUPLEX OUTLET 42" A.F.F. PROVIDE WHEN OUTLET IS LOCATED WITHIN 3'-0" OF WATER SOURCE, TYP.
	WP - WATERPROOF WITH BUBBLE COVER

EXTERIOR LIGHT CUTSHEET

Cylinder 3000K LED 12" Wall Light Textured Architectural Bronze
11251A2T30 (Textured Architectural Bronze)

Project Name: _____
Location: _____
Type: _____
Qty: _____
Comments: _____

Certifications/Qualifications

Class 2	Yes
Location Rating	Wet
Title 24 Compliant	Yes

www.kichler.com/warranty

Dimensions

Base Backplate	5.00 X 5.00
Extension	6.50"
Weight	4.10 LBS
Height from center of Wall opening (Base-Back)	6.25"
Height	12.00"
Width	5.00"

Electrical

Input Voltage	Dual (120/140V)
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Mounting/Installation

Interior/Exterior	Exterior
Mounting Style	Wall Mount

Photometrics

Color Rendering Index	90
Color Temperature Range	3000K
Delivered Efficacy	37 (Lumens/Watt)
Delivered Lumens	550
Kelvin Temperature	3000K

Primary Lamping

Expected Life Span	40000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	15W
# of Bulbs/LED Modules	1

Product/Ordering Information

SKU	11251A2T30
Finish	Bronze
Style	Contemporary
UPC	883621430258

Specifications

Material	ALUMINUM
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Additional Finishes

- Textured Architectural Bronze
- Textured Black

Kichler
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8070
Tel: 888.686.2706 or kichler.com

Notes:
1) Information provided is subject to change without notice.
2) Materials are design or material values when measured under laboratory conditions.
3) Environmental Equipment: The incandescent equivalent is provided to an appropriate number and is for reference only.

KICHLER

ELECTRICAL PLAN GENERAL NOTES

- WALL SWITCHES SHALL BE AT 48", RECEPTACLES SHALL BE AT 12" (WALL) AND 42" (COUNTER) UNLESS OTHERWISE NOTED.
- ALL RECEPTACLES AND SWITCHES TO BE GROUNDED AND OR THE GROUNDING TYPE.
- PROVIDE OUTLETS ALONG THE WALLS IN NEW ROOMS NOT TO EXCEED 12 FEET APART HORIZONTALLY.
- PROVIDE AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN SIX FEET SIX INCHES ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE HOUSE. THE ENCLOSURE FOR SUCH RECEPTACLES SHALL BE WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED (TYPICALLY REFERRED TO AS A BUBBLE COVER).
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- EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, BATHROOM, GARAGE, BASEMENT, LAUNDRY AND OUTDOOR AREA, ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11, CEC 210.52.
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- PROVIDE GFCI PROTECTED ELECTRICAL OUTLET WITHIN 36" OF THE OUTSIDE EDGE OF EACH BATHROOM SINK BASIN. OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE COUNTERTOP.
- BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS MUST BE ACCESSIBLE AND OF AN APPROVED TYPE.
- NAIL PLATE PROTECTION IS REQUIRED WHEN WIRING IS CLOSER THAN 1 1/4" TO THE EDGE OF THE STUD.
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- ALL RECEPTACLE OUTLETS MUST BE INSTALLED IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, SUNROOM, PARLOR, LIBRARY, DEN, BEDROOM, RECREATION ROOM, AND SIMILAR ROOM OR AREA SO THAT NO POINT ALONG THE WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY ALONG THE FLOOR LINE, FROM A RECEPTACLE OUTLET. PER 2016 CBC 210.52
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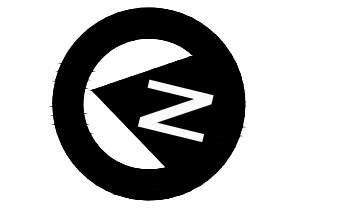
NEW SECOND FLOOR ELECTRICAL PLAN KEYNOTES

- FOR ELECTRIC CLOTHES DRYER MACHINE. INDICATE HOOKUP TO HAVE RECEPTACLE AND CIRCUIT TO PROVIDE 30 AMPERE (MINIMUM) IN ADDITION TO THE 220 VOLTS, PER CEC 220.54 REQUIREMENTS

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

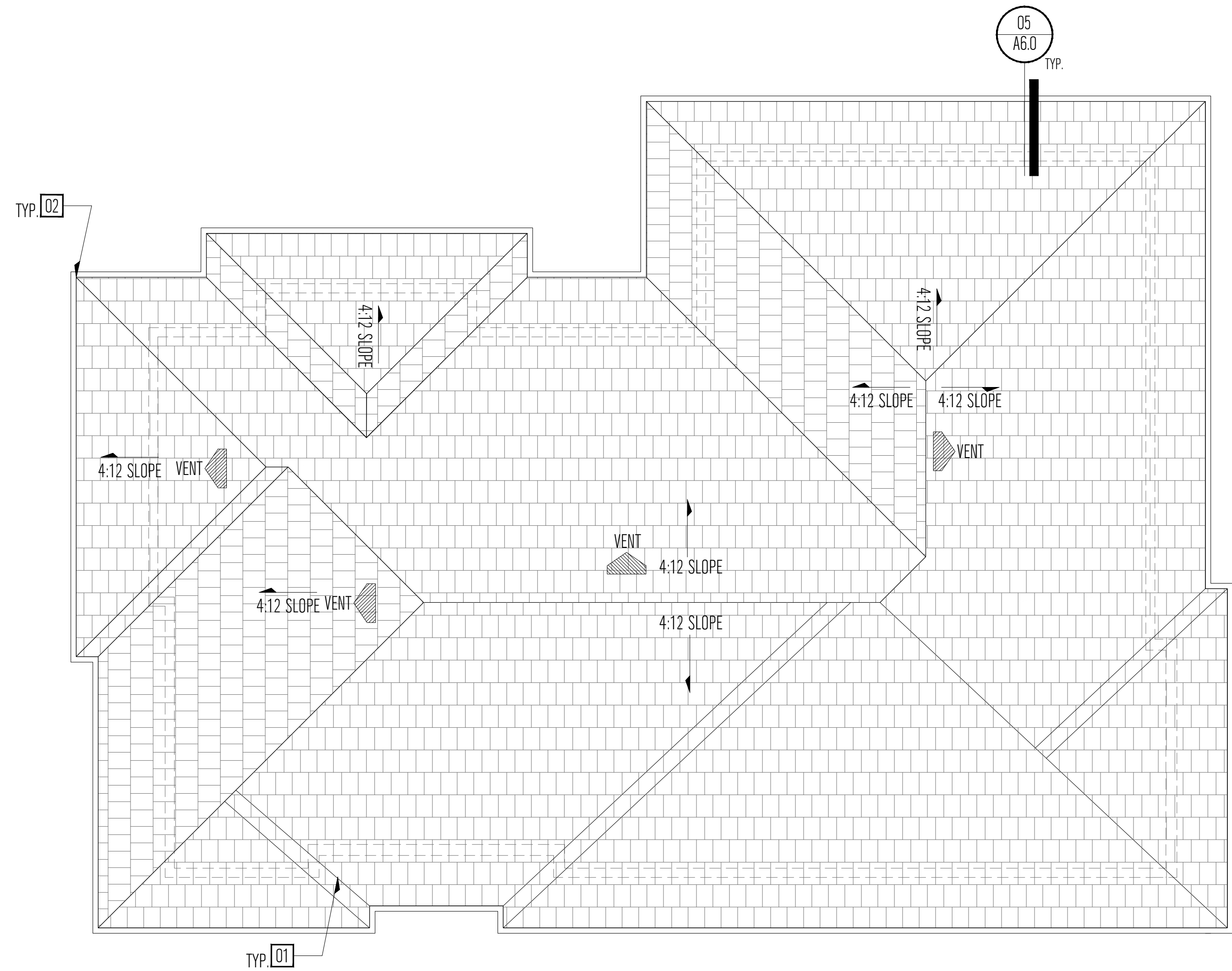
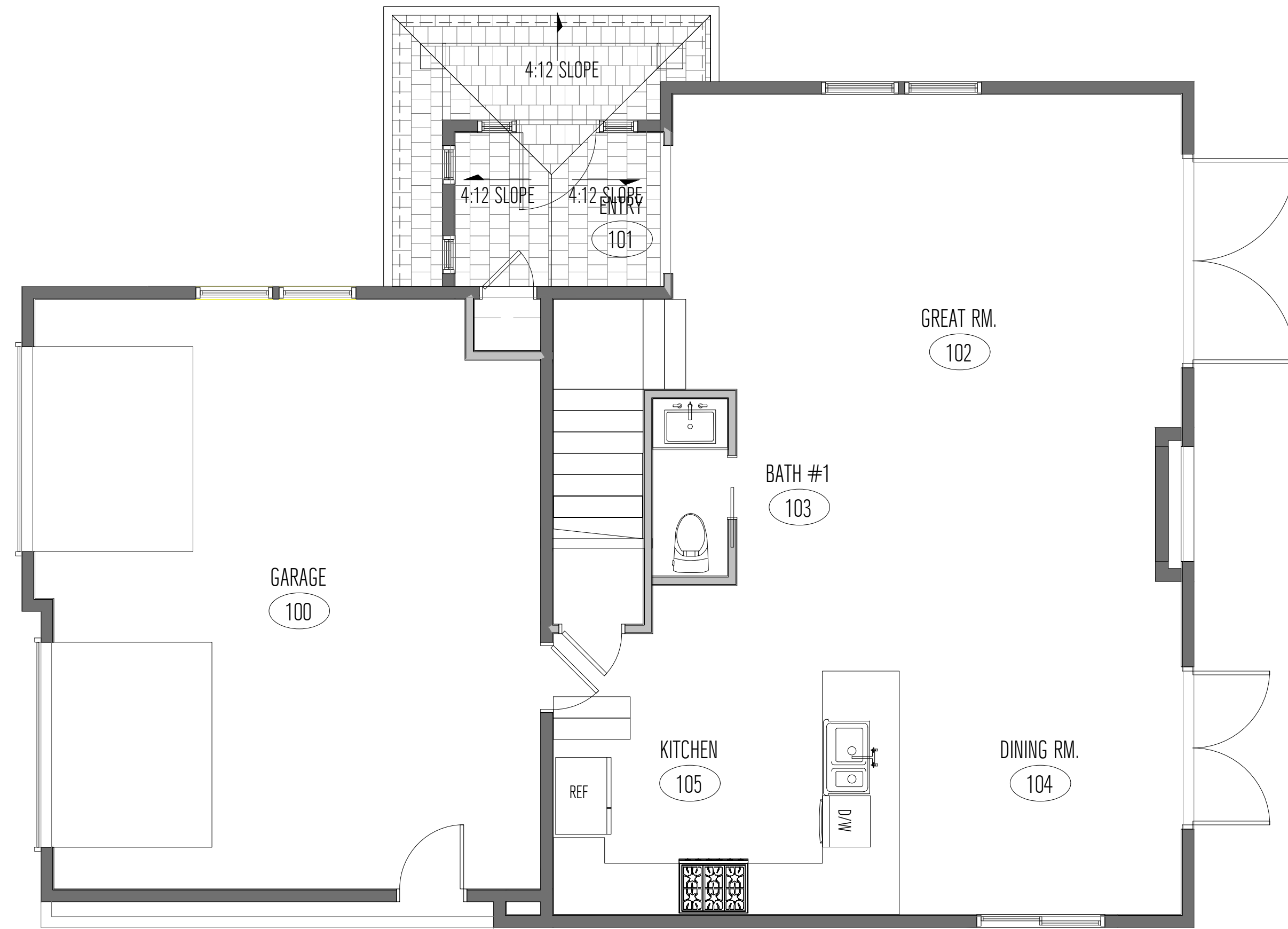
SECOND FLOOR ELECTRICAL PLAN
NEW RESIDENCE
APN # 047282160
EL GRANADA, CA 94019

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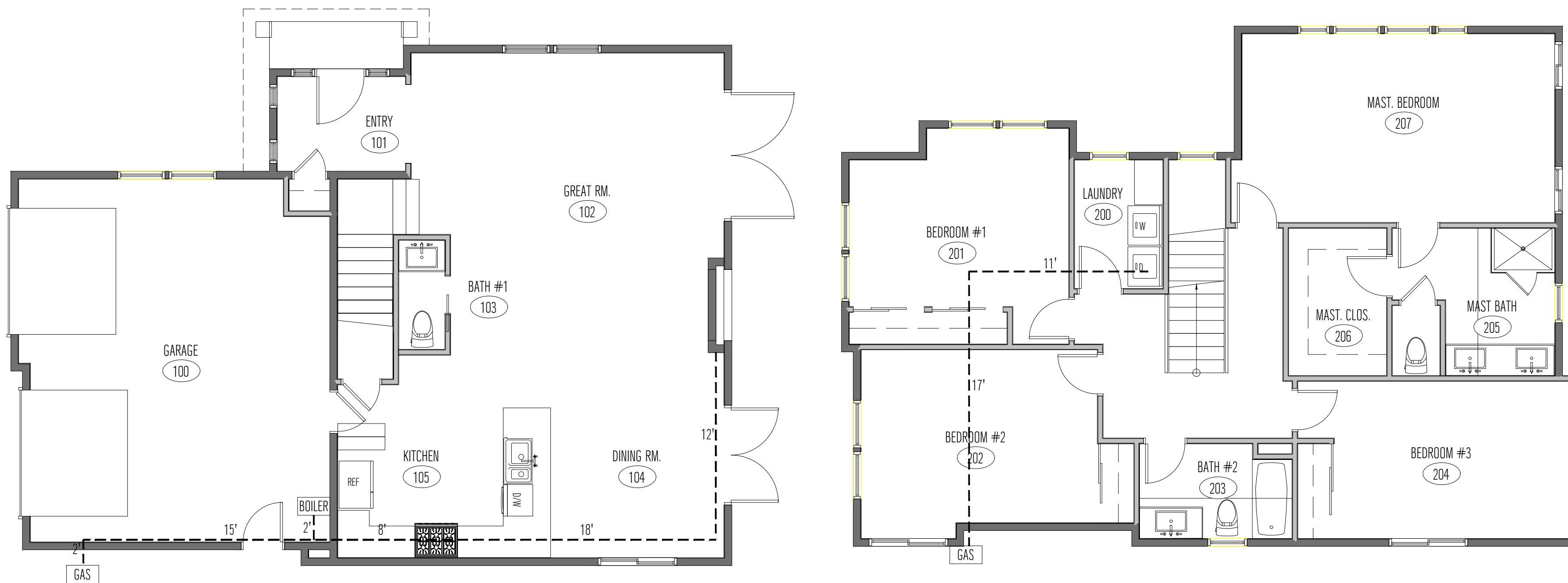


SIGN DATE: 12-02-2019
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DRAWN BY: JM
CKD BY: AP
PROJECT #: 201908086

A2.5



GAS LINE PIPING DIAGRAM



ATTIC VENTILATION CALCULATION

TOTAL SQ. FT.	1,269 SQ. FT.
AREA OF ATTIC SPACE	1,269 / 300 = 4.23 SQ. FT.
LOWER PORTION	EAVE VENTS - 2-2 9/16" DIA. DRILLED HOLES PER BLOCK = 2 X 5.14 = 10.28 SF = .07SF USE MIN. 32 VENT BLOCKS = .0732 = 2.24 SF EAVE VENTS - 2-2 9/16" DIA. DRILLED HOLES PER BLOCK = 2 X 5.14 = 10.28 SF = .07SF USE MIN. 3 VENT BLOCKS = .0732 = 2.24 SF
UPPER PORTION	LOW PROFILE VENTS: 0'HAGIN MOD. NO 517000823 = 0.5 SF EA. USE MIN. 4 VENTS = 4 X 0.5 = 2.0 SF

ROOF PLAN KEYNOTES

- 01 SOFFIT VENT. MAKE AND MODEL TBD. FOR REQ. VENTING SEE CALCULATION BELOW: (21@26" TOTAL).
- 02 NEW 3" DIA. PAINTED MTL. DOWNSPOUT LOCATION

ROOF PLAN GENERAL NOTES

1. PROVIDE WEATHERPROOFING FOR ALL ROOF VENTS PER MANUFACTURERS SPECIFICATIONS
2. FOR ALL FOUNDATION & SLAB DETAILS REFER TO STRUCTURAL DRAWINGS
3. COORDINATE ALL PLUMBING VENTS ACCORDING TO NEW LAYOUT SEE SHEET A2.0
4. ROOFING TO BE LAMINATED FIBERGLASS WITH ASPHALT COATED SHINGLES. MINIMUM FIRE RATING F CLASS 'B'. PER SAN MATEO COUNTY ORDINANCE SEC. 9113.1a
5. PROVIDE ATTIC VENTILATION FOR ENCLOSED ATTIC SPACE PER CBC 1203.2. NET FREE VENTILATING AREA TO BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. SEE CALCULATION

SERVICE LOAD CALCULATIONS

APPLIANCES	BTU/HR	CUBIC FEET/HR	SIZE (PIPE)	LENGTH (PIPE)
COMBO BOILER	199,990	182	3/4"	19 FEET
FIREPLACE	46	42	3/4"	55 FEET
CLOTHES DRYER	35	32	3/4"	41 FEET
STOVE/RANGE	65	60	1/2"	28 FEET

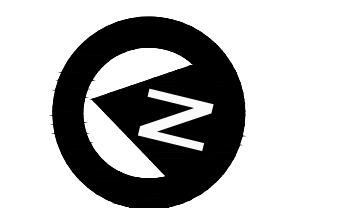
NOTE: USE SCHEDULE 40 METALLIC PIPE OR CORRUGATED STAINLESS STEEL TUBING LISTED IN ACCORDANCE WITH CSA LC-1. (NFPA 54-5.6.3.4) FOR ALL GAS LINES

ROOF PLAN LEGEND

SYMBOL	DESCRIPTION
	DENOTES ROOF
X:XX SLOPE	DENOTES ROOF SLOPE
	DENOTES EYEBROW VENTS

REV	DATE	DESCRIPTION
1	06/18/2020	RESPONSE TO CITY COMMENTS
2		
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REV	DATE	DESCRIPTION
1	06/18/2020	RESPONSE TO CITY COMMENTS
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SIGN DATE: 12-02-2019
DATE: AS NOTED
SCALE: AS NOTED
DRAWN BY: JM
CKD BY: AP
PROJECT #: 201908086

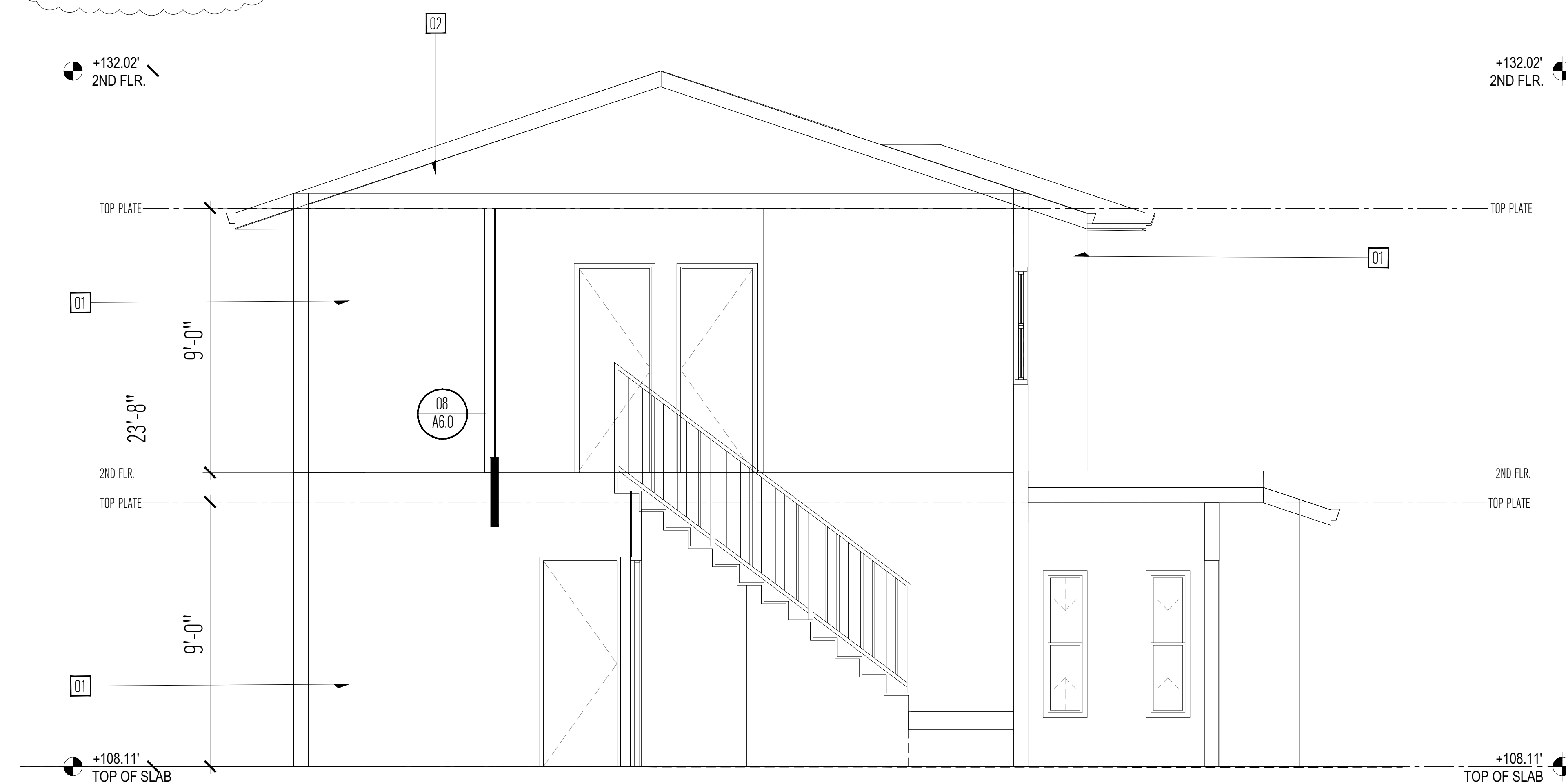
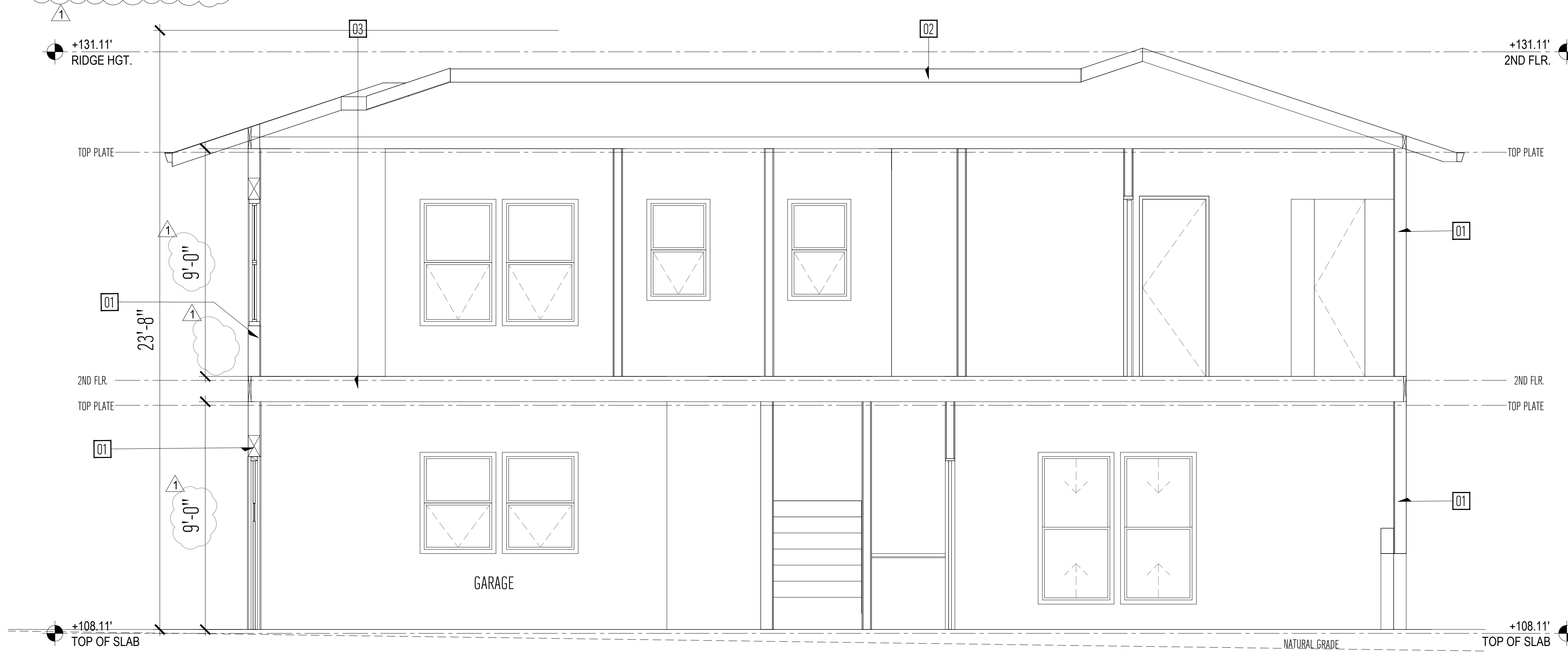


EXTERIOR ELEVATION GENERAL NOTES

- A MINIMUM 26 GAGE CORROSION-RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3 1/2" SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MIN. OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS, WHICH SHALL BE ADDRESSED ON PLANS. (R703.6.2.1 CRC)
- DATUM POINT BENCHMARK +111.30'. TOP OF F/H AS SHOWN ON SURVEY

EXTERIOR ELEVATION KEYNOTES

- 01 ROOFING-CERTAINEED LANDMARK MOIRE BLACK
- 02 GUTTERS & TRIM - BENJAMIN MOORE WHITE DOVE OC-17
- 03 BENJAMIN MOORE WROUGHT IRON 2124-10
- 04 WINDOW FRAMES - MILGARD DARK BRONZE
- 06 SIDING-BOARD AND BATTEN- PAINTED BENJAMIN MOORE SHAKER BEIGE HC-45
- 07 NATURAL GRADE LEVEL
- 08 EXTERIOR WALL SCONCE-DARK SKY-DARK BRONZE



BUILDING SECTION GENERAL NOTES

- 01. DATUM POINT BENCHMARK +111.30'. TOP OF F/H AS SHOWN ON SURVEY

BUILDING SECTION KEYNOTES

- 01 R-19 WALL INSULATION. REFER TO TITLE 24 ENERGY CALCULATIONS SHEETS FOR MORE INFORMATION
- 02 R-38 ROOF INSULATION. REFER TO TITLE 24 ENERGY CALCULATIONS SHEETS FOR MORE INFORMATION



Specialty Engineering Services & Solutions, LLC
 18540 126th Terrace North, Jupiter, FL 33478
 M: 561-412-8287
 Jeffrey.Friant@specialtyengineering.com
 www.sess.com
 Certificate of Authorization #03371

August 14, 2019

For: Roger Rock, Owner
 Rock Lock Fastening Systems, Inc.
 Regarding: Test Report 28205-01 (copy not signed)
 Cerny & Ivey Engineers, Inc.
 Railing - Spring Bolt Connection System

To whom this may concern,

This office has compared the load test requirements of the IBC 2006 codes that were used in the test report 832325-1 prepared and certified by Cerny & Ivey Engineers, Inc. to the load test requirements in the 2017 FBC (6th Ed.). This office has found that the testing performed and reported as passed still meets the current code requirements as specified in the 2017 FBC (6th Ed.) and ASCE section 4.5.1 which are referenced below.

In-Fill Load = 50 psf
 Uniform Load = 350 psf
 Concentrated Load = 200 lbs

These specified values have not been changed since the commissioning of the load tests and are still required as defined previously under the current code.

Respectfully,

Digitally signed by Jeffrey C. Friant, P.E.
 Date: 2019.08.14 08:31:20 -0400

Except as explicitly expressed within this document, no other affirmations or certifications are intended.

Figure 1: Newel Post Attachment

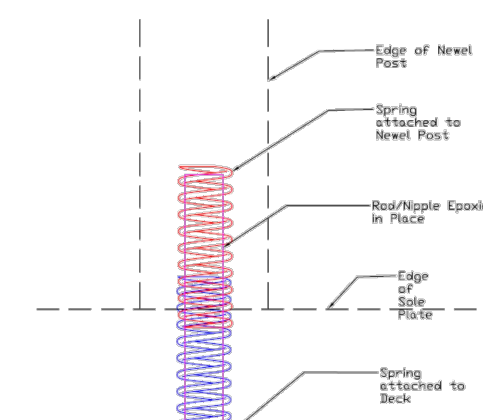
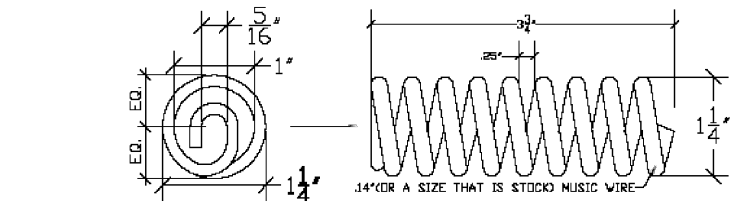


Figure 2: Newel Post Spring Dimensions (provided by client, verified by C&I)



Holes were drilled for the balustrades in the sole plate and the top rail for installation. The balustrades were placed every 4in in between the newel posts. Wood Glue was used at the sole plate only to secure the balustrades.
 The top rail was secured to the newel post using the Spring Bolt system on one side and a #10 x 3in. wood screw on the other side. The Spring Bolt system used 9/16in. outside diameter springs and a 5/16in. threaded rod. The Spring Bolt system was epoxied in place, while the face of the top rail end received a coat of wood glue.

TEST REPORT - 28205 - PAGE 2 - SEPTEMBER 4, 2008

Figure 3: Top Rail Attachment (1 side only)

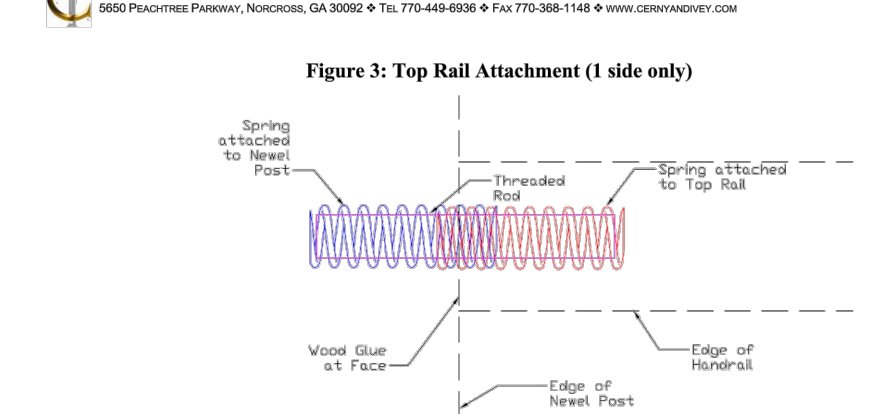
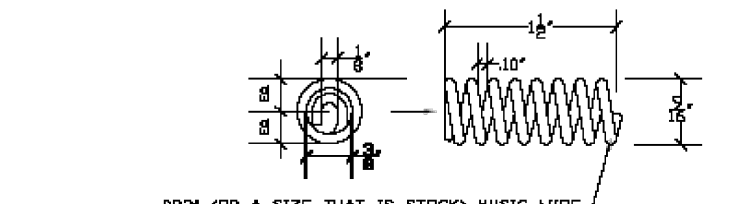


Figure 4: Top Rail Spring Dimensions (provided by client, verified by C&I)



The total length of the specimen was 75in, with 3in wide newel posts. The height of the of the top rail was 36 in.

Application Of The Load

Three (3) separate loads were placed on the test specimen to simulate the conditions set forth in the 2006 International Building Code with a minimum factor of safety of 2.5.

The initial load applied to the railing assembly was an in-fill load to the perceived weakest 12in. x 12in. section of the test specimen. The weakest area was determined to be the center of the balustrade near the center of the assembly. The in-fill load was set so that only three (3) balustrades were loaded. A 125lb. load was applied, in accordance with ASTM D7032.

The second load was applied uniformly to the top rail of the assembly. The top rail was determined to be the weakest component of the assembly. Pneumatic cylinders were placed approximately every 12in., as allowed by the spacing of the balustrades. A load of 235psf was applied at an angle of 58 degrees to provide a minimum of a 125lb horizontal and vertical component, in accordance with ASTM D7032.

The third load was a concentrated load applied horizontally to the top rail at the center of the assembly. The top rail was determined to be the weakest component of the assembly. A 500lb. load was applied, in accordance with ASTM D7032.

TEST REPORT - 28205 - PAGE 3 - SEPTEMBER 4, 2008

Figure 5: Handrail Assembly

All loads were applied in the same general direction, which is outward from where the deck would exist. All handrail testing was done in accordance with ASTM D7032.
 All pressures were measured using pressure gauge CI-PG-05. Pressures were converted to force using the appropriate conversion table for the pneumatic cylinder.

RESULTS

Handrails passed all standardized loading tests without any visible signs of failure.

	2006 IBC (F.S. 2.5)		ASTM D7032 (F.S. 2.5)	
	Passed (Y/N)	Failed (Y/N)	Passed (Y/N)	Failed (Y/N)
In-Fill Load	Y	N	Y	N
Uniform Load	Y	N	Y	N
Concentrated Load	Y	N	Y	N

CONCLUSIONS

The complete handrail assemblies are in accordance with the strength requirements of the 2006 International Building Code and ASTM D7032, when installed as detailed above.

If you have any questions please don't hesitate to contact us.

Respectfully submitted,

Charles G. Lester IV
 Laboratory Manager

Christopher B. Shiver, PE
 Vice President - Principal Engineer

TEST REPORT - 28205 - PAGE 4 - SEPTEMBER 4, 2008

REV	DATE	DESCRIPTION
1	06/18/2020	
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ROOFING-CERTAINTEED
LANDMARK MOIRE BLACK

SIDING-BOARD AND BATTEN-
PAINTED BENJAMIN MOORE
SMOKEY TAUPE 983

WINDOW FRAMES - MILGARD
DARK BRONZE

GUTTERS & TRIM
BENJAMIN MOORE
WHITE DOVE OC-17

FRONT DOOR & GARAGE DOORS
BENJAMIN MOORE WROUGHT
IRON 20124-10

RENDERING & MATERIALS

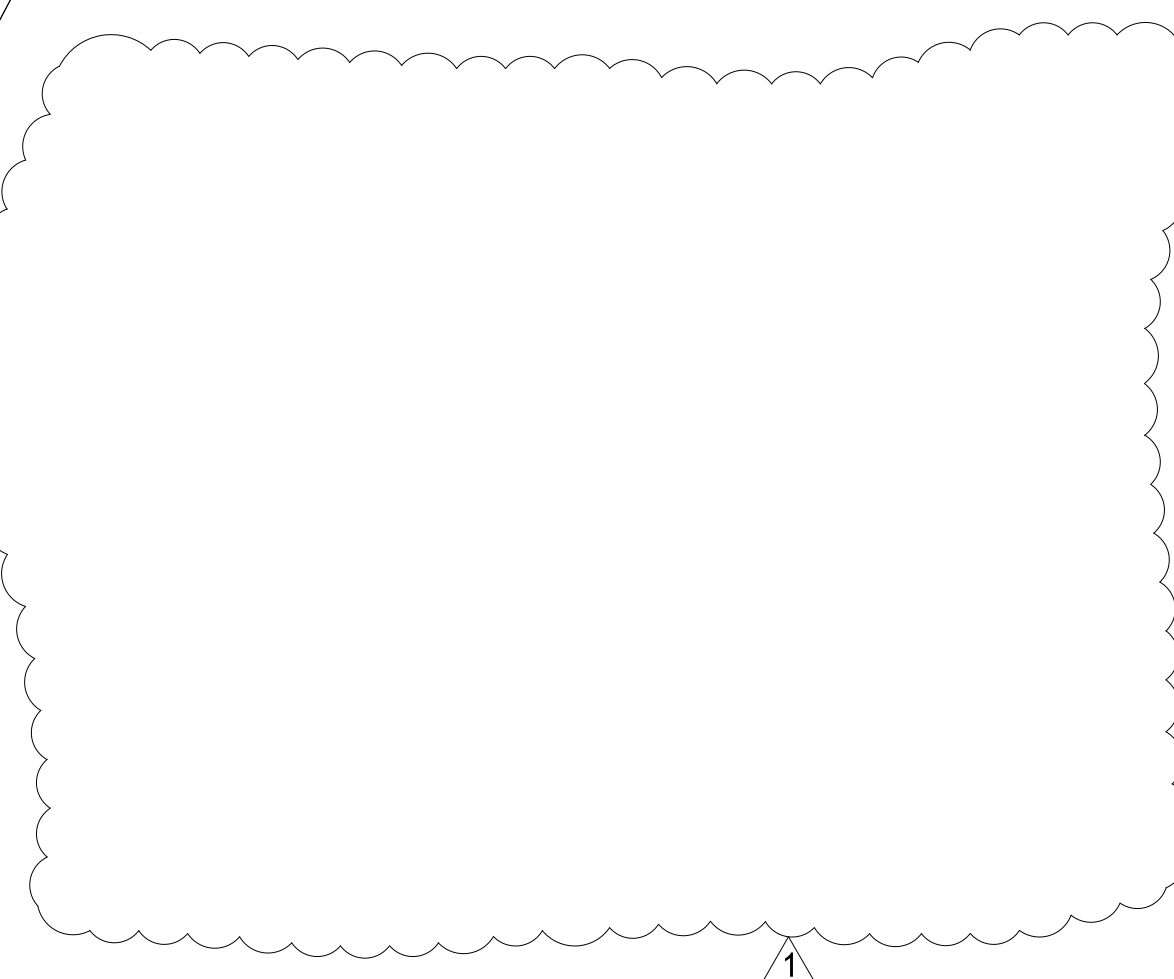
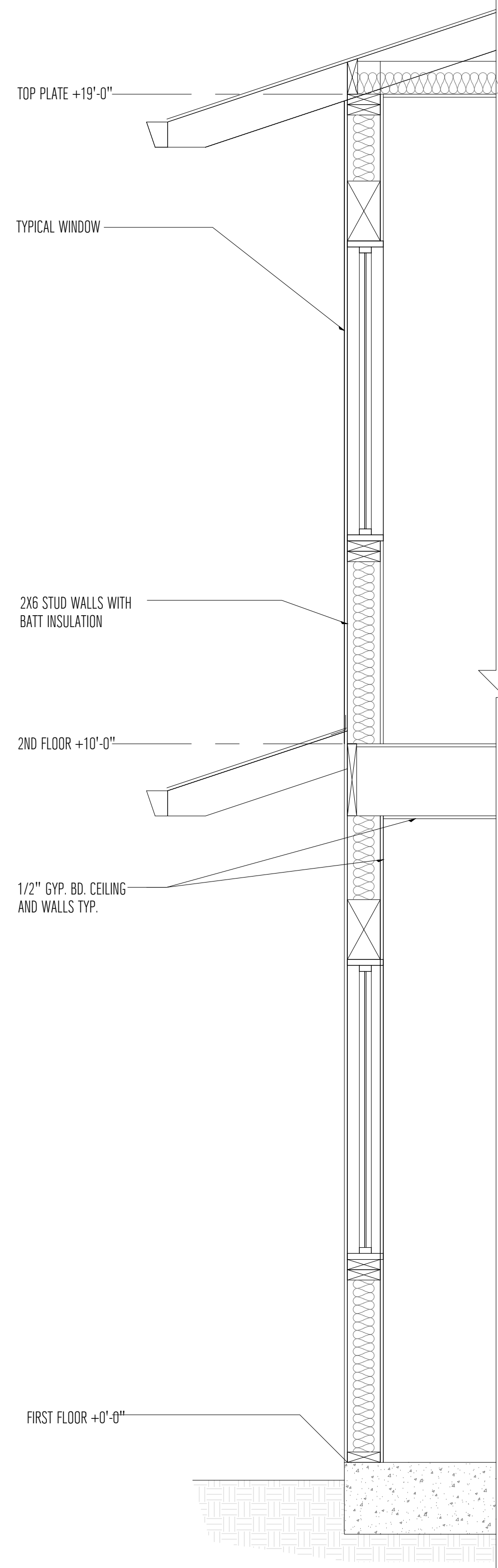
NEW RESIDENCE
APN # 047282160
EL GRANADA, CA 94019

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SIGN DATE: 12-02-2019
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CKD BY: AP
PROJECT #: 201908086

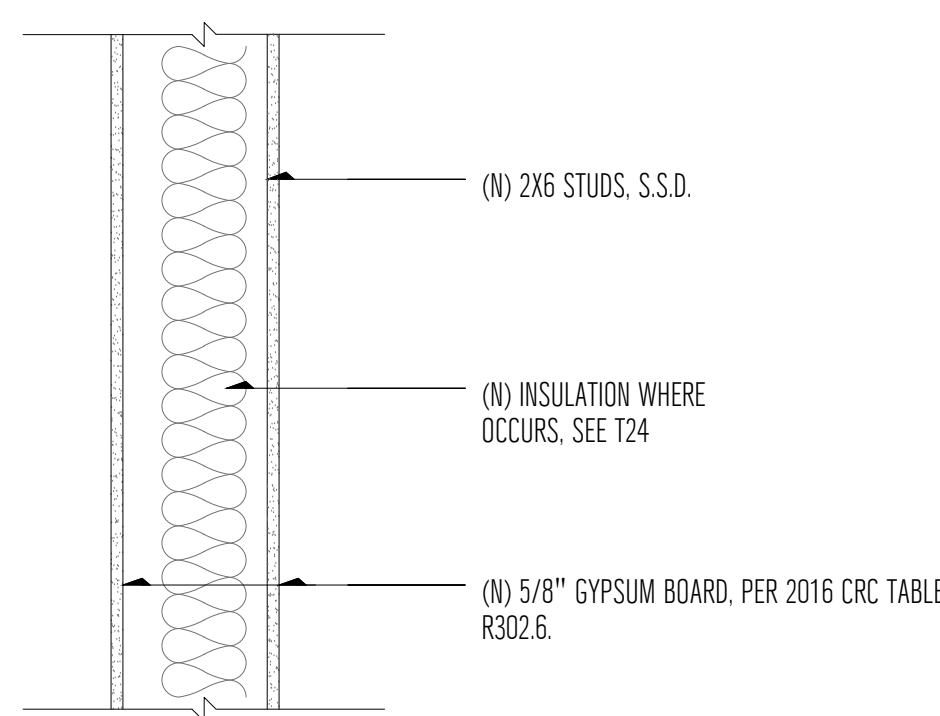
TYPICAL WALL SECTION

3/4"=1'-0" 11



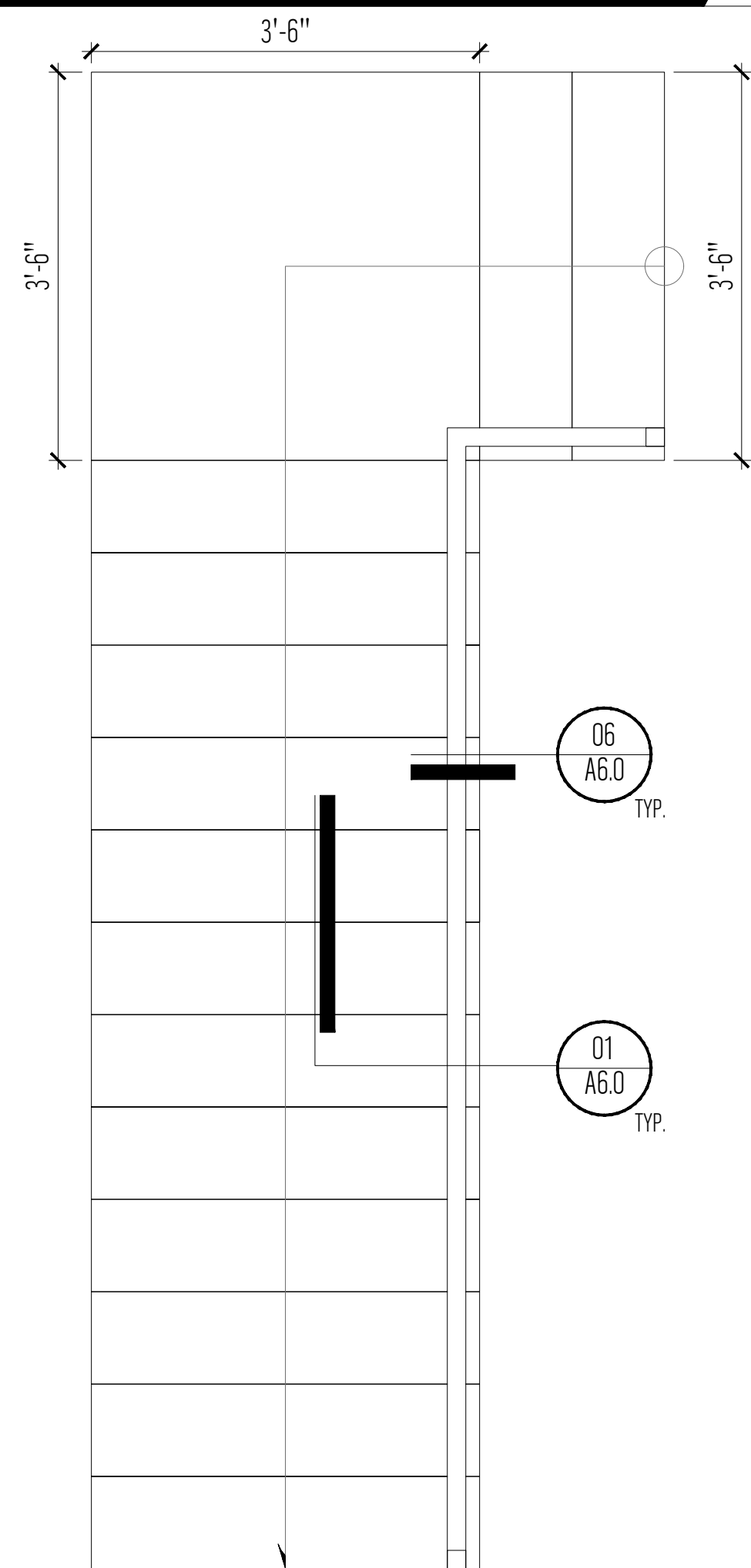
WALL @ GARAGE DTL.

1 1/2"=1'-0" 10



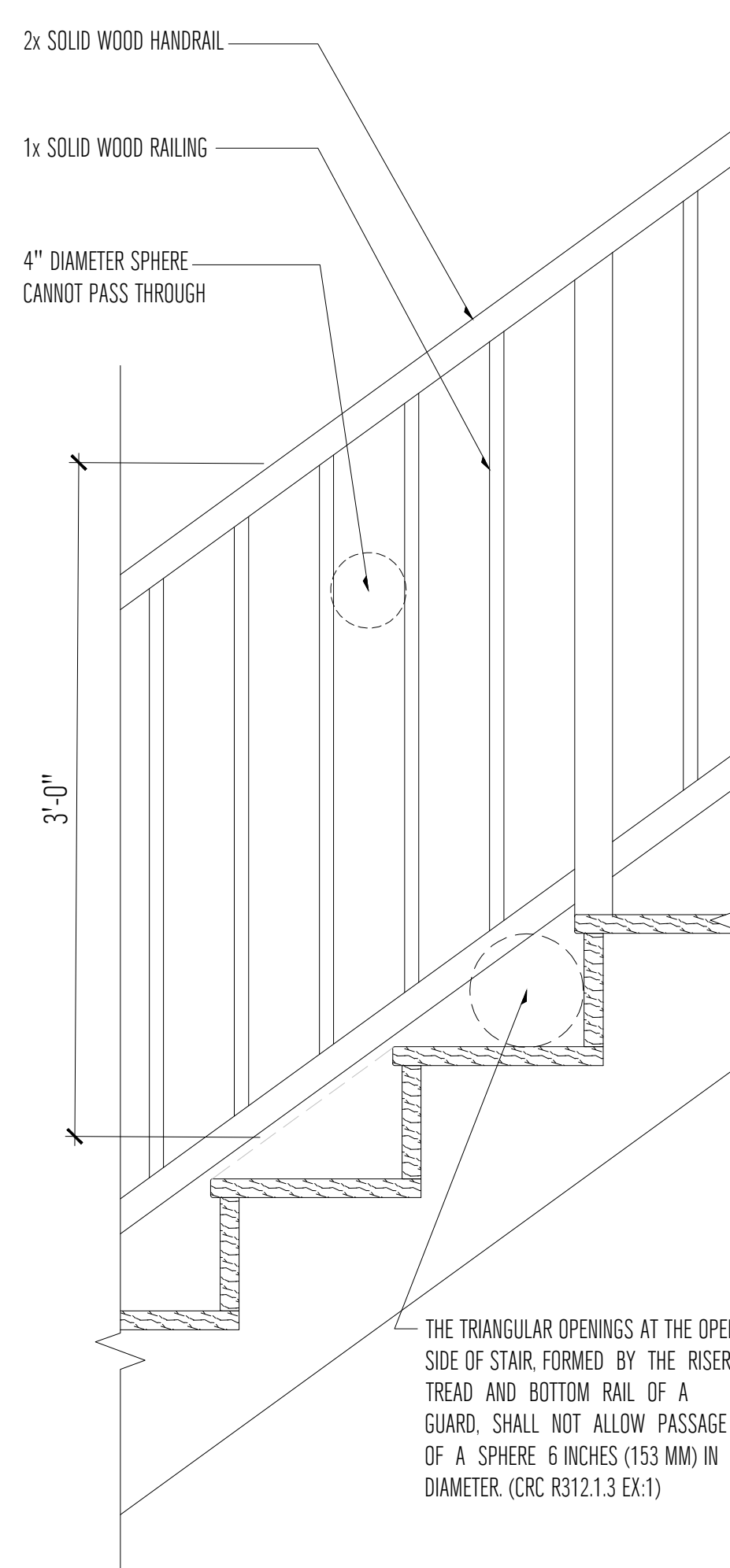
TYP. STAIR TREAD & RISER DETAIL

3/4"=1'-0" 07



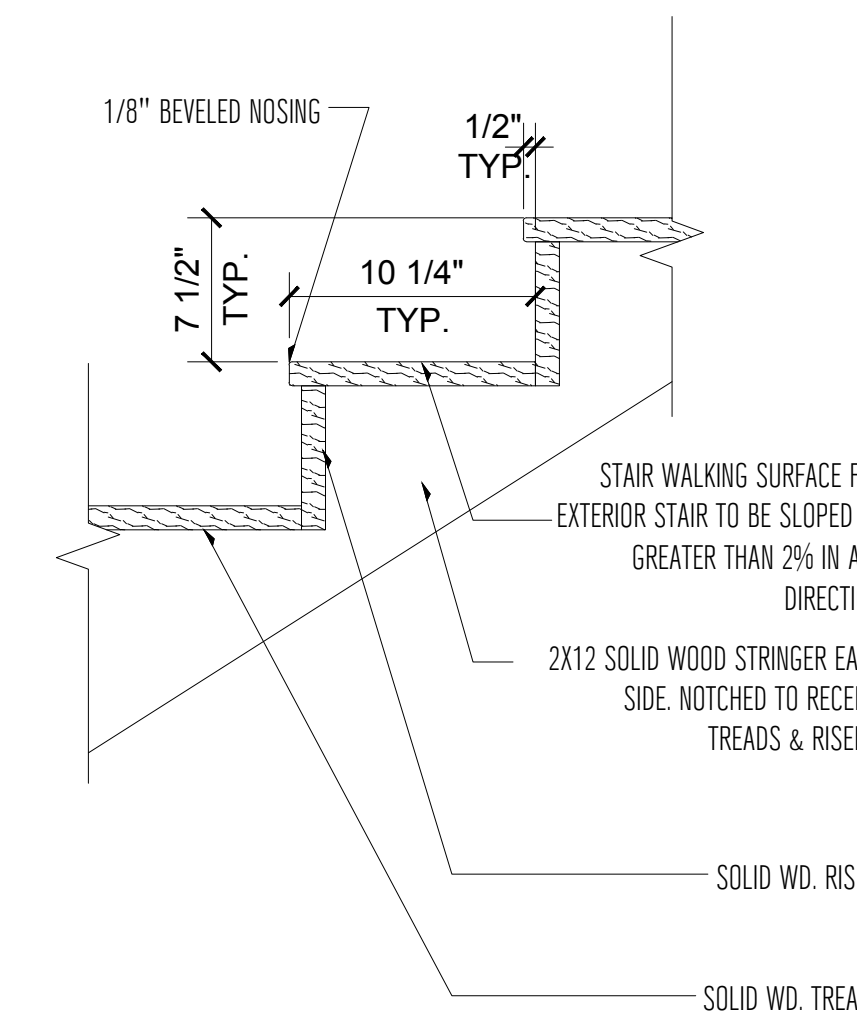
TYP. STAIR TREAD & RISER DETAIL

1 1/2"=1'-0" 04



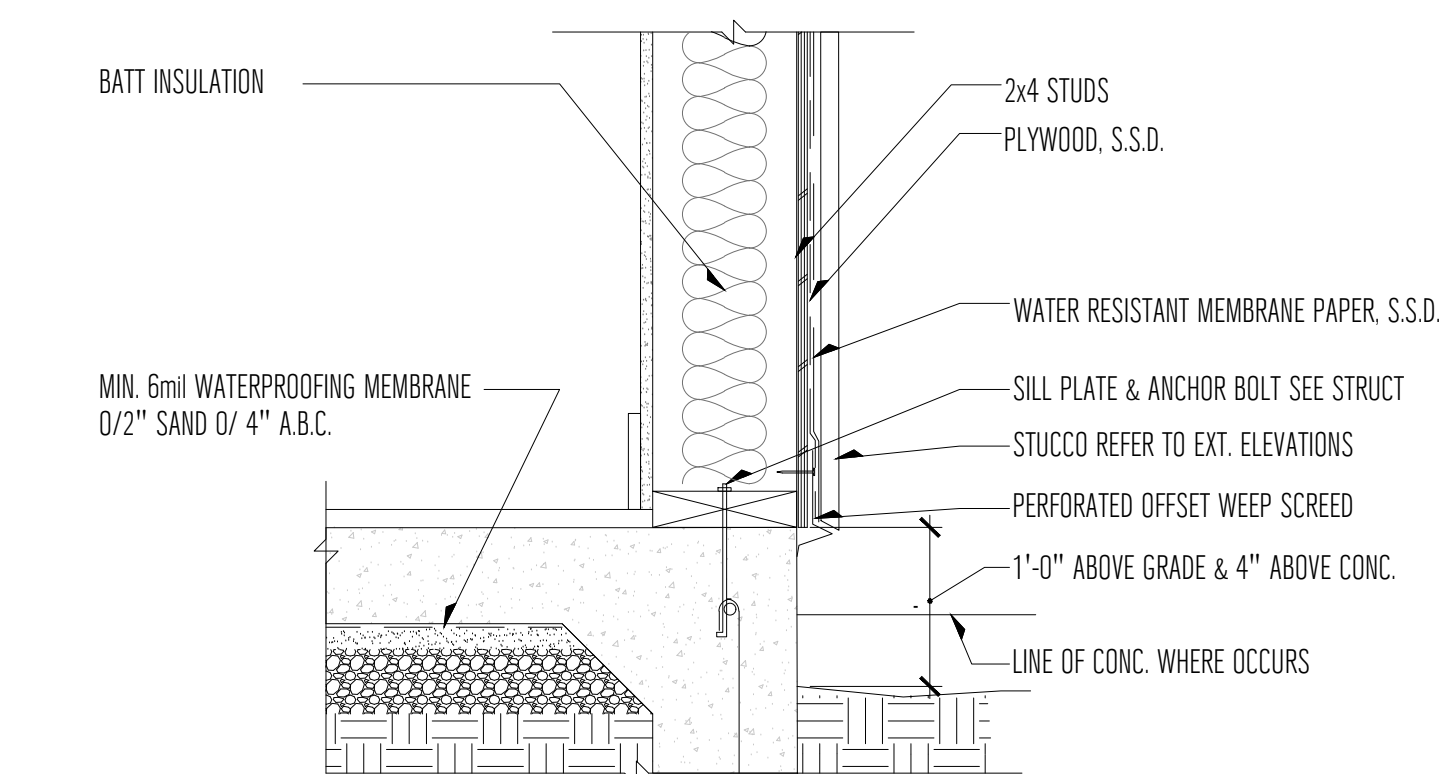
TYP. STAIR TREAD & RISER DETAIL

1 1/2"=1'-0" 01



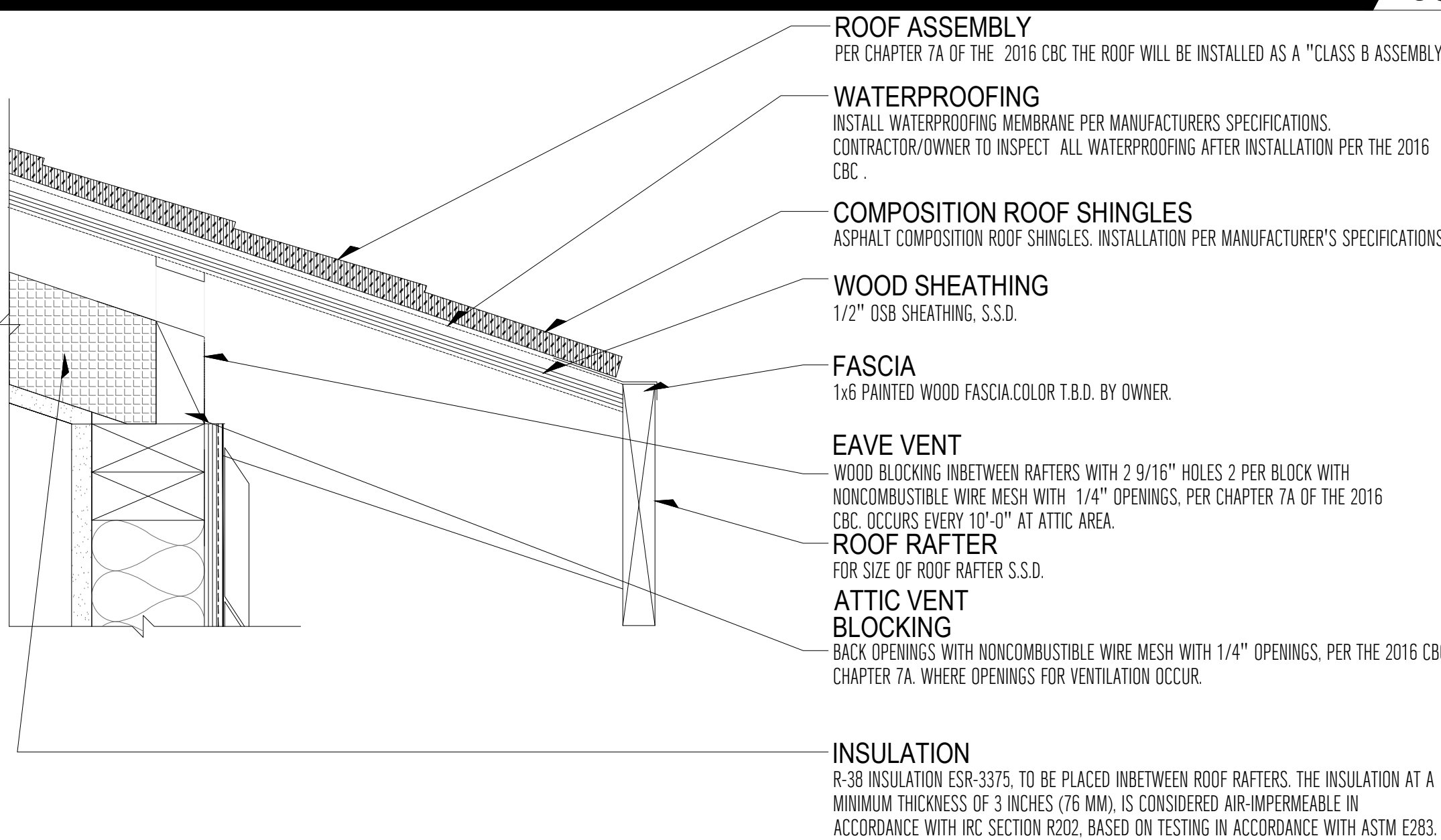
NEW WALL @ PERIMETER FOOTING & TYP. SLAB

1 1/2"=1'-0" 02



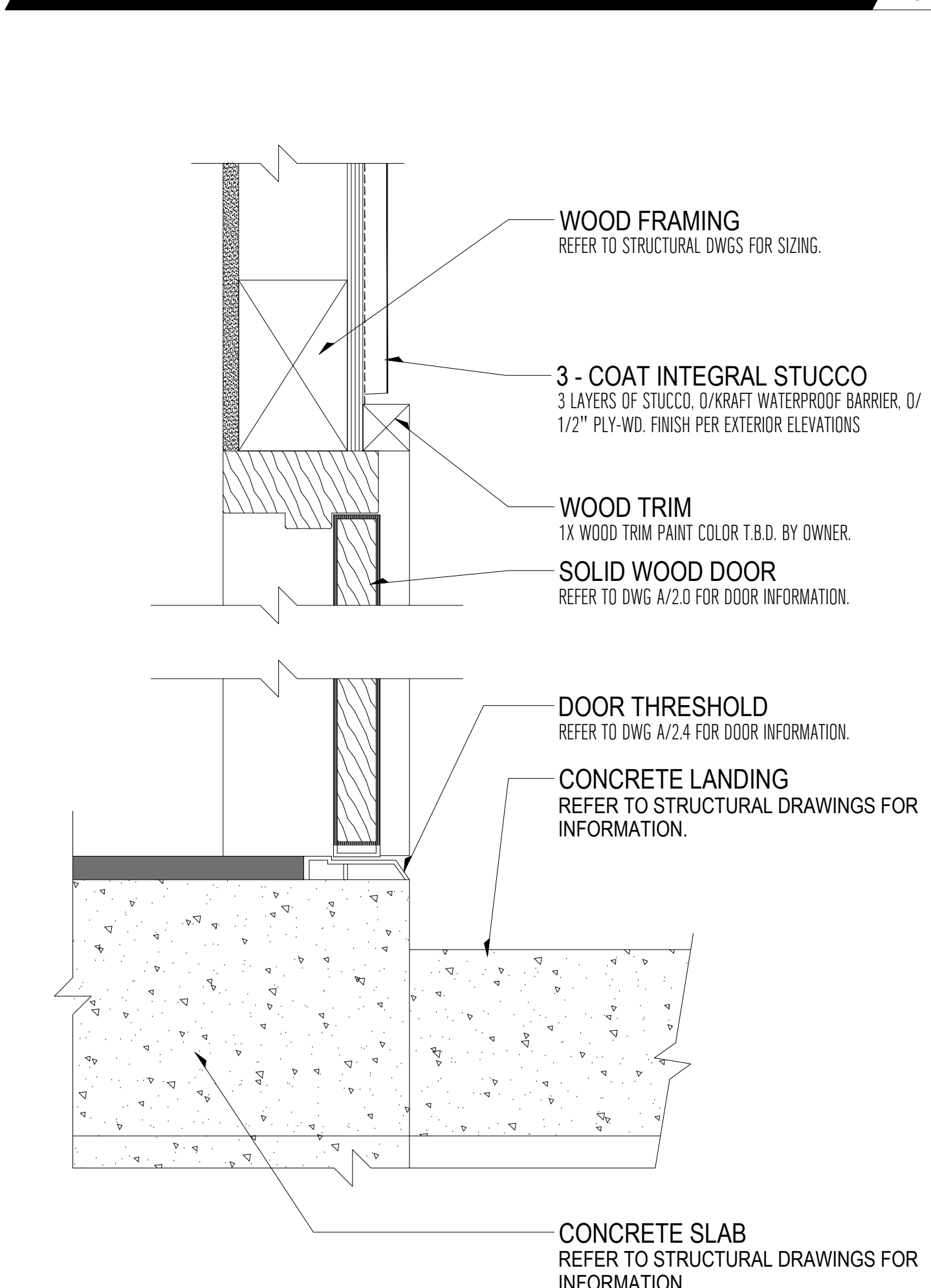
TYPICAL ROOF EAVE DETAIL

3"=1'-0" 05



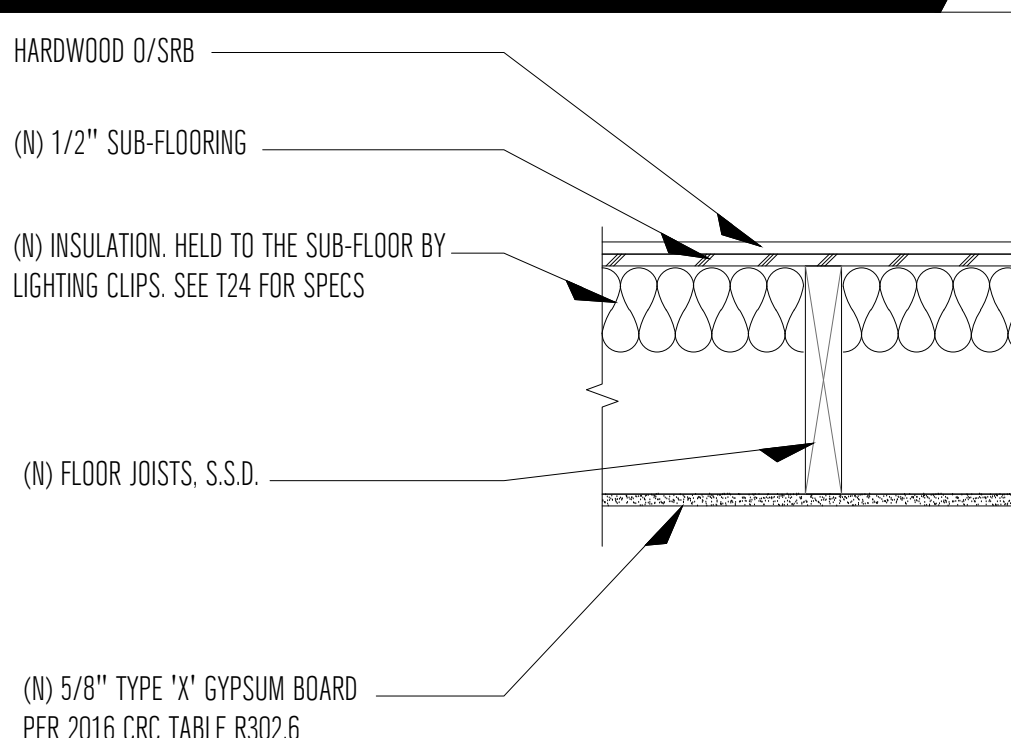
DR. THRESHOLD @ NEW EXTERIOR LANDING, TYP.

3"=1'-0" 03



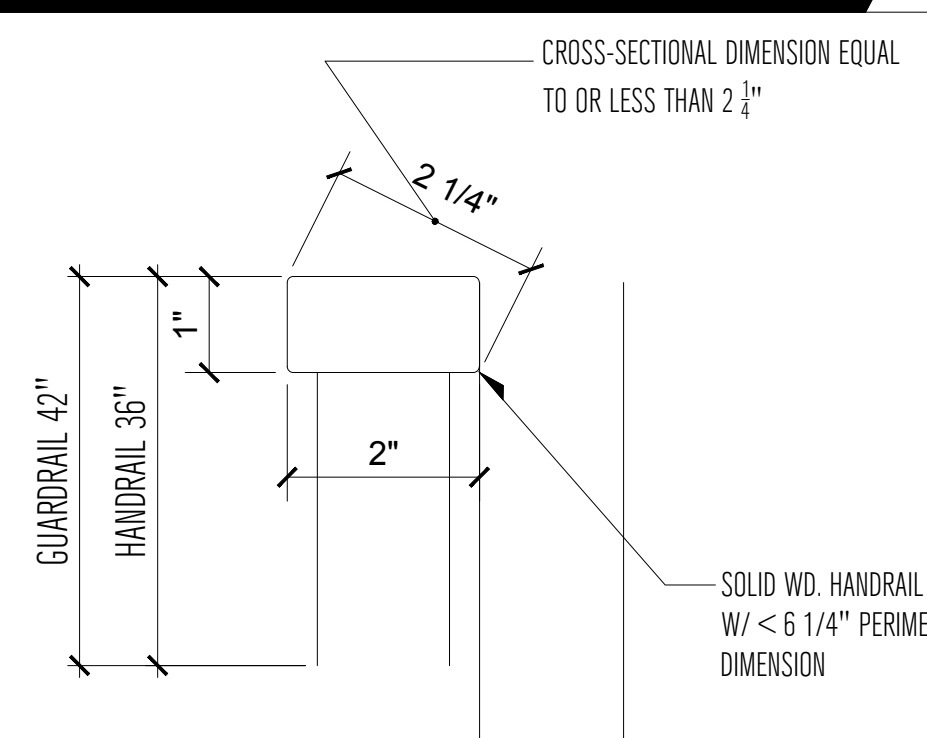
FLOOR ABOVE GARAGE DTL.

1 1/2"=1'-0" 08



HANDRIAL DETAIL

6"=1'-0" 06



REV	DATE	DESCRIPTION
1	06/18/2020	RESPONSE TO CITY COMMENTS
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PROJECT #: 201908086

A6.0

Project Data

Parcel Size: 5000 SF
 Non-Landscape Area: 3876 SF
 Total Irrigated
 Landscape Area: 1124 SF

Plant Legend & WUCOLS Calculation

# 1	<i>Stipa tenuissima</i> (<i>Nassella tenuissima</i>)	Mexican feather grass	Low	0.2	18 Total
# 2	<i>Pennisetum orientale</i>	Chinese fountain grass	Moderate/ Medium	0.5	9 Total
# 3	<i>Euonymus japonicus</i>	evergreen euonymus	Low	0.2	18 Total
Average WUCOLS Factor				0.26	

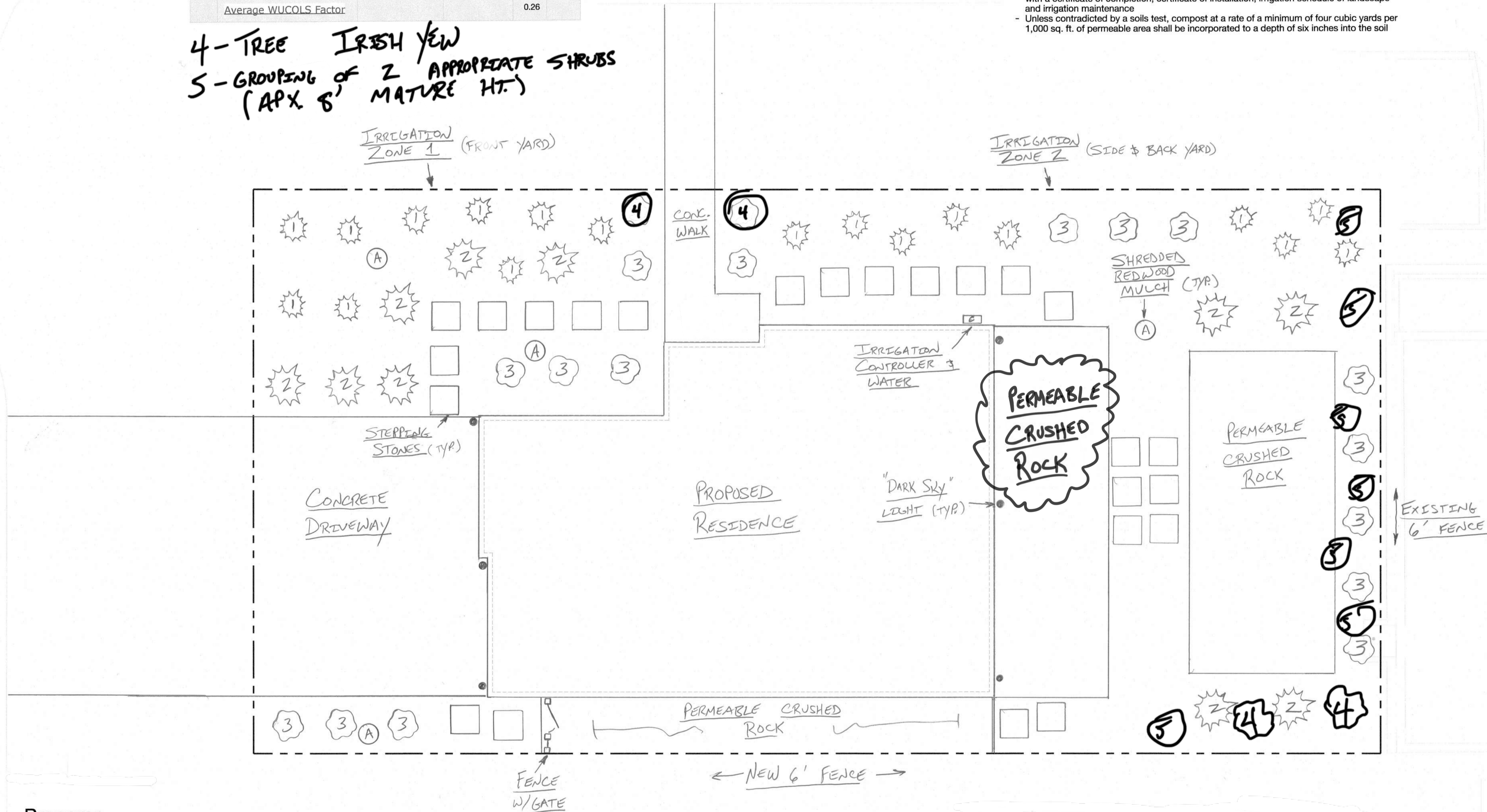
4 - TREE IRISH YEW
 5 - GROUPING OF 2 APPROPRIATE SHRUBS
 (APX 6' MATURE HT.)

THE ALAMEDA

Plan Notes

- An average WUCOLS plant factor 0.3 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated
- Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system
- Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range
- Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply
- Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray
- At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance
- Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil

CABRILLO AVENUE

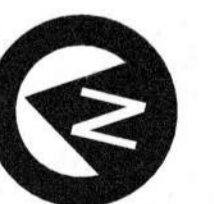


Preparer

John Steadman
 P.O. Box 2033
 El Granada, CA 94018
 650-743-2275

Irrigation Notes

- Water main supply to be 3/4" tee off domestic supply (location noted on plan)
- Separate shutoff to be provided
- Programmable electronic controller to be installed (location noted on plan)
- Each zone will have a back flow preventer and be supplied by a 1/2" lateral supply line
- All plants will be irrigated with drip systems. No sprinklers to be installed.





ROOFING-CERTAINTEED
LANDMARK MOIRE BLACK

SIDING-BOARD AND BATTEN-
PAINTED BENJAMIN MOORE
SMOKEY TAUPE 983

WINDOW FRAMES - MILGARD
DARK BRONZE

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BENJAMIN MOORE WROUGHT
IRON 20124-10

REV	DATE	DESCRIPTION
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[Handwritten Signature]

SIGN DATE: 12-02-2019
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